



**CITY OF SOUTH PASADENA
DESIGN REVIEW BOARD**

**AGENDA
REGULAR MEETING
THURSDAY, OCTOBER 5, 2023
6:30 P.M.**

**AMEDEE O “DICK” RICHARDS JR. COUNCIL CHAMBERS
1424 MISSION STREET, SOUTH PASADENA, CA 91030**

South Pasadena Design Review Board Statement of Civility

As your appointed governing board we will treat each other, members of the public, and city employees with patience, civility and courtesy as a model of the same behavior we wish to reflect in South Pasadena for the conduct of all city business and community participation. The decisions made tonight will be for the benefit of the South Pasadena community and not for personal gain.

NOTICE ON PUBLIC PARTICIPATION & ACCESSIBILITY

The South Pasadena Design Review Board Meeting will be conducted in-person from the Amedee O. “Dick” Richards, Jr. Council Chambers, located at 1424 Mission Street, South Pasadena, CA 91030.

The Meeting will be available:

- In Person – City Council Chambers, 1424 Mission Street, South Pasadena
- Via Zoom: <https://us02web.zoom.us/j/89814060953> **Meeting ID: 898 1406 0953**

To maximize public safety while still maintaining transparency and public access, members of the public can observe the meeting via Zoom in one of the two methods below.

1. Go to the Zoom website, <https://zoom.us/join> and enter the Zoom Meeting information; or
2. Click on the following unique Zoom meeting link: <https://us02web.zoom.us/j/89814060953>

CALL TO ORDER: Chair Brian Nichols

ROLL CALL: Chair Brian Nichols
Vice-Chair Melissa Hon Tsai
Board Member Joe Carlson
Board Member Samantha Hill
Board Member Kay Younger

COUNCIL LIAISON: Councilmember Janet Braun

APPROVAL OF AGENDA

Majority vote of the Board to proceed with Board business.

DISCLOSURE OF SITE VISITS AND EX-PARTE CONTACTS

Disclosure by Board of site visits and ex-parte contact for items on the agenda.

PUBLIC COMMENT AND SUGGESTIONS (Public Comments are limited to 3 minutes)

The Design Review Board welcomes public input. If you would like to comment on an agenda item, members of the public may participate by means of one of the following options:

Option 1:

Participate in-person at the City Council Chambers, 1424 Mission Street, South Pasadena, CA 91030.

Option 2:

Participants will be able to “raise their hand” using the Zoom icon during the meeting, and they will have their microphone un-muted during comment portions of the agenda to speak for up to 3 minutes per item.

Option 3:

Email public comment(s) to PlanningComments@southpasadenaca.gov.

Public Comments received in writing will not be read aloud at the meeting, but will be part of the meeting record. Written public comments will be uploaded online for public viewing under Additional Documents. There is no word limit on emailed Public Comment(s). Please make sure to indicate:

- 1) Name (optional), and
- 2) Agenda item you are submitting public comment on, and
- 3) Submit by no later than 12:00 p.m., on the day of the Design Review Board meeting.

NOTE: Pursuant to State law, the Design Review Board may not discuss or take action on issues not on the meeting agenda, except that members of the Design Review Board or staff may briefly respond to statements made or questions posed by persons exercising public testimony rights (Government Code Section 54954.2). Staff may be asked to follow up on such items.

PUBLIC COMMENT**1. Public Comment – General (Non-Agenda Items)****CONSENT CALENDAR ITEMS****2. Minutes from the Regular Meeting of 2/4/21****3. Minutes from the Regular Meeting of 4/1/21****4. Minutes from the Regular Meeting of 11/3/22****5. Minutes from the Regular Meeting of 12/1/22****PUBLIC HEARING**

- 6. PROJECT NO. 2416-DRX/AUP** A request for a Design Review Permit (DRX) to add a 63-square-foot first-story addition and a 619-square-foot second-story addition to an existing 916-square-foot one-story, single-family dwelling at 1033 Park Avenue (APN: 5318-015-020). The project also includes a request for an Administrative Use Permit (AUP) to allow for tandem parking to count towards the parking requirement.

Recommendation:

Finding the project exempt from California Environmental Quality Act (CEQA) pursuant to Section 15301 Class 1 (Existing Facilities). Approve the project, subject to the recommended conditions of approval.

ADMINISTRATION**7. Comments from City Council Liaison****8. Comments from Board Members****9. Comments from Subcommittees****10. Comments from Staff**

ADJOURNMENT

11. Adjourn to the Regular Design Review Board meeting scheduled for November 2, 2023 at 6:30 p.m.

PUBLIC ACCESS TO AGENDA DOCUMENTS AND BROADCASTING OF MEETINGS

Design Review Board meeting agenda packets are available online at the City website: <https://www.southpasadenaca.gov/government/boards-commissions/design-review-board/design-review-board-agendas-and-minutes>

Agenda related documents provided to the Design Review Board are available for public review on the City's website. Additional documents, when presented to Design Review Board, will also be uploaded and available on the City's website.

AGENDA NOTIFICATION SUBSCRIPTION

Individuals can be placed on an email notification list to receive forthcoming agendas by emailing CityClerk@southpasadenaca.gov or calling the City Clerk's Division at (626) 403-7230.

ACCOMMODATIONS



The City of South Pasadena wishes to make all of its public meetings accessible to the public. If special assistance is needed to participate in this meeting, please contact the City Clerk's Division at (626) 403-7230. Upon request, this agenda will be made available in appropriate alternative formats to persons with disabilities. Notification at least 48 hours prior to the meeting will assist staff in assuring that reasonable arrangements can be made to provide accessibility to the meeting (28 CFR 35.102-35.104 ADA Title II).

I declare under penalty of perjury that I posted this notice of agenda on the bulletin board in the courtyard of City Hall at 1414 Mission Street, South Pasadena, CA 91030, and on the City's website as required by law.

9/28/2023

Date

Braulio Madrid, Associate Planner



**CITY OF SOUTH PASADENA
DESIGN REVIEW BOARD**

REGULAR MEETING MINUTES

THURSDAY, FEBRUARY 4, 2021 AT 6:30 P.M.

VIA ZOOM

CALL TO ORDER:

The Regular Meeting of the South Pasadena Design Review Board was called to order by on Thursday, February 4, 2021 at 6:30 p.m. The meeting was conducted remotely by video conference pursuant to the Executive Order N-29-20 issued by Governor Newsom. The Council Chambers were closed; Members of the public attended the meeting via ZOOM.

ROLL CALL

PRESENT:

Joe Carlson, Board Member
Kay Younger, Board Member
Melissa Hon Tsai, Board Member
Samantha Hill, Vice-Chair
Mark Smeaton, Chair

COUNCIL LIAISON

PRESENT:

Diana Mahmud, Mayor, Council Liaison

STAFF

PRESENT:

Kanika Kith, Planning Manager
Malinda Lim, Associate Planner
Lisa Krause, Contract Planner
Veronica Ortiz-De Anda, Contract Planner
Aneli Gonzalez, Planning Intern

APPROVAL OF AGENDA

Majority vote of the Board to proceed with Board business.

There were no changes requested and the Agenda was approved as submitted.

DISCLOSURE OF SITE VISITS AND EX-PARTE CONTACTS

Disclosure by Board of site visits and ex-parte contact for items on the agenda.

None.

PUBLIC COMMENT

Public Comment – General (Non-Agenda Items)

None.

BUSINESS ITEM

1. Design Review Board Reorganization

Recommendation

Select a Chair and Vice-Chair for 2021.

Chair and Vice-Chair Nomination:

Board Member Tsai nominated Vice-Chair Hill to be Chair. Board Member Younger seconded the nomination of Vice-Chair Hill for Chair.

Chair Smeaton nominated Board Member Tsai for Vice-Chair. Vice-Chair Hill seconded the nomination of Board Member Tsai for Vice-Chair.

Action and Motion:

MOTIONED BY BOARD MEMBER YOUNGER, SECONDED BY CHAIR SMEATON, CARRIED 5-0, to approve Samantha Hill as Chair and Melissa Hon Tsai as Vice-Chair, for Design Review Board effective immediately.

2. 2020 Annual Report and 2021 Work Plan

Recommendation:

Approval of the 2021 Work Plan.

Presentation:

Associate Planner Lim stated that the 2020 Annual Report and 2021 Work Plan were presented to the Board at the December meeting. The Board had approved the Annual Report but had changes to the 2021 Work Plan. She added that Staff was looking for the Board to approve the 2021 Work Plan tonight.

Chair Hill asked the Board if anyone wanted to review the 2021 Work Plan on the screen again.

Board Member Smeaton asked Staff for an update of the landscape plan requirements.

Planning Manager Kith stated staff had gotten some feedback from a former Board Member but did not update the landscape portion of the plan, as they had been busy with other priorities. She suggested the Board create a subcommittee to work with Staff to create a list of landscape requirements.

Board Member Smeaton suggested that the landscape requirements were not a real “make or break” part of the plan and asked Planning Manager Kith if the Work Plan was still usable in the current form.

Planning Manager Kith stated it was usable in the current form and added that ultimately the goal was to create a brochure for property owners.

Board Member Smeaton suggested moving the landscape requirements discussion to a meeting later in the year.

Chair Hill asked for a motion.

Action and Motion:

MOTIONED BY VICE-CHAIR TSAI, SECONDED BY BOARD MEMBER SMEATON, CARRIED 5-0, to approve the Work Plan for 2021 with a change that the landscape guidelines be part of the commercial and residential design guidelines update for the end of the year.

PUBLIC HEARING

3. Project No. 2343-DRX/SGN-Design Review for façade remodel and Sign Permit for an existing grocery store, (Pavilions Grocery Store), located at 1213 Fair Oaks Avenue.

Board Member Smeaton recused himself since he lives with 1,000 feet of the project site.

Recommendation:

- Formation of a Subcommittee to work with the applicant on design improvements; and
- Continue to DRB Meeting on March 4, 2021.

Presentation:

Contract Planner Krause presented the staff report. Planning Manager Kith provided an update to the presentation. The designer and applicant were present but did not have a presentation.

Vice-Chair Tsai asked staff about materials and it was determined she would ask the applicant when the time was right.

Board Member Carlson asked if the monument sign size would be same as it is currently or larger.

Contract Planner Krause stated it would be the same size.

Chair Hill asked staff if the applicant took the art piece to the Public Art Commission.

Planning Manager Kith said they were planning to bring it to the Public Art Commission this month.

Public Comments:

There were no requests to speak at the meeting so the public comment portion was closed.

Board Member Questions for Applicant:

Chair Hill asked if anyone had questions for the Applicant.

Vice-Chair Tsai asked if the cement plaster, replacing the stone texture, was a stucco or a fiber cement board, and if it was the same material and texture as near the loading dock.

Architect Cedric Craig stated it was cement plaster and yes, it was the same as the material and texture as was used near the loading dock.

Vice-Chair Tsai wanted to know if the wood was natural wood or a composite.

Architect Craig said it was not real wood and that they wanted fake wood because of its durability.

Board Member Carlson said he could not find any detail of the new concrete texture in the presentation.

Architect Craig said it is all cement plaster with a light sand texture.

Chair Hill asked the applicant if the removed art panels would be replaced with other artwork.

Architect Craig said the original intent was to use the art panel to break up the horizontal line. However, there was more flexibility with the placement of the screens. They were able to add trees with the screens. Albertsons was also concerned that going through the Public Art Commission would take too much time.

Paul Herman from Albertsons reiterated what Architect Craig stated and added that they liked the rhythm of the design with the three panels and trees.

Board Member Discussion:

Vice-Chair Tsai started the discussion by talking about how hard it is to make the look of a box store correlate with South Pasadena architecture. She also mentioned that she understood there were budget constraints.

Chair Hill agreed with Vice-Chair Tsai and felt this new design was an improvement to what was currently there. She commended the architect for what he was able to do with the façade. She was a little disappointed to see the art piece go away and felt it would take a long time for the trees on the northern façade to mature to what it looked like in the pictures. She does like the Longboard product.

Board Member Carlson liked the new design of the façade from the recent renderings more than the artwork. He suggested larger trees at the north elevation.

Chair Hill asked Planning Manager Kith if the Board could request larger trees.

Planning Manager Kith said they could ask the applicant about increasing the size of the trees. She also suggested requesting 1-2 art panels in between the trees instead of three. She stated the Board could approve tonight and make options conditions of approval, letting them move forward in the meantime. The sign, however, is not ready for approval.

Vice-Chair Tsai wanted to know if the Board could require them have an artwork.

Planning Manager Kith was not sure if the code allowed the Board to require things like artwork.

Architect Cedric Craig said they chose to pay a fee instead of providing artwork.

President of the architectural firm, Galen Grant, stated that the new design felt more consistent with front of the building and he preferred it to the artwork.

Board Liaison Mayor Mahmud stated that in terms of public art requirement, artwork is required for development projects.

Board Member Younger supported the artwork element.

Vice-Chair Tsai stated she preferred the black panels to the artwork. Even if they pay a few in lieu of incorporating artwork, those fees will go towards artwork on a different project.

Chair Hill said she was leaning towards approving the project and letting them move forward and pay the art fee.

Board Member Younger was fine moving forward.

In the discussion of how the motion should be worded, Board Liaison, Mayor Mahmud suggested that language be added to encourage applicant to reconsider the sizing of the proposed trees.

Architect Paul Herman stated he is ok with larger trees and specific requests of tree species.

Action and Motion:

MOTIONED BY BOARD MEMBER YOUNGER, SECONDED BY BOARD MEMBER CARLSON, CARRIED 4-0, to approve the façade and parking lot renovation and upsize the trees on the north elevation, based on staff recommendation and with conditions of approval. The signage portion of the project is not included in the approval.

4. **Project No. 2328-NID/DRX- Notice of Intent to Demolish a 1,442 square foot single-family home and detached 1-car garage, and Design Review of two new, two-story single-family homes (2,555 sq. ft. and 1,543 sq. ft.) and a 5-car underground garage at 1502 Bank Street.**

Board Member Smeaton rejoined the meeting.

Recommendation:

Approve, subject to conditions of approval.

Presentation:

Contract Planner Krause presented the staff report. The designer and applicant were present but did not have a presentation.

No questions for staff.

Public Comments:

One public commenter requested that the applicant relocate the fruit trees on the property and that construction not begin until next year.

Chair Hill asked staff if delaying construction and relocating fruit trees was something the City could condition.

Contract Planner Krause said the City could not delay construction as a condition. She suggested speaking to the applicant about considering relocating the fruit trees.

Board Member Questions for Applicant:

Chair Hill asked if applicant could get on line and asked for Board Member questions for the applicant.

Board Member Smeaton thanked the applicant for their revisions. His only question was about the alternate entry and the proposed entry. He prefers the proposed entry of the two.

Architect June said she was trying to balance the comments from the last Design Review Board Meeting and preferred the proposed arch but would do whatever the Board suggested.

Board Member Discussion:

Board Member Carlson suggested reducing the arch height in the alternate design so that it is the same scale as the original proposed.

Board Member Smeaton said he felt the arch could drop down to 8 feet and give “more meat” on the top of the arch from the spring line to the roofline and then the project works.

Chair Hill said other than that issue with the entry arch height, the applicant addressed all issues with the project.

Vice-Chair Tsai said she felt all the elevations were now well proportioned. She originally preferred the proposed design but now, with the discussion of bringing the arch down in the alternate design, she liked it.

Action and Motion:

MOTIONED BY BOARD MEMBER SMEATON AND SECONDED BY VICE CHAIR TSAI, CARRIED 5-0, to approve the design as submitted on the revision with the additional revision of the alternative entry elevation but also dropping the arches on all three sides down to eight feet based on staff recommendation with conditions of approval.

5. **Project No. 2307-DRX-Design Review and Minor Hillside Development Permit for 657 square-foot addition and the removal of a wood deck and covered patio of an existing tri-level, single-family residence located at 1230 Kolle Avenue.**

Board Member Smeaton recused himself.

Recommendation:

Approve, subject to conditions of approval.

Presentation:

Contract Planner Ortiz-De Anda presented the staff report. There was also a presentation from applicant.

Chair Hill asked staff to clarify the condition of the uninhabitable space.

Contract Planner Ortiz-De Anda stated that with the addition, the project was very close to the property reaching the maximum floor area ratio (FAR) of 0.35 and therefore this particular space cannot be converted to habitable space.

Chair Hill asked if they could do a JADU in the future since the space would not count towards the FAR.

Contract Planner Ortiz-De Anda stated yes.

Public Comments:

There were two public comments from residents who support the project as proposed.

Applicant Presentation:

Architect Jim Fenske introduced himself and shared his presentation.

Vice-Chair Tsai asked Architect Fenske about the eve that looked exaggerated and very different from the existing eve.

Architect Fenske stated he was vacillating between exposed eve timbers so it looked more like what is over the entry and said he was worried about it not tying into the front.

Chair Hill asked Architect Fenske about the small pop-up in the back with the slanted roof and skylight. She felt it appeared awkward.

Architect Fenske stated that it is not visible from the street and barely visible from above and though it may look awkward, it provides a benefit from the inside. It is at the end of a hall and provides a view across the canyon.

Chair Hill said she understood his point. She then closed the public hearing.

Board Discussion:

Board Member Younger liked the facelift done to the house.

Chair Hall agreed.

Board Member Carlson stated that there was an awning on one window and not the two other windows on South elevation and asked why.

Vice-Chair Tsai stated the awning was not on the drawings.

Architect Fenske said he was fix that.

Vice-Chair Tsai stated that she does not love the exaggerated eve on the north side. She did not feel this was a deal breaker to approving the project.

Chair Hill added that if the eve served a functional purpose, she would support having it.

Chair Hill liked the idea of seeing other options like one tying it in with the front. She also added that if you bring in the eaves in, she would recommend an even more extreme slope in the roof.

Architect Fenske stated that he felt the shallow pitch and deep eaves go together.

Board Member Carlson was in agreement with Architect Fenske and stated that he liked the post and beam “feel” of the overhang.

Action and Motion:

MOTIONED BY BOARD MEMBER YOUNGER, SECONDED BY VICE-CHAIR TSAI, CARRIED 4-0, to approve the project based on staff recommendation with conditions of approval, including adding sun shades to the two additional windows on the south elevation.

6. Project No. 2357-DRX, Design Review for a 796 square-foot addition and improvements to a single-family residence at 804 Milan Avenue.

Board Member Smeaton rejoined the meeting.

Recommendation:

Approve, subject to conditions of approval.

Presentation:

Contract Planner Krause presented the staff report. Applicant was present and had a presentation as well.

Associate Planner Lim reminded the Board that the applicant had requested to delete condition in P14 from consideration.

Vice-Chair Tsai asked staff if the applicant was required to keep the windows in the front existing.

Associate Planner Lim said the applicant was not required to keep the front existing windows.

Board Member Smeaton commented that we are pushing right up against the FAR with this project.

Public Comments:

Contract Planner Krause stated that there were two comments from neighbors in support of the proposal and one comment from the applicant wishing to remove condition P14 from consideration.

Applicant Presentation:

Chair Hill asked if there was a presentation from the applicant.

Planning Manager Kith played a presentation from Architect Odom Stamps.

Vice-Chair Tsai asked Architect Stamps if the proposed windows in the front were original to the house.

Architect Stamps said they would match the original windows in style but they were new windows and they met the Title 24 requirements.

Vice-Chair Tsai asked about the trim size around the windows.

Architect Stamps said it is approximately 4" x 1".

Board Member Smeaton stated he supported removing P14 from the requirements.

Board Member Carlson asked if there were plans to address the hardscape since it was not in character with the new design or the neighborhood.

Architect Stamps agreed but stated if they changed the hardscape, the house would have become a tear down. He stated that if the driveway were a straight path directly to the garage, the owners would have to back out onto the street. He suggested they screen the driveway with hedges or green scape.

Chair Hill asked if the loggia in back was open.

Architect Stamps said it was open.

Chair Hill then suggested that there are ways to solve the hardscape issue with pavers or other materials that allow grass to grow between them. She also said she understood safety backing out was an issue and most important.

Architect Stamps said he would discuss with his client. He also suggested maybe replacing the concrete with gravel.

Planning Manager Kith stated that per the zoning code, no more than 45% of the front yard could be paved. She suggested that the front hardscape be approved by Chair Review.

Chair Hill closed the public discussion.

Board Member Discussion:

Chair Hill opened the meeting to Board Member comments.

Board Member Smeaton liked the design overall and agreed that there should be a Chair Review of the driveway and yard.

Board Member Younger thought the project was a great upgrade.

Board Member Carlson liked the project except for the hardscape in front.

Chair Hill agreed the project was an improvement. Her only concern was the front yard parking area and hardscape.

Vice-Chair Tsai said the project was a tremendous improvement.

Action and Motion:

MOTIONED BY VICE-CHAIR TSAI, SECONDED BY BOARD MEMBER YOUNGER, CARRIED 5-0, to approve the project with the condition of deleting the condition P14 and adding a Chair Review of the front hardscape.

7. Project No. 2297-DRX – Design Review for a 583 square-foot addition with a 140 square-foot covered front porch and a 50 square-foot rear deck located at 5049 Collis Avenue.

Vice-Chair Tsai and Board Member Smeaton were recused because they live within 1,000 feet of the project site.

Recommendation:

Approve, subject to conditions of approval.

Presentation:

Planning Intern Rodriguez presented the staff report.

The Board had no questions for staff.

Public Comments:

None.

Applicant Presentation:

Applicant presented the project to the Board.

No questions for the applicant.

Board Member Discussion:

Board Member Younger thought it was a nice use of property and charming house.

Chair Hill liked that the addition was happening in the front and landscaping was quaint.

Board Member Carlson concurred that it was a good use of space.

Public Comments:

None.

Action and Motion:

MOTIONED BY BOARD MEMBER YOUNGER AND SECONDED BY BOARD MEMBER CARLSON, CARRIED 3-0, to approve the project based on staff recommendation with conditions of approval.

Board Member Smeaton and Vice-Chair Tsai rejoined the meeting.

CONSENT ITEMS

None

PRESENTATIONS

None

DISCUSSION ITEMS

None

ADMINISTRATION

8. Comments from City Council Liaison

City Council Liaison, Mayor Mahmud, welcomed Board Member Carlson joining the Board. She also expressed gratitude to the Board and residents for their good work.

9. Comments from Board Members

None.

10. Comments from Subcommittees

None.

11. Comments from Staff

Planning Manager Kith reminded Board that they have Brown Act training on February 10. In addition, she reminded Board Member Smeaton to put together the annual report for 2020 for a City Council meeting in March. She also stated that the City Council would be reviewing the Seven Patios project on March 3. She also stated that there will be an ADU workshop for the community on Wednesday night at 7:30 p.m. after the Brown Act training and she encouraged the Board to attend. Her final announcement was that the Commissioner's Congress this year would be held virtually after the Council Meeting in March.

ADJOURNMENT

12. Adjourn to the regular Design Review Board meeting scheduled for March 4, 2021 at 6:30 p.m.

There being no further matters, Chair Hill adjourned the Design Review Board meeting at 9:35 p.m.

APPROVED,

Samantha Hill, Chair – Design Review Board

Date _____



**CITY OF SOUTH PASADENA
DESIGN REVIEW BOARD**

REGULAR MEETING MINUTES

THURSDAY, April 1, 2021 AT 6:30 P.M.

VIA ZOOM

CALL TO ORDER:

Chair Hill called the Regular Design Review Board meeting on Thursday, April 1, 2021 at 6:38 p.m. The meeting was conducted remotely by video conference pursuant to the Executive Order N-29-20 issued by Governor Newsom. The Council Chambers, located at 1424 Mission Street, South Pasadena, California, were closed. Members of the public attended the meeting via ZOOM.

**ROLL CALL
PRESENT:**

Joe Carlson, Board Member
Mark Smeaton, Board Member
Melissa Hon Tsai, Vice-Chair
Samantha Hill, Chair

ABSENT:

Kay Younger, Board Member

**COUNCIL LIAISON
PRESENT:**

Diana Mahmud, Mayor, Council Liaison

**STAFF
PRESENT:**

Kanika Kith, Planning Manager
Malinda Lim, Associate Planner
Lisa Krause, Contract Planner
Veronica Ortiz-De Anda, Contract Planner

APPROVAL OF AGENDA

Majority vote of the Board to proceed with Board business.

There were no changes requested and the Agenda was approved as submitted.

DISCLOSURE OF SITE VISITS AND EX-PARTE CONTACTS

Disclosure by Board of site visits and ex-parte contact for items on the agenda.

Vice-Chair Tsai said she lives within the vicinity of the Orange Grove Place project so she will recuse herself from the discussion of that project.

PUBLIC COMMENT**Public Comment – General (Non-Agenda Items)**

None.

PRESENTATIONS**1. Housing Accountability Act**

Associate Planner Lim introduced the prerecorded presentation. She stated that it was originally presented at a City Council meeting and had been recently seen by the Planning Commission and Cultural Heritage Commission.

Assistant City Attorney Aleks Giragosian made the presentation.

Chair Hill asked if the Board Members could ask questions or if the presentation was only informational.

Associate Planner Lim stated that the presentation was informational but that the Board can provide comments and questions and staff would send them to the Planning and Building Director, Joanna Hankamer and to the City Attorney.

Planning Manager Kith added that questions, in addition to comments, were welcome and that if the Board could email them to staff who will forward them to the City Attorney.

PUBLIC HEARING**2. Project No. 2343-SGN (Continued) – Sign Permit for an existing grocery store, Pavilions Grocery Store, located at 1213 Fair Oaks Avenue.****Recommendation:**

Approve, subject to conditions of approval.

Presentation:

Board Member Smeaton recused himself since his office was within 1,000 feet of the project site.

Chair Hill asked Associate Planner Lim that if Pavilions wanted to continue this to a future meeting or if the Board should still discuss the item tonight.

Associate Planner Lim said that it was up to the Board if they wanted to hear the staff report this evening. She added that the Board could vote to continue the item to the next Design Review Board Meeting in May.

Chair Hill asked if the applicant was present this evening.

Associate Planner Lim stated that the applicant was not present.

Planning Manager Kith stated that since the applicant was not available this evening, Staff recommends that the Board continue the item to the May DRB meeting. She added that this way the applicant could be available to hear the Board discussion.

Chair Hill said that her recommendation would be to continue the item to the next meeting. She then ask Vice-Chair Tsai what her opinion was about discussing the item now or continuing the item.

Vice-Chair Tsai stated she was fine with continuing the item to the next meeting.

Planning Manager Kith asked Chair Hill to take a vote to continue this item so that staff does not have to re-notice the project.

Chair Hill asked for vote from the Board to continue the item to the next Design Review Board Meeting.

Action:

Chair Hill called for a vote by taking roll call to continue the item to the next Design Review Board Meeting. The Board voted 3-0, to continue the project to the May 6, 2021 Meeting.

3. **Project No. 2379–NID/DRX/TRP – Notice of Intent to Demolish a single-story home and detached garage, Design Review for a new 3,467 sq. ft. two-story residence with an attached garage, and Tree Removal Permit for three non-native trees, located at 822 Orange Grove Place.**

Recommendation:

Form a subcommittee and continue the item to the next meeting.

Presentation:

Vice-Chair Tsai recused herself as she lives within 1,000 feet of subject property.

Board Member Smeaton rejoined the meeting.

Contract Planner Krause presented the staff report.

Board Member Smeaton stated he had issues with this house and that Ms. Krause's list of "fix-it" items for the property are a good starting point.

Chair Hill asked staff for clarification about the setback at the second story.

Contract Planner Krause stated that the standard for the second story setback is 3-feet from the first story.

Planning Manager Kith addressed Chair Hill and reminded her of a project on Bank Street which the Board had recently reviewed. She said that there was a similar concern that they did not step back the second story edition and just had a vertical straight wall.

Public Comments:

With no requests to speak, the public comment portion of the hearing was closed.

Applicant Presentation:

Chair Hill asked if the applicant was on the line and if she had a presentation.

Contract Planner Krause said that homeowner/architect/landscape designer Katie Chiu was on the line and played the applicant's presentation.

Board Member Smeaton asked the applicant about rafter tails. He stated she mentioned them in her presentation but he did not see them in the presentation.

Ms. Chiu said the rafters were dark brown so they meld into the rendering.

Board Member Carlson asked Ms. Chiu about the entryway. He said the Planning Commission made a comment about the scale of the entryway and that it seemed a little understated and lost in the front of the house. He commented that he wondered if there was a way to give the entryway a little more presence.

Ms. Chiu said she could definitely work on revising the entryway.

Chair Hill mentioned that the eaves of the roof seemed very short, especially from the side, and that adding depth would add a nicer shadow line. She also stated that she agreed with Board Member Smeaton and did not understand the corbel's relationship to the other details and Craftsman style and asked the applicant to expand on the reasons behind the design.

Ms. Chiu addressed Chair Hill's first concern about the roof's short eaves and said she could revise it. She asked Chair Hill which corbel was she referring to—was it the concave roof on the second floor patio area.

Chair Hill asked the applicant for confirmation that what she was stating was that because she had already set the house back seven feet she did not set the second story back the required additional three feet to accentuate a variation of the massing but just continued the wall.

Ms. Chiu said that if the Board did not think it was appropriate, she could add a porch and put the air conditioner and trash bins there and there would be a cover up so there would not be a big flash wall in that area. She stated this could be an option for her to consider.

Board Member Discussion:

Board Member Smeaton stated when comparing the street elevation of the massing compared to the two adjoining homes, it feels very overbuilt whether by right or not. He summarized by stating the design would need to be reworked and he would not approve the project in the current condition.

Board Member Carlson stated he played with the design in Photoshop and squished the design down by 20% that made it lower and flatter and then reduced the front roof portion dramatically since the roof currently looked massive. He said that he was speaking to scale and if the building was a little flatter and wider and the front section was taller with less roof, more windows and a little bigger entryway, it would make a big difference.

Chair Hill commented that the overall massing does not fit with the style of the home and the Craftsman and East Asian elements. She noted that staff had suggested the Board form a subcommittee and then continue the item for further development. She stated they would probably continue the project since it the Board does not seem comfortable with the current design proposed. She added the design was massive for the lot and oversized for the neighborhood but she clarified that the actual square footage itself was not the issue. She would recommend forming a subcommittee or have the applicant continue the item and make changes or if appropriate, form a subcommittee to work with the applicant and then continue the item or just do a Chair Review. She asked Planning manager Kith for clarification of the process.

Planning Manager Kith stated that staff was not recommending approval this evening nor were they recommending approval with a subcommittee. She stated Staff is recommending forming a subcommittee to help the applicant redesign the project and continue the item to a future Design Review Board Meeting.

Chair Hill asked Board Member Smeaton and Board Member Carlson if they wanted to form a subcommittee and continue the item or just continue the item and the applicant could make changes on her own based on feedback.

Board Member Smeaton said he was not in favor of forming a subcommittee but would recommend Ms. Chiu go back and give it a whole another round before we evaluate. He added that the Ms. Chiu has heard the concerns and the Board can

see what the applicant brings back before deciding if they need to form a subcommittee to tweak the project. He stated it is not the role of the Board to design the project for the applicant.

Board Member Carlson agreed with Board Member Smeaton's opinion.

Planning Manager Kith addressed Chair Hill and asked that the Board provide some direction on the design to the applicant.

Board Member Carlson added that in terms of overall scale of the front elevation, the building feels too tall and like a big square while the style of architecture seems quite horizontal. He suggested that they could bring more of the horizontal feel to it.

Board Member Smeaton stated that he liked all of staff's recommendations. He said his additional recommendations would be to lower the roof pitch to stretch the house out a bit and make house less vertical. He noted that with Craftsman architecture, you could create an entire second floor in a roof by dropping plates down in a way that the second floor is more into the roof as opposed to all roof above the plate line. He added that rafter tails are important and that rafter tails and corbels do not mix.

Board member Carlson stated that by comparison, the east elevation is a more comfortable scale than the front of the house. He added that the amount of roof that you are seeing and the scale feels so much nicer than the front.

Chair Hill stated that she did not understand the 5-foot overhang over the garage door on the front elevation. She added that when she sees it in the renderings of the front elevation, it looks more like a perspective. Chair Hill added she was not sure how the overhang would work with the garage door since it is so prominent. She added that it looks like there is a deck on top and that it has a 5' setback. She was trying to understand the south elevation—she thought it was a perspective view.

Chair Hill recommended to the applicant relook at the entry to the garage. She stated that the garage is going to be prominent so if it is set back, the overhang looks like a bit of an afterthought. Chair Hill added that between the overhang of the garage and the lower roofline, the building is so massive and work needs to be done to fix the front.

Chair Hill asked if any Board Members wanted to make a motion to continue the project.

Board Member Smeaton made a motion to continue the project.

Planning Manager Kith interjected that perhaps Board Member Smeaton could amend his motion to continue this project to a specific date. She added that it could

be next month, May, if the applicant thinks she has enough time to turn it around, or June. She further explained that Staff would like the date to be certain so they do not need to republish it in the newspaper.

Chair Hill asked to return to the motion made earlier by Board Member Smeaton.

Motion and Action:

MOTIONED BY BOARD MEMBER SMEATON AND SECONDED BY BOARD MEMBER CARLSON, CARRIED 3-0, to continue the project to the May 6, 2021 Meeting.

Chair Hill noted that they had already approved a motion and asked if they could close this discussion and bring Vice-Chair Tsai back into the meeting.

Planning Manager Kith brought back Vice-Chair Tsai back into the meeting.

CONSENT ITEMS

None.

DISCUSSION ITEMS

4. Incorporation of Public Arts in Development Review

Recommendation:

Discuss and provide feedback.

Discussion:

Planning Manager Kith introduced the discussion by recapping that the Design Review Board asked the staff to see if there was a way to incorporate public arts into the development review process before it comes to this Board for review and approval. She stated that if the applicant is subject to public art, they are given the option of paying an "in lieu" fee if they do not have the space to provide the public art.

Board Member Smeaton stated that the Pavilions Project had a big wall with a lot of space for art and the applicant had artwork created that was unfortunately a rendering of a Pasadena Bridge rather than a South Pasadena landmark. He commented that it was a lost opportunity and since Pavilions did not want to deal with having other artwork created, they paid the fee and moved on. Board Member Smeaton stated it was easier to pay a fee and recommended simplifying the process so that it is not so cumbersome.

Chair Hill added that now that the Design Review Board has been looking at larger projects like Pavilions, we do not want to miss an opportunity to add art. She stated that when she worked with LA City and LA County, on large projects, developers opted to provide the art and worked with some great artists.

Chair Hill stated that the 1% of total cost requirement for on-site installation of approved site-specific public artwork was very minimal and not enough to provide a great piece of art. She stated that she knew that it was part of the code and might not be easy to change. She added that LA County required a minimum amount rather than a percentage spent on art, if a project was of a certain size. She commented that this was something we could consider.

Board Member Carlson stated he agreed wholeheartedly with Chair Hill about the incorporation of the art in the beginning of the design phase and that by the time the Board was considering the mural on Pavilions it seemed like an afterthought. He added that having the artist work with the architect early on is a great idea.

Vice Chair Tsai said her thoughts mirrored what the other Board Members said about the benefit of bringing in the artist early. She commented that she worked on a project where the developer was also a designer/builder and the art element was incorporated into the structure by being hung from the building.

Planning Manager Kith suggested a joint meeting between the Design Review Board and Public Art Commission. She stated that she and staff would think about all of the comments presented today and that she would report back to this Design Review Board as well as the Public Art Commission as to next steps.

ADMINISTRATION

5. Comments from City Council Liaison

City Council Liaison, Mayor Mahmud, stated that, approximately two years ago, when the City Council approved the Public Art Ordinance, Staff had done a survey of what other cities were charging and that is how they came up with their fee. She stated that perhaps Ms. Margaret Lin could contact the three large project developments that have been approved so far: Seven Patios, the Senior Housing project behind 625 Fair Oaks, and Mission Bell and get clarity on each of their proposals for art.

City Council Liaison Mayor Mahmud told the Board that the City has to approve the Housing Element by the fall and they have to accommodate 2,000 plus housing units over the next 8 years. She added that it is highly likely that the major construction in town will occur on main thoroughfares so it certainly would be advantageous to incorporate art, as they will be very visible. She thanked the Board for bringing these issues up.

6. Comments from Board Members

None.

7. Comments from Subcommittees

None.

8. Comments from Staff

Planning Manager Kith stated that at the last City Council Meeting, the City Council made a motion to adopt the Draft Accessory Dwelling Unit (ADU) Ordinance that had been recommended by the Planning Commission. She added it was going back to City Council on April 7 for a second reading of the Ordinance. Planning Manager Kith also stated that on April 7, City Council would be getting a presentation and recommendation for the adoption of the Inclusionary Housing Ordinance.

ADJOURNMENT**9. Adjourn to the regular Design Review Board meeting scheduled for May 6, 2021 at 6:30 p.m.**

There being no further matters, Chair Hill adjourned the Design Review Board meeting at 8:25 p.m.

APPROVED,

Samantha Hill, Chair – Design Review Board

Date



**CITY OF SOUTH PASADENA
DESIGN REVIEW BOARD**

REGULAR MEETING MINUTES

THURSDAY, NOVEMBER 3, 2022 AT 6:30 P.M.

**CITY COUNCIL CHAMBERS
1424 MISSION STREET, SOUTH PASADENA, CA 91030**

CALL TO ORDER:

The Regular Meeting of the South Pasadena Design Review Board was called to order by on Thursday, November 3, 2022 at 6:30 p.m. The meeting was conducted as a hybrid meeting, both on ZOOM and in person at the Council Chambers located at 1424 Mission Street, South Pasadena, California.

ROLL CALL

PRESENT:

Joe Carlson, Board Member
Brian Nichols, Board Member
Kay Younger, Board Member
Samantha Hill, Chair

ABSENT:

Melissa Hon Tsai, Vice-Chair

STAFF

PRESENT:

Matt Chang, Planning Manager
Susana Martinez, Associate Planner
Braulio Madrid, Associate Planner
Mackenzie Goldberg, Assistant Planner

APPROVAL OF AGENDA

Majority vote of the Board to proceed with Board business.

There were no changes requested and the Agenda was approved as submitted.

DISCLOSURE OF SITE VISITS AND EX-PARTE CONTACTS

Disclosure by Board of site visits and ex-parte contact for items on the agenda.

None.

PUBLIC COMMENT

1. Public Comment – General (Non-Agenda Items)

None.

CONTINUED ITEM

2. 221 Fairview Avenue (APN: 5317-007-006), Project No. 2492-DRX:

To allow for a 305-square-foot addition to an existing 1,020-square-foot, single-story dwelling.

Recommendation:

Applicant will be providing a presentation to solicit comments from the Design Review Board on the new design. Continue this item to the December 1, 2022 Design Review Board meeting.

Board Member Younger recused herself as she lives within 1,000 feet of the project site.

Presentation:

Associate Planner Martinez announced that the designer of the project would be presenting and soliciting comments from the Design Review Board on the new design. She added that staff is recommending that after the presentation, this item be continued to the next regularly scheduled Design Review Board meeting of December 1, 2022.

Nick Aho, designer of the project, presented.

Board Member Carlson was pleased with improvements. He was concerned with hardie board on the left side of house looking sterile. He was not familiar with the material.

Designer Aho said there was concern about budget but he could play with other elements.

Board Member Nichols asked applicant about color of hardie board and suggested that maybe the color was making it look sterile.

Chair Hill asked if the applicant had ever installed hardie board at a residential location. She also asked if he would be open to adding some color for contrast.

Designer Aho said he had not ever installed hardie board at a residential location and he was open to adding colors and texture.

Public Comments:

With no requests to speak, the public comment portion was closed.

Board Member Discussion:

Board Member Nichols liked idea of adding more contrast.

Chair Hill concurred that minimal additions and tweaks could make the design more exciting. She felt the front was more interesting in detail.

Board Member Carlson echoed both other Board Member comments.

Action and Motion:

Motioned by Chair Hill, and seconded by Board Member Carlson, carried 3-0, to continue this item to the December 1, 2022 Design Review Board meeting.

PUBLIC HEARING

3. 1648 Spruce Street (APN: 5320-008-013), Project No. 2489-NID/DRX:

To demolish the front façade and rear of an existing single-family dwelling to add a 3,237-square-foot addition, 625 square feet to the first floor and 2,612 square feet to the second floor; demolition of an existing 684 square feet garage and construct a new 504 square feet two-car garage.

Recommendation:

Approve the project, subject to the recommended conditions of approval.

Presentation:

Associate Planner Martinez presented the project. The designer and applicant were present but did not have a presentation.

Board Member Nichols asked staff if the public comment concern that was sent in about the wall crossing the property line would be addressed.

Associate Planner Martinez said it would be addressed during the plan check process.

Chair Hill asked the designer how they chose the Colonial style.

The designer stated that the owner wanted this style.

Public Comments:

With no requests to speak, the public comment portion was closed.

Board Member Discussion:

Board Member Carlson, Younger and Nichols felt the design was an improvement over the original dwelling.

Chair Hill felt that this was the mix of Federal Colonial with a 70s style home. She stated that she had issues with the cantilever that breaks up the first and second level. In addition, she stated that there were elements that were not typical of Colonials including bay windows, horizontal “squatty-looking” windows, and stucco siding. She felt there are elements that if improved and would add enhanced character.

Designer stated she understood about the window comment and would consider the recommendations but felt strongly about using the two materials on the facade.

Action and Motion:

MOTIONED BY CHAIR HILL, SECONDED BY BOARD MEMBER CARLSON, CARRIED 4-0, to approve the project based on staff recommendation and with the additional Board condition of approval to look at the proportions of the second floor windows and the choice of the two materials on the facade. Once completed, the project could return for Chair Review for final approval.

4. 1121 Buena Vista Street (APN: 5317-010-028), Project No. 2482-DRX:

To partially demolish an existing garage, relocate the garage entry, redesign the roofline and increase ceiling heights, relocate the curb cut, add 54 square feet to the front entry, and a front elevation façade modification to an existing single-family dwelling.

Board Member Younger recused herself since she is the property owner of this project.

Recommendation:

Approve the project, subject to the recommended conditions of approval.

Presentation:

Planner Manager Chang presented the project for Associate Planner Robles.

Board Members had no questions for staff.

Board Member Carlson asked the designer about the material and texture of the garage door and if the garage would function as a garage.

Designer stated it would be black anodized aluminum with opaque glass and that it would function as a garage.

Board Member Nichols asked the designer about the large massing around garage door and the possibility of it being less prominent.

Public Comments:

With no requests to speak, the public comment portion was closed.

Board Member Discussion:

Board Member Carlson reiterated that he would like to see the pitch of the garage roof lowered a little.

Action and Motion:

MOTIONED BY CHAIR HILL, SECONDED BY BOARD MEMBER CARLSON, CARRIED 3-0, to approve the project based on staff recommendation with the added condition of approval of looking at the pitch of the roof over the garage and bringing changes to Chair Review for final approval.

ADMINISTRATION

5. Comments from Board Members

None.

6. Comments from Subcommittees

None.

7. Comments from Staff

Planning Manager Chang provided updates and announcements. Staff received more comments about the Housing Element from California Department of Housing and Community Development (HCD) and the comment was posted on the City website. City Council and Planning Commission will have a special joint session next Wednesday to discuss Housing Element. He also introduced new Assistant Planner Mackenzie Goldberg who started in September. He added that there is a new Senior Management Analyst and that a new Deputy Director would be starting next Monday. The December Design Review Board meeting would be on December 1, 2022 but that Staff is considering cancelling the January Design Review Board meeting.

ADJOURNMENT

8. Adjourn to the regular Design Review Board meeting scheduled for December 1, 2022 at 6:30 p.m.

There being no further matters, Chair Hill adjourned the Design Review Board meeting at 7:52 p.m.

APPROVED,

Samantha Hill, Chair – Design Review Board

Date



**CITY OF SOUTH PASADENA
DESIGN REVIEW BOARD**

REGULAR MEETING MINUTES

THURSDAY, DECEMBER 1, 2022 AT 6:30 P.M.

**CITY COUNCIL CHAMBERS
1424 MISSION STREET, SOUTH PASADENA, CA 91030**

CALL TO ORDER:

The Regular Meeting of the South Pasadena Design Review Board was called to order on Thursday, December 1, 2022 at 6:30 p.m. The meeting was conducted from the Council Chambers located at 1424 Mission Street, South Pasadena, California.

**ROLL CALL
PRESENT:**

Brian Nichols, Board Member
Melissa Hon Tsai, Vice-Chair
Samantha Hill, Chair

ABSENT:

Joe Carlson, Board Member
Kay Younger, Board Member

**STAFF
PRESENT:**

Alison Becker, Deputy Community Development
Director
Matt Chang, Planning Manager
Susana Martinez, Associate Planner
Sandra Robles, Associate Planner
Mackenzie Goldberg, Assistant Planner

APPROVAL OF AGENDA

Majority vote of the Board to proceed with Board business.

There were no changes requested and the Agenda was approved as submitted.

DISCLOSURE OF SITE VISITS AND EX-PARTE CONTACTS

Disclosure by Board of site visits and ex-parte contact for items on the agenda.

None.

PUBLIC COMMENT

1. Public Comment – General (Non-Agenda Items)

None.

CONTINUED ITEM

2. 221 Fairview Avenue (APN: 5317-007-006), Project No. 2492-DRX: To allow for a 406 square foot addition to an existing 1,030 square foot, single-family dwelling.

Recommendation:

Approve the project.

Presentation:

Associate Planner Martinez presented the project.

Board Members did not have questions for the staff.

Public Comments:

With no requests to speak, the public comment portion was closed.

Board Member Discussion:

Vice-Chair Tsai stated that the revisions had improved the project.

Board Member Nichols agreed.

Chair Hill concurred.

Action and Motion:

MOTIONED BY CHAIR HILL, SECONDED BY VICE-CHAIR TSAI, CARRIED 3-0 to approve the project based on staff recommendation with conditions of approval.

PUBLIC HEARING

3. **521 Floral Park Terrace (APN: 5317-007-006), Project No. 2399-DRX:** A request for a Design Review Permit to add a 488 square foot addition to an existing 1,219-square-foot, single-family dwelling.

Recommendation:

Approve the project, subject to the recommended conditions of approval.

Presentation:

Associate Planner Martinez presented the staff report.

Board Members did not have questions for staff.

Public Comments:

With no requests to speak, the public comment portion was closed.

Board Member Discussion:

Board Member Nichols stated that what was proposed was out of public view and he did not have any other comments. Vice-Chair Tsai and Chair Hill agreed.

Action and Motion:

MOTIONED BY VICE-CHAIR TSAI, SECONDED BY BOARD MEMBER NICHOLS, CARRIED 3-0, to approve the project based on staff recommendation with conditions of approval.

4. **1023 Adelaine Avenue (APN: 5313-014-012), Project No. 2497-DRX/NID:** A request for a Design Review Permit for the demolition of an existing single-family dwelling and construct a new 2,290 square foot single-family dwelling with an attached 500 square foot garage.

Vice-Chair Tsai recused herself as she has a property interest within 1,000 feet of the project site.

Planning Manager Chang stated that this project would be reviewed at the next Design Review Board meeting on January 5, 2023 since there was no longer a quorum.

5. **725 Fair Oaks Avenue (APN: 5315-002-049), Project 2498-DRX/SGN:** A request for a Design Review Permit for one illuminated wall sign on the south elevation (facing Hope Street) of a multi-tenant building. The project also includes one awning sign and the removal of one projecting sign facing Fair Oaks Avenue.

Recommendation:

Approve the project, subject to the recommended conditions of approval.

Presentation:

Associate Planner Robles presented the staff report.

Chair Hill moved to questions for staff.

Board Member Nichols asked for confirmation that the awning in the presentation would remain. Associate Planner Robles stated the awning would remain.

Chair Hill asked if the logo on Hope Street on the sign was their official logo. Associate Planner Robles responded that it was their logo.

Board Member Nichols asked if the logo had the same depth as the letters. Associate Planner Robles responded yes.

Public Comments:

With no requests to speak, the public comment portion was closed.

Board Member Discussion:

Board Member Nichols and Vice-Chair Tsai stated they had no comments. Chair Hill said she had more of a recommendation than a comment about the logo's size. She asked if it was easily legible from the street.

Action and Motion:

MOTION BY BOARD MEMBER NICHOLS, SECONDED BY VICE-CHAIR TSAI, CARRIED 3-0, to approve the project based on staff recommendation with conditions of approval.

6. **2060 Primrose Avenue (APN: 5320-012-036), Project No. 2520-DRX:** A request for a Design Review Permit to add a 417-square-foot addition to the rear of an existing 1296-square-foot, single-family dwelling.

Recommendation:

Approve the project, subject to the recommended conditions of approval.

Presentation:

Assistant Planner Goldberg presented the staff report.

Public Comments:

With no requests to speak, the public comment portion was closed.

Board Member Discussion:

Chair Hill stated it was straightforward and well integrated.

Vice-Chair Tsai and Board Member Nichols agreed.

Action and Motion:

MOTIONED BY VICE-CHAIR TSAI, SECONDED BY BOARD MEMBER NICHOLS, CARRIED 3-0, to approve the project based on staff recommendation with conditions of approval.

ADMINISTRATION

7. Comments from Board Members

None.

8. Comments from Subcommittees

None.

9. Comments from Staff

Planning Manager Chang introduced newly hired Deputy Director of Community Development, Alison Becker. He also stated that the department is ready to release the fourth draft of the Housing Element on December 5, 2022 and will submit to HCD on December 12, 2022 for review. They will have 45 days to review it. The next Design Review Board meeting is scheduled for January 5, 2023 but since it is right after the holidays, it may be pushed to a special meeting on January 12, 2023.

ADJOURNMENT

10. Adjourn to the regular Design Review Board meeting scheduled for January 5 or 12, 2023 at 6:30 p.m.

There being no further matters, Chair Hill adjourned the Design Review Board meeting at 7:13 p.m.

APPROVED,

Samantha Hill, Chair – Design Review Board

Date _____



Design Review Board Agenda Report

ITEM NO. 6

DATE: October 5, 2023

FROM: Angelica Frausto-Lupo, Community Development Director
Matt Chang, Planning Manager

PREPARED BY: Sandra Robles, Associate Planner

SUBJECT: **Project No. 2416-DRX/AUP – A request for a Design Review Permit (DRX) to add a 63-square-foot, first-story addition and a 619-square-foot, second-story addition to an existing 916-square-foot one-story, single-family dwelling at 1033 Park Avenue (APN: 5318-015-020). The project also includes a request for an Administrative Use Permit (AUP) to allow for tandem parking to count towards the parking requirement. Finding the project exempt under California Environmental Quality Act (CEQA) Guidelines, Section 15301, Class 1 (Existing Facilities).**

RECOMMENDATION

Staff recommends that the Design Review Board (DRB):

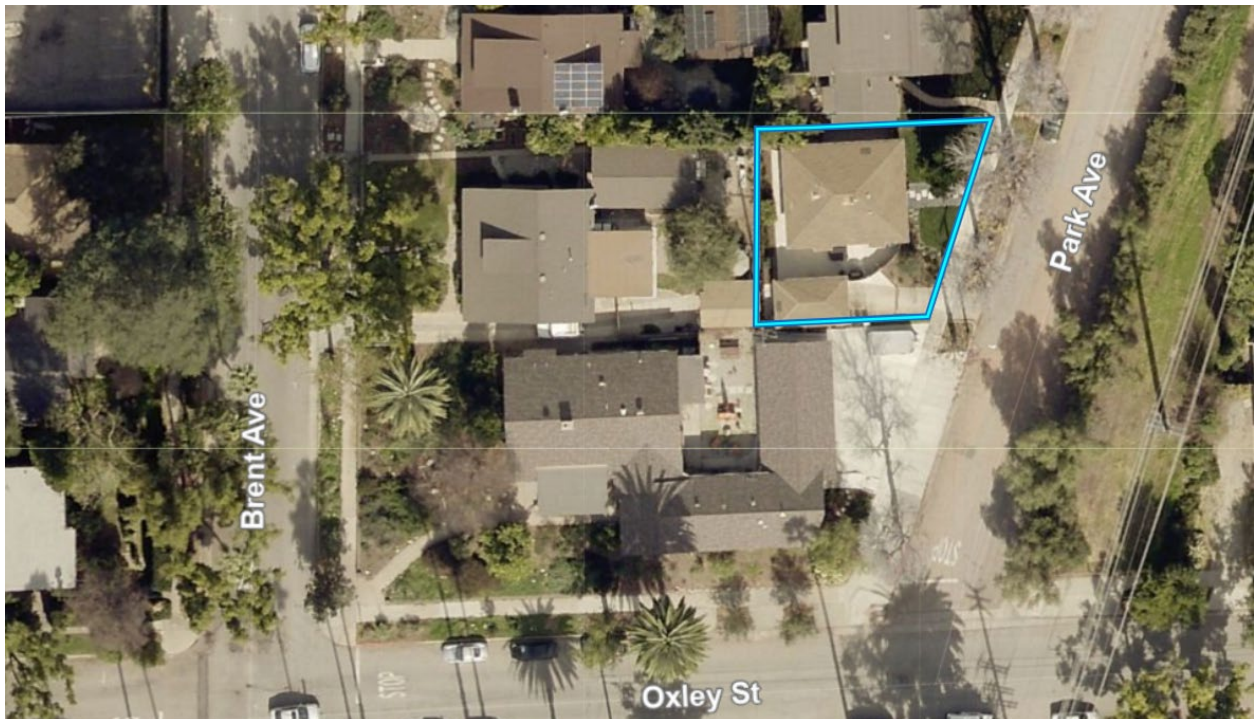
1. Finding the project exempt under California Environmental Quality Act (CEQA) Guidelines, Section 15301, Class 1 (Existing Facilities).
2. Approve Project No. 2416-DRX/AUP, subject to Conditions of Approval (**Attachment 1**).

BACKGROUND

The subject site is an irregular-shaped 3,754-square-foot lot bounded by Brent Avenue to the west, Park Avenue to the east, Mission Street to the north, and Oxley Street to the south. The subject site is within the Residential Medium Density Zoning District, or RM zone, and is surrounded by residential uses to the north, south, and west. **Figure 1**, on the following page, is an aerial image of the subject property and the surrounding neighborhood with the project site outlined in blue. The surrounding homes are a mix of architectural styles, but are dominated by craftsman-style homes (see **Attachment 4** to view site and neighborhood images in the Architectural Plans).

The subject site is currently developed with a 916-square-foot, one-story Minimal Traditional-style single-family residence consisting of two bedrooms, one-and-a-half bathrooms, and a 333-square-foot, detached one-car garage. Originally constructed in 1961, the subject property has undergone minor exterior modifications—in 2014, the applicant received approval for an interior remodel, window/door changeout, and a reroof.

Figure 1: Aerial



PROJECT DESCRIPTION

The applicant is requesting the approval of a Design Review Permit (DRX) to add a 63-square-foot first-story addition and a 619-square-foot second-story addition to an existing 916-square-foot one-story, single-family dwelling at 1033 Park Avenue (APN: 5318-015-020). The project also includes a request for an Administrative Use Permit (AUP) to allow for tandem parking to count towards the two-car parking requirement. The addition will add a new second-story with two bedrooms and two bathrooms; the first story will be reconfigured to accommodate one bedroom and the living room will be expanded. The architectural drawings are included as **Attachment 4**.

A Design Review Permit, specifically Design Review Board process, is required for the proposed request pursuant to Section 36.410.040 of the South Pasadena Municipal Code (SPMC), as the addition exceeds 500 square feet or more than 25 percent of the existing structure and is visible to the street.

PROJECT ANALYSIS

General Plan Consistency

The General Plan land use designation of the project site is Medium Density Residential, which allows for a density of 6.1 to 14 units per acre. The proposed project does not involve the subdivision of the existing lot, only the construction of an addition to a dwelling. Therefore, it is consistent with the General Plan.

With implementation of the project as proposed and compliance with the conditions of approval, the project will support the Goals and Policies of the General Plan as follows:

Neighborhood Protection

Goal 10: To preserve the scale, architectural character, infrastructure and landscape assets of South Pasadena's established residential neighborhoods.

Policy 10.1: Prevent mansionization. Ensure that the remodeling or infill development in established residential neighborhoods is harmonious in scale and building form with its context and that "mansionization" is both avoided and prevented.

The proposed second-story addition is setback and articulated to minimize mass and bulk, which are both attributes of mansionization. Additionally, the new second-story is compatible to the existing one- and two-story structures typical of the neighborhood and maintains its intended character. Therefore, the project is consistent with the General Plan.

The site arrangement and improvements will be compatible to the existing and intended character of the neighborhood since the proposed addition is in compliance with the General Plan and Zoning Code. The project site is surrounded by one- and two-story single- and multi-family residential structures.

Zoning Code Compliance & Development Standards

The subject property is located within the Residential Medium Density (RM) zoning district, which is intended for a variety of housing types; typical residential land uses include single-family bungalow courts, duplexes, triplexes, or other attached or detached single-family dwellings. The purpose of Residential Zoning District General Development Standards (SPMC, Section 36.220.040) is to ensure that alterations to existing structures are suitable and compatible with the applicable development standards. The subject property is a legal nonconforming parcel, with a lot size of less than 10,000 square feet; as such, **Table 1** below includes standards outlined pursuant to SPMC, Section 36.220.050 – Development of Small Nonconforming Residential Parcels.

Table 1: RM Zone and Small Nonconforming Parcel Standards

Standard	Requirement	Existing	Proposed
Lot Coverage	50% (1,877 SF max. allowed)	33.3% (1,249 SF)	35% (1,312 SF)
Floor Area Ratio (FAR)	50% (1,877 SF max. allowed)	24% (916 SF)	43% (1,598 SF)
Building Height	35'	13'-7"	23'-7"
Off-Street Parking	2 Covered Space	1-Car Garage	1-Car Garage & Tandem Parking
Front Setback	15' (with a front porch)	15'	15'
Side Setbacks	10% of lot width, 6'-2" ft. minimum	6' (N) 1' (S)	6' (N) 1' (S)
Rear Setback	20' (from dwelling)	10'	10'

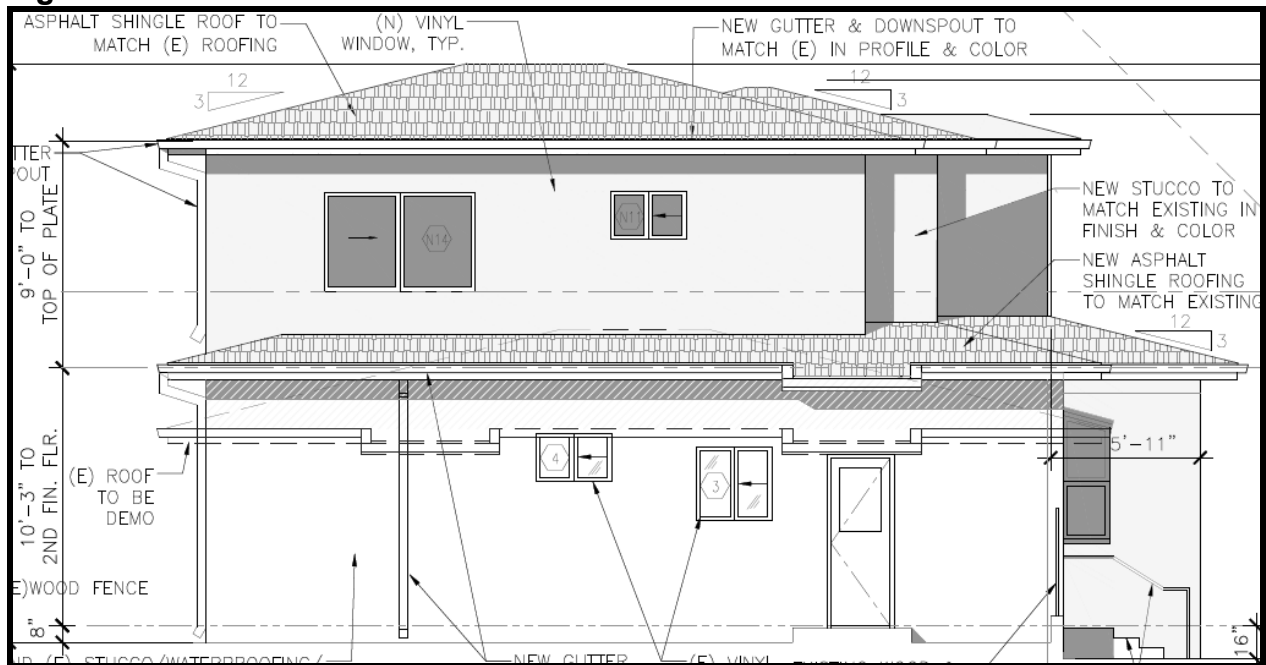
Design Review

The purpose of the Residential Design Review process is to ensure that the proposed site layout and building design are suitable and compatible with the City's adopted design standards and guidelines. The project can be supported based on adhering to development standards identified on **Table 1**, and by meeting the City's adopted design guidelines. In accordance to SPMC, Section 36.220.050(A), Design Compatibility is defined as:

Proposed construction shall have exterior colors, forms, and materials that are consistent throughout and visually compatible with adjacent structures and the surrounding neighborhood. The size, mass, and scale of new dwellings shall also be visually compatible with adjacent structures and the surrounding neighborhood. New dwellings shall also comply with the City's Residential Design Guidelines.

The applicant is proposing to add a new second-story addition to an existing residential dwelling within a neighborhood that has a mix of one- and two-story single- and multi-family dwellings. The size of the addition would result in a total of 1,598 square feet, which is comparable in size to that of the immediate neighborhood. To reduce mass and bulk from the front façade, the applicant is proposing to setback the second story five feet from the front wall plane at the northern portion of the addition. The second-story design is articulated another five feet at the center and a total of seven feet, five inches at the southern portion of the addition. The proposed height and bulk is compatible to neighboring properties and does not overwhelm the neighborhood with disproportionate size and scale. Additionally, the second-story addition reflects the form and architectural

Figure 2: South Side Elevation



The City of South Pasadena's Design Guidelines for Enhancing Existing Non-Historic Residences state that:

1. *Roofs should be simple gabled or hipped roofs with a pitch similar to the surrounding structures and roofing materials should generally have a non-reflective finish (p. 54).*

The existing roof will be demolished and replaced with a low-pitched hipped roof, which reflects the design of the original structure. The proposed second-story addition will match that of the first story in both design and pitch with a cross-hipped roof. The applicant is proposing asphalt composition shingle roofing, which is typically seen on Minimal Traditional buildings.

2. *Porches should have materials such as wood and metal for a new or reconfigured porch and detailing, color and materials of new or reconfigured porches or balconies, should reflect the architecture of the existing building (p. 54).*

The existing property does not have a porch, but the entry way is covered by the existing roof. The proposed first-story addition will create a small recessed entry way, defining a small entrance porch which reflects the Minimal Traditional architectural style.

3. *Architectural details should reflect the architectural character of the residence and architectural vocabulary of the neighborhood (p. 55).*

The existing structure is cladded with stucco and the proposed addition will also will also be cladded with stucco to match the existing in finish and color.

Administrative Use Permit (AUP)

Pursuant to the SPMC, Section 36.410.060, Administrative Use Permits (AUP) are intended to allow for activities whose effect on a site and its surroundings can only be determined after the review of the configuration, design, location, and potential impacts of the proposed use to the site. A request to allow tandem parking to count toward the requirement for covered spaces may be granted with the approval of an AUP. An AUP for a project that requires review and discretionary approval requiring a public hearing shall be considered by the Design Review Board concurrently with the discretionary approval.

Pursuant to SPMC, Section 36.310.080(D)(1)(b), a tandem parking space may count toward the requirement for covered spaces where the property is developed with a single-family home, where current parking requirements are not met, and there is no space available for the required standard size garage (20' x 20'). The project site meets the required conditions. First, the total lot size is 3,754 square feet, which is less than 10,000 square feet, and the property is substandard in size. Additionally, the size of the lot makes it impractical or unfeasible to provide the standard size garage.

Pursuant to SPMC, Section 36.310.080(D)(1)(b)(2), providing a standard size garage is to be considered impractical or unfeasible if such required parking will result in an inefficient site plan, a development pattern that is inconsistent with surrounding development, or the loss of the property's only available private outdoor area. The current configuration of the existing structure and detached one-car garage on the small lot make it infeasible to meet the required 20' x 20' garage parking without encroaching into the adjacent property.

GENERAL STANDARDS FOR CONSTRUCTION

The Public Works Department has reviewed this project and recommended Conditions of Approval (**Attachment 1**) to mitigate any potential construction impact during construction. The recommended conditions including, but not limited to, requiring the applicant to submit a construction management plan, advanced notice for any street closures, and prohibiting overnight storage of materials or equipment within the public right-of-way.

ENVIRONMENTAL ANALYSIS

This item is exempt from California Environmental Quality Act (CEQA) analysis based on State CEQA Guidelines Section 15301, Class 1 – Existing Facilities. Class 1 exemption includes additions to existing structures that will not result in an increase of more than 10,000 square feet, in which the project site is in an area where all public facilities are available and is not located in an environmentally sensitive area.

FINDINGS

Design Review Required Findings

In order to approve a Design Review application, the Design Review Board shall first find that the design and layout of the proposed development:

1. *Is consistent with the General Plan, any adopted design guidelines and any applicable design criteria for specialized areas (e.g., designated historic or other special districts, plan developments, or specific plans);*

The project site has a General Plan land use designation of Medium Density Residential, which allows for the development of duplexes, triplexes, fourplexes, and other attached dwellings at a density of 6.1 to 14 units per acre. The proposed addition to the existing single-family residence is consistent with the General Plan, specifically, with Policy 10.7 of the Land Use Element of the General Plan by maintaining neighborhood character and encouraging the retention of existing structures. The proposed project will continue as a single-family dwelling, and the new second-story addition has a similar mass to the adjacent properties. Additionally, the architectural design, materials, and color scheme will blend with the overall character and color palette of the existing home.

2. *Will adequately accommodate the functions and activities proposed for the site, will not unreasonably interfere with the use and enjoyment of neighboring, existing, or future developments, and will not create adverse pedestrian or traffic hazards;*

The project involves a second-story addition to an existing one-story single-family dwelling. The residence will continue to be utilized as a single-family dwelling and is designed to accommodate the functions and activities related to typical single-family residential properties. Therefore, the use and density are consistent with the surrounding neighborhood and would not unreasonably interfere with the use and enjoyment of the neighboring, existing, or future developments, and will not create adverse pedestrian or traffic hazards.

3. *Is compatible with the existing character of the surrounding neighborhood and that all reasonable design efforts have been made to maintain the attractive, harmonious, and orderly development contemplated by this Section, and the General Plan; and,*

The site arrangement and improvements will be compatible to the existing and intended character of the neighborhood, as such, the proposed addition is in compliance with the General Plan and Zoning Code. The project site is surrounded by one- and two-story single- and multi-family residential dwellings. The proposed addition will incorporate architectural elements that are compatible and match the exiting architectural design. All building materials, colors and finishes will match the existing house.

4. *Would provide a desirable environment for its occupants and neighbors, and is aesthetically of good comparison, materials, and texture that would remain aesthetically appealing with a reasonable level of maintenance and upkeep.*

The proposed project has been designed with the consideration to its occupants and provides adequate indoor and outdoor space. The proposed project uses similar materials and colors to enhance the existing architecture within the neighborhood and should remain appealing with a reasonable level of maintenance.

Required Administrative Use Permit (AUP) Findings

In order to approve an Administrative Use Permit application, the DRB shall first find that the design and layout of the proposed project complies with SPMC Section 36.410.060(F):

1. *The proposed use is allowed with Administrative Use Permit approval within the applicable zoning district and complies with all applicable provisions of the Zoning Code.*

Pursuant to SPMC, Section 36.310.080(D)(1)(b), a tandem parking space may count toward the requirement for covered spaces, provided the property is developed with a single-family home, current parking requirements are not met, and there is no space for the required standard size garage (20' x 20'). The property is substandard in both size and width to accommodating a two-car standard size garage. Thus, the proposed request will comply with all applicable provisions of the Zoning Code.

2. *The proposed use is consistent with the General Plan and any applicable specific plan.*

The General Plan land use designation of the project is Medium Density Residential, which allows for the development of duplexes, triplexes, fourplexes, and other attached dwellings at a density of 6.1 to 14 units per acre. The proposed project does not involve a subdivision of the existing lot; therefore, it is consistent with the General Plan. The project is not part of a specific plan.

3. *The establishment, maintenance, or operation of the use would not, under the circumstances of the particular case, be detrimental to the health, safety, or general welfare of persons residing or working in the neighborhood of the proposed use.*

The proposed tandem parking space to accommodate the requirement of covered spaces would not be detrimental to the health, safety, or general welfare of persons residing or working the neighborhood because it helps maintain existing conditions and is in keeping with the character of the residential neighborhood.

4. *The use, as described and conditionally approved, would not be detrimental or injurious to property and improvements in the neighborhood or to the general welfare of the City.*

The proposed tandem parking space to accommodate the requirement of covered spaces would not be detrimental or injurious to property and improvements in the neighborhood or to the general welfare of the City because it is in keeping with the character of the neighborhood.

5. *The subject site is adequate in terms of size, shape, topography, and circumstances and has sufficient access to streets and highways which are adequate in width and pavement type to carry the quantity and quality of traffic expected to be generated by the proposed use.*

The proposed tandem parking space to accommodate the requirement of covered spaces would not unreasonably interfere with the use and enjoyment of the neighboring, existing, or future developments, and will not create adverse pedestrian or traffic hazards. The proposed request is not expected to generate additional traffic.

6. *The design, location, operating characteristics, and size of the proposed use would be compatible with the existing and future land uses in the vicinity, in terms or aesthetics, character, scale, impacts on neighboring properties.*

The proposed tandem parking space to accommodate the requirement of covered spaces is located to the front of the existing garage and does not impact the design, location, characteristics, and size of the existing property and surrounding uses.

ALTERNATIVES TO CONSIDER

If the Design Review Board does not agree with Staff's recommendation, the following options are available:

1. The Design Review Board may approve the project with modified/added conditions; or
2. The Design Review Board may continue the project to address comments discussed; or
3. The Design Review Board may deny the project.

PUBLIC NOTICING

Hearing notices were sent to all properties within a 300-foot radius on September 21, 2023. A Public Hearing Notice was published on September 22, 2023 in the South Pasadena Review. In addition, the public was made aware that this item was to be considered at a public hearing by virtue of its inclusion on the legally publicly noticed agenda, posting of the same agenda and reports on the City's website.

PUBLIC COMMENTS

At the time of writing this report, staff has received one public comment regarding this project (**Attachment 3**).

NEXT STEPS

If the Design Review Board approved the project, a 15-day appeal period will commence in which any person affected by the decision may appeal the decision for a public hearing by the Planning Commission. Should there be no appeals during this 15-day period, the applicant may proceed through the Plan Check Process with the Building Division and staff will review the construction plans to ensure that all conditions are satisfied.

ATTACHMENTS

1. Conditions of Approval
2. Materials Brochures
3. Public Comment
4. Architectural Plans

ATTACHMENT 1

Conditions of Approval

CONDITIONS OF APPROVAL

Design Review Permit

PROJECT NO. 2416 – DRX/AUP
1033 Park Avenue (APN: 5318-015-020)

The following approvals are granted as described below and as shown on the development plans submitted to and approved by the Design Review Board on October 5, 2023:

1. **Design Review Permit (DRX)** to add a 63-square-foot, first-story addition and a 619-square-foot, second-story addition to an existing 916-square-foot one-story, single-family dwelling at 1033 Park Avenue (APN: 5318-015-020).
2. **Administrative Use Permit (AUP)** to allow for tandem parking to count towards the parking requirement.

Note: As a convenience to the applicant, the development requirements from applicable Departments/Agencies are listed herein. These requirements list what the applicant will be required to comply with in order to receive a Building Permit, a Certificate of Occupancy, or other Department-issued entitlement.

PLANNING DIVISION:

- P1. Approval by the Design Review Board does not constitute a building permit or authorization to begin any construction. An appropriate permit issued by the South Pasadena Building Division must be obtained prior to construction, enlargement, relocation, conversion or demolition of any building or structure on any of the properties involved with the Design Review.
- P2. This approval and all right hereunder shall terminate within 12 months of the effective date of approval by the Design Review Board unless otherwise conditioned and/or unless action is taken to secure Building Permits and maintain active Building Permits with the Building Division beginning with the submittal of the plans for Plan Check review.
- P3. All other requirements of any law, ordinance, or regulation of the State of California, City of South Pasadena, and any other government entity shall be complied with.
- P4. Compliance with and execution of all conditions listed herein shall be necessary prior to obtaining any occupancy inspection clearance and/or prior to obtaining any occupancy clearance.
- P5. The applicant and each successor in interest to the property which is the subject of this project approval, shall defend, indemnify and hold harmless the City of South Pasadena and its agents, officers and employees from any claim, action or proceeding against the City or its agents, officers or employees to attack, set aside, void or annul any approval of the City, City Council or Design Review Board concerning this approval. In the event of any claim or lawsuit, the applicant and/or successor shall submit a deposit in such amount as the City reasonably determines necessary to protect the City from exposure to fees, costs or liability with respect to such claim or lawsuit.

- P6. The construction site and the surrounding area shall be kept free of all loose materials resembling trash and debris in excess of that material used for immediate construction purposes. Such excess may include, but is not limited to: the accumulation of debris, garbage, lumber, scrap metal, concrete, asphalt, piles of earth, salvage materials, abandoned or discarded furniture, appliances or other household fixtures.
- P7. The hours of construction shall be limited to the following: 8:00 am and 7:00 pm, Monday through Friday, 9:00 am and 7:00 pm Saturday, and construction on Sundays limited to 10:00 am to 6:00 pm.
- P8. During construction, the clearing, grading, earth moving, or excavation operations that cause excessive fugitive dust emissions shall be controlled by regular water or other dust preventive measures using the following procedures:
 - a. All material excavated or graded shall be sufficiently watered to prevent excessive amounts of dust. Watering shall occur at least twice daily with complete coverage, preferable in the late morning and after work is done for the day;
 - b. All material transported on-site or off-site shall be either sufficiently watered or securely covered to prevent excessive amounts of dust;
 - c. The area disturbed by clearing, grading, earth moving, or excavation operations shall be minimized so as to prevent excessive amounts of dust; and
 - d. Visible dust beyond the property line emanating from the project shall be prevented to the maximum extent feasible.
- P9. A construction sign with contact information for the contractor shall be clearly posted on-site during construction.
- P10. Any proposed revision to the approved plans shall require review and approval by the Community Development Department prior to construction. The Community Development Department may refer the proposed revision to the Design Review Board or Design Review Board Chair for approval.

BUILDING DIVISION:

- B1. The second sheet of building plans is to list all conditions of approval and to include a copy of the Planning Decision letter. This information shall be incorporated into the plans prior to the first submittal for plan check.
- B2. Plans prepared in compliance with the code in effect shall be submitted to Building Division for review prior permit issuance
- B3. School Developmental Fees shall be paid to the School District prior to the issuance of the building permit.
- B4. Park Impact Fee to be paid at the time of permit issuance.
- B5. Per Chapter 16A of the City of South Pasadena Municipal Code, Growth fee to be paid at the time of permit issuance.

- B6. Plans shall be prepared under the supervision of an architect licensed in the State of California or a civil or structural engineer registered in the State of California. Each sheet of the plans and the cover sheet of the calculations is to be stamped and signed by the person preparing the plans.
- B7. Structural calculations prepared under the direction of an architect, civil engineer or structural engineer shall be provided.
- B8. Project shall comply with the CalGreen Residential mandatory requirements.
- B9. When required by Fire Department, all fire sprinkler hangers must be designed, and their location approved by an engineer or an architect. Calculations must be provided indicating that the hangers are designed to carry the tributary weight of the water filled pipe plus a 250-pound point load. A plan indicating this information must be stamped by the engineer or the architect and submitted for approval prior to issuance of the building permit. A separate permit is required for Fire Sprinklers.

PUBLIC WORKS DEPARTMENT:

- PW1. The applicant shall pay all applicable City and LA County fees, including Public Works Department plan review fee and permit fees per the current adopted Master Fee Schedule which can be found on the City's website. This includes all costs incurred by the City and the Public Works Department for the use of professional services or consultants in the review, investigation, and/or plan check of the public improvement plans. The applicant shall provide receipts of all applicable fees paid prior to submitting plans for review.
- PW2. The applicant shall obtain City approval for any modifications or revisions to the approval of this project.
- PW3. The applicant shall provide a copy of a current Title Report (effective date shall be within the last 60 days). The applicant shall show all easements (if any) per the Title Report to the satisfaction of the Public Works Department. The applicant shall identify all on-site existing City easements. Any conflict with and/or presence of existing easements must be addressed.
- PW4. All sheets shall be stamped, if necessary, and signed by the appropriate persons in responsible control of plans, specifications, and instruments of service per Business and Professions Code Section 5536.2.
- PW5. If applicable, the applicant shall obtain an encroachment permit from the Public Works Department for any work proposed within the public right-of-way.
- PW6. If applicable, the applicant shall provide a covenant for unconditional and indefinite maintenance of any private improvements within the public right-of-way. This covenant shall be reviewed and approved by the Public Works Department and the City Attorney and a fully executed covenant, in recordable form, shall be provided to the City prior to obtaining a permit.
- PW7. Park Avenue shall be videotaped before the start of construction and after construction for assessing the damage caused to the street by construction related traffic. The

applicant will be responsible to restore the road to its original condition before the start of construction. These video tapes shall be submitted to the City before the start of the project and immediately upon completion of the project.

- PW8. The applicant shall be responsible for posting project signs at the entrance to the project site displaying the City's construction hours per SPMC Section 19A.13. The project sign shall be 24" x 36" and made of weather-resistant durable material. The applicant shall provide a 24-hour emergency contact number for a designated person who will be responsible for maintaining the public right-of-way during all stages of construction until the project is complete.
- PW9. The applicant shall provide a Construction Management Plan to the Public Works Department for review and approval prior to issuance of permits. The Construction Management Plan shall include, but not be limited to, types of proposed construction activities, an on-site staging plan, haul route, construction schedule, and shall indicate a contractor parking location. All vehicles including workers' vehicles shall not be parked on the streets or public right-of-way. An offsite parking with a shuttle service should be provided if necessary.
- PW10. The applicant shall provide a construction schedule for each stage of any major activities (i.e. demolition, grading, material delivery, etc.) and the timing of special access if necessary, as it relates to site staging, traffic, and access. If there are any changes to the construction schedule, the applicant shall submit a revised schedule to the Public Works Department.
- PW11. Any construction activity that may require roadway closures will require a traffic control plan prepared by a CA licensed civil or traffic engineer or a C-31 licensed contractor to be submitted for review. Safe pedestrian access, including ADA and bicycle, must be maintained at all times. At least 48 hours advance notice shall be given to all impacted businesses and residents for street and lane closures. All street closures will require an encroachment permit from the Public Works Department. Street closures are only allowed within the time limits specified in SPMC Chapter 19A. Approved street closures require Portable Changeable Message Signs (PCMS) to be placed in advance of the project site.
- PW12. The applicant shall obtain oversize/overload permits from the Public Works Department for any oversized equipment used during the stages of construction, including, but not limited to: demolition; clearing and grubbing; grading; material disposal; drilling for piles and/or caissons; trenching for footings; excavation for retaining walls; core sampling of soils; etc.
- PW13. The applicant shall post temporary "No Parking" signs along the entire perimeter of the property prior to the start of any construction. The temporary "No Parking" signs shall be covered at the end of each working day and uncovered at the start of the following working day prior to any construction activity.
- PW14. Prior to issuance of a grading permit, the applicant shall provide an erosion control plan for dust control techniques to be implemented during project construction which shall include, but not be limited to, use of appropriate BMPs, plans for daily watering of the construction site, limitations on construction hours, and adherence to standard

construction practices such as watering of inactive and perimeter areas.

- PW15. The applicant shall provide a detailed drainage plan signed and stamped by a CA licensed civil engineer. Cross lot drainage is not permitted. Provide a copy of the approved plan from the Building Division.

- PW16. Temporary bins (low boy), if used, shall be “roll off” style to be provided by Athens Services. Athens Services has an exclusive agreement with the City for the provision of trash removal services: only Athens dumpsters can be used. Any dumpsters placed on the roadway shall require a protective barrier underneath (such as plywood) to protect the pavement. The applicant shall obtain a dumpster permit from the Public Works Department.
- PW17. No overnight storage of materials or equipment within the public right-of-way shall be permitted.
- PW18. The applicant shall show all existing and proposed trees, including size and species, and indicate their disposition. If any trees are to be removed, the applicant shall apply for a tree removal permit with the Public Works Department per City Ordinance No. 2328 amending Section 34.10 of SPMC. See SPMC Section 34.12 for the required information and process for the trees that are proposed to be removed and/or impacted during construction. Replacement trees shall be planted per SPMC Section 34.12-5. If existing trees are to remain on the site, the applicant shall note on the plans “no trees to be removed” and provide methods of protecting existing trees during construction.
- PW19. The applicant shall show the existing grade, location, and dimensions of all existing and proposed conditions within the public-right-of-way including, but not limited to: curb and gutter, sidewalk, driveway, traffic striping, signage, utilities, storm drain facilities, trees, and other features.
- PW20. The applicant shall replace all broken, damaged, or out-of-grade curb and gutter, sidewalk, and driveway and repaint all curb markings along the perimeter of the property to the satisfaction of the City Engineer. In addition, existing sidewalk and driveway approaches that are below current City standards shall be replaced regardless of when or how such condition originally occurred per SPMC Section 31.54. All improvements within the public right-of-way shall conform to the current Standard Specifications for Public Works Construction (SSPWC) and Standard Plans for Public Works Construction (SPPWC).
- PW21. If applicable, the applicant shall remove and replace the existing driveway approach with/install a new driveway approach conforming to the current Standard Plans for Public Works Construction (SPPWC) Std Plan 110-2, Type B. Concrete shall be class 520-C-2500 and shall conform to the current Standard Specifications for Public Works Construction (SSPWC). The applicant shall verify the width with the Planning Department and the actual limits of concrete removal with the Public Works Department depending on the condition of the existing concrete pavement adjacent to the property.
- PW22. The applicant shall provide a 24-hour emergency contact number for the applicant and contact information of all utility agencies involved/impacted/potentially impacted by this project on the title sheet of the plans.

PW23. The applicant shall show all utility poles adjacent to the properties and note to protect-in-place.

PW24. The applicant shall show the location of all existing utilities (i.e. sewer lateral and water utility service lines) on adjacent street(s), as well as location and size of all existing or proposed utility service lines serving the property. Show all utility points of connection (POC).

FIRE DEPARTMENT:

FD1. Required Code References: Current South Pasadena Municipal Code (SPMC); 2022 California Fire Code (CFC); 2022 California Building Code and NFPA Standards.

FD2. Fire Sprinklers are required. Submit a separate plan to City for approval.

FD3. (CFC 903.1) General. Automatic Sprinkler systems shall comply with this section.

FD4. (CFC 903.2.8) Group R. An automatic sprinkler system installed in accordance with Section 903.3 shall be provided throughout all buildings with a Group R fire area.

FD5. Fire sprinklers shall not be able to shut off unless the domestic line to the property is shut off. There shall be no other means to turn off water to the sprinkler system. Ensure this sprinkler system is installed by an approved C-16 licensed company. Please provide a drawing of the sprinkler system to the Fire Department prior to beginning of work.

FD6. (CFC 903.3.5) Water Supplies. Water supplies for automatic sprinkler systems shall comply with this section and the standards referenced in Section 903.3.1. The potable water supply shall be protected against backflow in accordance with Health and Safety Code.

FD7. (CFC 507.1) Required water supply. An approved water supply capable of supplying the required fire flow for fire protection shall be provided to premises upon which facilities, buildings or portions of buildings are hereafter constructed or moved into or within the jurisdiction.

FD8. (CFC 507.3) Fire flow. Fire flow requirements for buildings or portions of buildings and facilities shall be determined by an approved method or Appendix B.

FD9. 507.4 Water Supply Test. The fire code official shall be notified prior to the water supply test. Water supply tests shall be witnessed by the fire code official or approved documentation of the test shall be provided to the fire code official prior to final approval of the water supply system.

FD10. (903.2.11.9 SPMC) An automatic sprinkler system shall be installed throughout any existing Group R Occupancy building when the floor area of the Alteration or Combination of an Addition and Alteration, within any twelve (12) calendar months, is 50% or more of area and or valuation of the existing structure and where the scope of the work exposes building framing and facilitates sprinkler installation and is such that the Fire Code Official determines that the complexity of installing a sprinkler system would be similar as in a new building.

FD11. Address Identification. New and existing buildings shall have *approved* address numbers, building numbers or *approved* building identification placed in a position that is plainly legible and visible from the street or road fronting the property. These numbers shall contrast with their background. Where required by the fire code official, address numbers shall be provided in additional approved locations to facilitate emergency response. Address numbers shall be Arabic numbers or alphabetical letters. Numbers shall be a minimum of 4 inches (101.6 mm)

high with a minimum stroke width of 0.5 inch (12.7 mm). Where access is by means of a private road and the building cannot be viewed from the public way, a monument, pole or other sign or means shall be used to identify the structure. Address numbers shall be maintained.

- FD12. Notwithstanding anything else in this code, or any other code incorporated, herein, by reference any new roof shall be of Class "A" roof material.
- FD13. Groups R-2, R-2.1, R-3, R-3.1, and R-4. Single or multiple-station smoke alarms shall be installed and maintained in Groups R-2, R-2.1, R-3, R-3.1 and R-4 regardless of occupant load at all of the following locations:
- 1) On the Ceiling or wall outside of each separate sleeping area in the immediate vicinity of bedrooms;
 - 2) In each room used for sleeping purposes.
 - 3) In each story within a dwelling unit, including basements but not including crawl spaces and uninhabitable attics. In dwellings or dwelling units with split levels and without an intervening door between the adjacent levels, a smoke alarm installed on the upper level shall suffice for the adjacent lower level provided that the lower level is less than one full story below the upper level.
- FD14. Interconnection. Where more than one smoke alarm is required to be installed within an individual dwelling unit or sleeping unit in Group R-1, R-2, R-3, R-3.1, or R-4, the smoke alarms shall be interconnected in such a manner that the activation of one alarm will activate all of the alarms in the individual unit. The alarm shall be clearly audible in all bedrooms over background noise levels with all intervening doors closed (CFC 907.2.11.3).
- FD15. Power Supply. For new construction, required carbon monoxide alarms shall receive their primary power from the building wiring where such wiring is served from a commercial source and shall be equipped with a battery back-up. Alarm wiring shall be directly connected to the permanent building wiring without a disconnecting switch other than as required for overcurrent protection.
- FD16. (CFC 903.2.18) Group U private garages and carports accessory to Group R-3 occupancies. Carports with habitable space above and attached garages, accessory to Group R-3 occupancies, shall be protected by residential fire sprinklers in accordance with this section. Residential fire sprinklers shall be connected to, and installed in accordance with, and automatic residential fire sprinkler system that complies with Section R313 of the California Residential Code or with NFPA 13D. Fire sprinklers shall be residential sprinklers or quick-response sprinklers, designed to provide a minimum density of 0.05 /ft² (2.04 mm/min) over the area of the garage and/or carport, but not to exceed two sprinklers for hydraulic calculation purposes. Garage doors shall not be considered obstructions with respect to sprinkler placement.
- FD17. Buildings under construction shall meet the condition of "Chapter 33 Fire Safety During Construction and Demolition" of the 2022 California Fire Code. Structures under construction, alteration or demolition, shall be provided with no less than one 2A10BC fire extinguisher as follows:
- 1) At each stairway on all floor levels where combustibles materials have accumulated.
 - 2) In every storage and construction shed.

- 3) Where special hazards exist included but not limited to, the storage and use of combustible and flammable liquids.

FD18. For any questions regarding water meter, please contact Public Works at 626-403 7240.

FD19. The City of South Pasadena Fire Department reserves the right to change or otherwise modify requirements based upon receiving additional project information or other unforeseen circumstances.

ATTACHMENT 2

Materials Brochures

LaHabra® **Color Collection**



PAREXUSA



COMPARISON OF CEMENTITIOUS AND ACRYLIC FINISHES

Feature	Cementitious	Acrylic
Application Thickness	1/8 inch (3 mm) Helps to compensate for wall irregularities.	1/16 inch (1.5 mm) Does not easily hide wall irregularities.
Ease of Application	More labor intensive than acrylic stucco finish. Usually requires mortar mixer.	Less labor intensive than cement stucco finish. No jobsite plaster mixer required.
Application Temperature Range	40°F (4.4°C) to 120°F (49°C).	40°F (4.4°C) to 120°F (49°C).
Ease of Clean-Up	Less difficult than acrylic stucco finish.	More difficult than cementitious finish, since it can stain surrounding surfaces. Solvents may be required to remove dried finish from surrounding materials..
Vapor Permeability	Highly vapor permeable.	Vapor permeable, greater than 10. Perm rating will vary by the texture of the acrylic stucco finish.
Initial Color Consistency on Wall	Surface color may vary, due to substrate conditions, slightly creating a mottled look (can be made more consistent with Allegro II or Fog Coat).	Excellent initial color consistency on wall, more color uniformity than cementitious finish.
Assortment of Colors	Good range of colors, but limited in comparison to acrylic stucco finish. Custom and darker colors are more difficult to match with cementitious finishes.	Unlimited colors are possible. Colors are easily matched in acrylic finishes.
Finish Appearance	Good depth of color and texture. Mottling may appear, due to job and application conditions.	Very uniform.
Range of Textures	Numerous textures may be achieved depending on applicators skill. (Smooth hard trowel to heavy Spanish).	Range of textures are available depending on the skill of the applicator and aggregate gradation in acrylic finish. Heavy Spanish type of texture not easily achieved.
Color Permanency/Uniformity	More color permanency than acrylic finish. Colors typically darken with age. Good uniformity, but not as good as with an acrylic finish.	Colors are very uniform, but may fade over time. Some darker colors may fade faster than others.
Fire Resistance	Contributing to 1/8 inch (3 mm) to required 7/8 thickness of portland cement plaster for fire resistance.	Adds no resistance, rating achieved through increased 7/8" base coat.
Material Costs	Lower initial material costs than acrylic finish.	Higher initial material costs than cementitious finish
Hairline Cracking	Hairline cracking transferring from base coat is not uncommon.	Good crack resistance, transferred base coat cracks very low or much less than cementitious finish.
Color Matching	Good color matching.	Excellent color matching.
Regular Maintenance	Little maintenance required. Can be routinely washed.	Little maintenance required. Can be routinely washed.
Repair Maintenance	Less expensive to replace or upgrade. Lower refurbish/ repair/material costs than acrylic finish.	More expensive to replace or upgrade. Higher refurbishing/ repair costs in comparison to cementitious finish.
Crack Resistance Underlayment	Finish is rigid because of the cementitious chemistry. Cementitious stucco finish is applied over a cementitious base coat.	Finish is flexible due to the acrylic chemistry. Acrylic Finish is applied over a cementitious base coat or as the topcoat of EIFS.
Life Cycle	Jobs have performed for over 50 years without repair or recoating.	Jobs have performed for over 30 years without repair or recoating.

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Riverside, CA
Colorado Springs, CO
Haines City, FL

Duluth, GA
Redan, GA
Albuquerque, NM
Allentown, PA
San Antonio, TX



PAREX USA
SUSTAINABILITY

ACRYLIC & ELASTOMERIC FINISHES

LaHabra, who is the pioneer of Base and Package Color Systems within the stucco industry, proudly offers Acrylic Finishes in a Base/Liquid Color System. LaHabra acrylic finish is a 100% acrylic-based material that provides a decorative and protective coating over above-grade vertical cementitious substrates. An acrylic finish is a product that is made-up of polymers, aggregates, mineral fillers and integral colorants. It is trowel or spray applied to provide the final coat for EIFS, stucco, masonry, concrete or other substrates. Finishes have aggregate that will provide both texture and gauge thickness.

LaHabra Acrylic Finishes

- Add beauty and durability to any project. With the latest acrylic technology, LaHabra Acrylic Finishes provide bright, uniform, enduring color that will last for many years with minimal maintenance. Acrylic Finishes are durable coatings that provide color and texture over LaHabra Fastwall Stucco Base, brown coat, cast-in-place concrete, and other approved substrates.
- Liquid color is available in 4 oz. and 8 oz. bottles.
- Available in over 30 standard colors and unlimited custom colors.
- 75 additional standard colors available on the Parex USA color chart.

Acrylic Finish Advantages:

- ✓ Economical
- ✓ Easy Installation
- ✓ Weather-Resistant
- ✓ Vapor Permeable
- ✓ Integral, Fade Resistant Colors
- ✓ Strong bonding



Perma-Flex Stucco Grade Acrylic Finish (Good)

Apply stucco grade acrylic finish over properly prepared stucco, masonry and concrete surfaces. For use over stucco bases. Not to be used on EIFS.



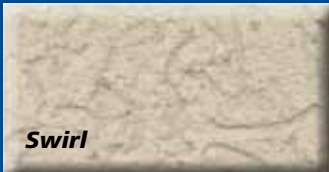
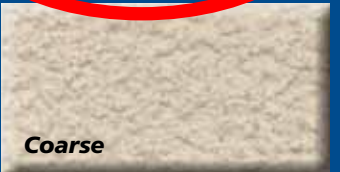
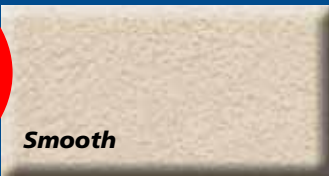
Perma-Elastic Elastomeric Finish (Best)

Supreme, highly durable and elongating textured finishes for masonry, stucco, and concrete. Especially recommended for surfaces with existing hairline cracks. Elastomerics resist UV and weathering, are highly flexible, withstand thermal shock and provide final color and texture.



Perma-Finish EIFS & Stucco Finish (Better)

Premium highly durable, textured finish for EIFS, masonry, stucco, concrete or interior surfaces. Finishes offer remarkable resistance to dirt and stains.



At LaHabra, quality is part of everything we do. Since 1926, we have made it a cornerstone of our company. Our products come from the best raw materials available. Our manufacturing standards lead the industry. Our commitment to color quality and precision is unparalleled. But even more important, we know our most valuable asset is our customer. We stand proudly behind the legendary LaHabra service: our hallmark for over 80 years. For more Acrylic and Elastomeric standard colors, please refer to the Parex USA color chart.

COLOR CHART APPLIES TO STUCCO COLOR COAT, ACRYLIC AND ELASTOMERIC FINISHES, ALLEGRO II AND FOG COAT.
Specify product when placing order.

X = Stucco Color Coat A = Acrylic and Elastomeric Finishes AL = Allegro II DX = Fog Coat

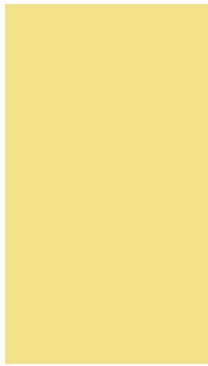
STANDARD COLORS

					
12 CHABLIS (74) BASE 100	16 SILVER GREY (57) BASE 200	17 MISTY (48) BASE 200	23 ASPEN (60) BASE 200	24 SANTA FE (50) BASE 200	25 SADDLEBACK (52) BASE 200
					
28 MIRAGE (56) BASE 200	34 SAN SIMEON (61) BASE 200	40 DOVE GREY (66) BASE 200	48 MEADOWBROOK (73) BASE 100	50 CRYSTAL WHITE (79) BASE 100	53 PURE IVORY (74) BASE 100
					
55 FRENCH VANILLA (71) BASE 100	71 MIAMI PEACH (61) BASE 100	72 ADOBE (50) BASE 200	73 EGG SHELL (76) BASE 100	81 OATMEAL (68) BASE 200	82 HACIENDA (59) BASE 200
					
86 SANDSTONE (63) BASE 200	97 PACIFIC SAND (57) BASE 200	215 MESA VERDE (48) BASE 200	278 TRABUCO (42) BASE 200	434 FALLBROOK (42) BASE 200	475 VIEJO (47) BASE 200
					
504 BLUE GREY (47) BASE 200	524 ALAMO (43) BASE 200	580 SIERRA TAN (44) BASE 200	696 SOUTHERN MOSS (42) BASE 200	820 SILVERADO (48) BASE 200	830 CLAY (40) BASE 200

PREMIUM LIFESTYLE COLORS



14495 BEAUFORT (43) BASE 100



14496 BISCAINE (39) BASE 100



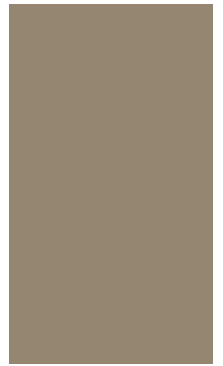
63149 HATTERAS (24) BASE 100



63151 HANOVER (33) BASE 100



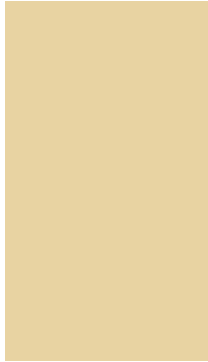
63152 ASHENVILLE (29) BASE 100



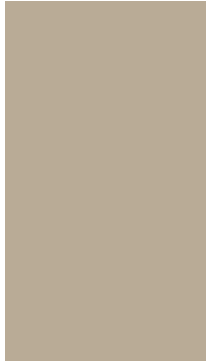
81582 CORAL GABLES (25) BASE 100



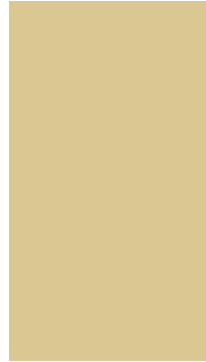
81583 BELLE GLADE (27) BASE 100



81584 SUFFOLK (34) BASE 100



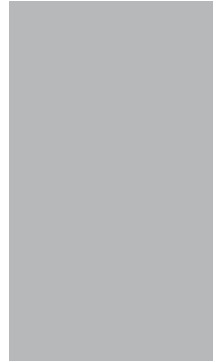
81585 CHARLESTON (34) BASE 100



81586 HIALEAH (36) BASE 100



81588 MORNING SIDE (30) BASE 100



81593 BAY RIDGE (32) BASE 100

LIGHT REFLECTANCE VALUE: (xx) = Percent of light reflected from the surface. (100% = white, 0% = black). The higher the number, the less UV light the color absorbs and the greater the reflectance. Values are based off of stucco 16/20 float. Other textures and products may vary slightly.

NOTE: These colors are intended to show the approximate color of 16/20 float finish stucco. Color will vary depending on type of finish selected. Application by machine spray or texturing will increase the depth of color. Variation in color due to weather, job conditions and method of application should be expected. For color verification, request an actual sample in the color and texture prior to ordering material. Apply a sample of stucco to be used on actual substrate before proceeding with the application. LaHabra is not responsible for color correctness of applied finish. Color must be verified and approved by owner prior to application.

Premium Lifestyle Colors: special pricing applies.

CEMENTITIOUS STUCCO PRODUCTS



Exterior Stucco Color Coat

Stucco is a cementitious colored finish applied over a cement stucco base coat.

Color Pack

To color, mix with powder color pack



Fog Coat

Fog Coat is an economical, cement-based colored stucco coating used to repair or refresh the color of stucco.



Allegro II

Allegro II is a revolutionary polymer-modified, economical cement-based colored stucco coating that allows stucco to breathe. Allegro II can be used to change color or to refresh and recolor old stucco. Unlike paint, Allegro II can be applied over fresh stucco and won't blister or peel like paint.

Liquid Color

To color, mix with liquid color bottle.

CEMENTITIOUS EXTERIOR STUCCO COLOR COAT

Why Stucco

Stucco is the best value and the most efficient wall finish available. It is a tried and true finish with a proven long-term and well-documented history. Providing a variety of textures, beauty, durability, and fire-resistance properties, portland cement stucco is the obvious choice for your home.

Beautiful Integral Colors

Cement stucco uses iron oxide pigments to achieve its color. These inorganic minerals give the colors a rich and natural look. Integral colored exterior stucco is a mechanically blended compound of portland cement, hydrated lime, sand aggregates, and iron oxide pigments. Since the stucco is internally colored, it never needs to be painted.

Like many natural materials, cement stucco will appear slightly different during each season. With proper curing, age, and exposure to the elements, portland cement stucco may slightly darken over time enhancing the color. This is a unique characteristic of stucco not easily duplicated by other claddings.

Durable

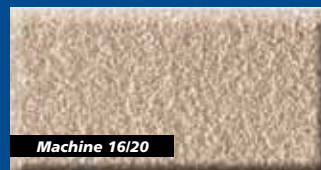
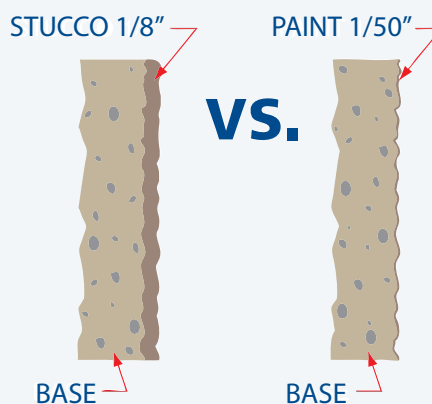
When applied correctly, cement stucco is a tough, fire-resistant material that will not fade or peel. Minimal care will keep portland cement stucco looking attractive for years and with simple maintenance it will last nearly a lifetime. The simple act of washing with water once every six months will keep the surface clean and the colors bright.

Moisture Protection

During construction, homes have a water-resistive barrier installed, in accordance with the building code. The water-resistive barrier and flashing provide the moisture protection on the exterior walls. Stucco is a cladding that covers the water-resistive barrier. Cement plaster assemblies are considered to be drainable claddings. Any incidental moisture that finds its way behind the stucco will stop at the water-resistive barrier and run down to a weep screed where it will drain from the wall. In addition, stucco is extremely breathable with a rating as high as 30 to 60 perms. Since stucco is vapor permeable, any moisture that gets in and does not drain, will in turn, escape from the system as vapor. Painting stucco will reduce the perm rating drastically.

Durable & Long-Lasting

The 1/8" finish coat of stucco covers a minimum 1/2" to 3/4" cement stucco base. These multiple layers provide a tough integrated shield for your home's exterior walls. The through-color finish does not need to be repainted after years of exposure to sun, wind or cold compared to ongoing maintenance required of other non-cement based exterior finishes. As a dense cement product, stucco assemblies (base & stucco) resist noise from nearby streets and can be a fire-resistant barrier component, providing up to a one-hour fire rating for your home's security.



MILGARD.COM



For more information including technical specifications and reviews, visit
MILGARD.COM/TUSCANY

Tuscany®, PureView®, SecurityMAX™, SunCoat®, SunCoatMAX®, EdgeGardMAX® and SmartTouch®
are trademarks of Milgard Manufacturing, Inc.

ENERGY STAR® is a registered trademark of the U.S. Environmental Protection Agency. Milgard Windows is proud to be an
ENERGY STAR® partner, with all Tuscany Series products ENERGY STAR® qualified for all U.S. zones.

Milgard Tuscany Series windows and doors meet criteria for structural integrity and reliable performance established by the
American Architectural Manufacturers Association (AAMA). Consult your Milgard representative for specific test information.

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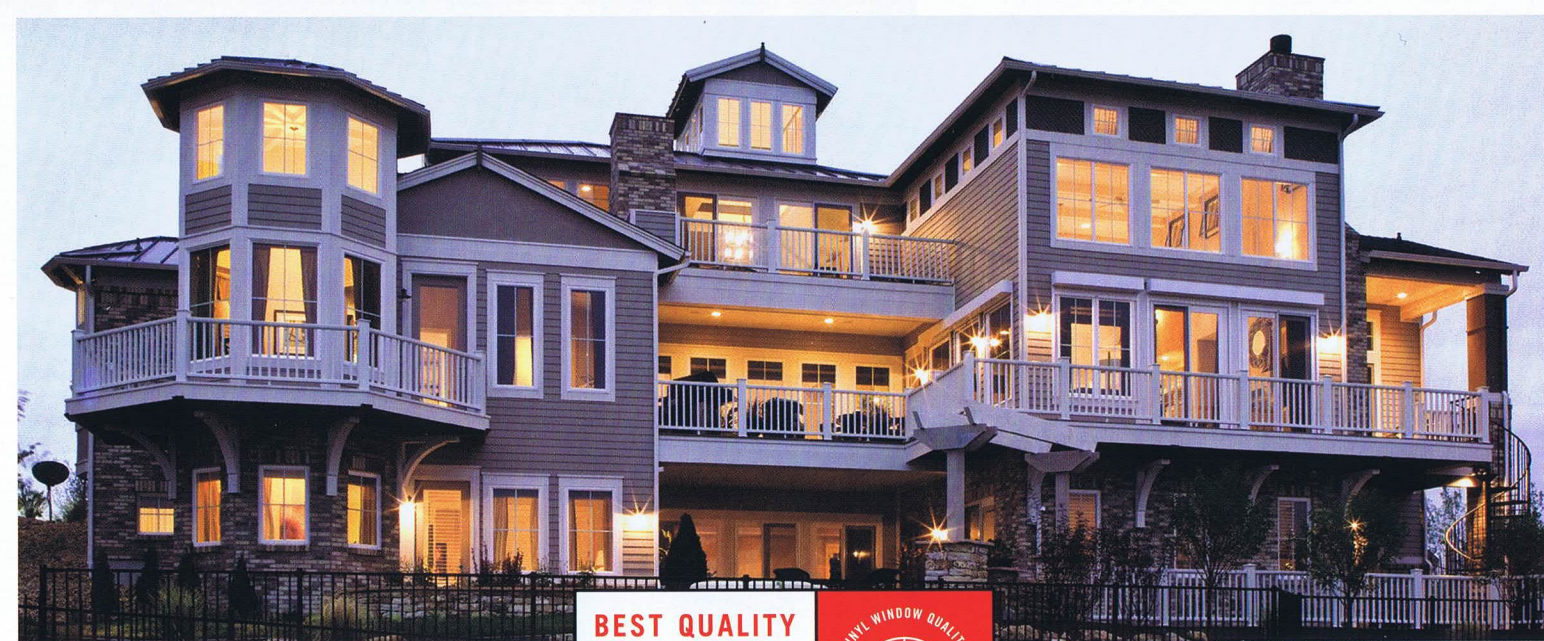
Milgard
WINDOWS & DOORS

TUSCANY® SERIES

PREMIUM VINYL WINDOWS & PATIO DOORS



FOR NEW CONSTRUCTION OR REPLACEMENT
DURABLE AND BEAUTIFUL



Elegant design. Endless possibilities.

Tuscany® Series is our premium vinyl window and patio door line with a broad range of operating styles for endless combinations.

Awarded #1 Quality Vinyl Window in the Nation*, this is our best-selling series custom-made to your exact measurements from our signature vinyl formula and crafted with award-winning hardware.

The result is high performing, energy efficient, elegant windows and patio doors that can beautify your home for years to come.

*2019 Builder Magazine Brand Use Study

TUSCANY SERIES OFFERS:

- Durable vinyl frames that won't absorb moisture and don't require painting
- Innovative SmartTouch® lock technology that's easy to use
- The traditional styling of a wood window with even sightlines
- Eleven exterior colors to enhance the look of your home
- A Full Lifetime Warranty that includes Glass Breakage coverage



Why Milgard Windows & Doors

Quality

Milgard offers award-winning windows and patio doors built for long-lasting comfort. For over 50 years, industry experts have consistently recognized Milgard as a trusted brand, ranking #1 in vinyl window quality nationwide nine times*.

*According to the 2019 Builder Magazine Brand Use Study.

Experience

Since 1962, Milgard has designed and assembled superior custom-made windows and patio doors for replacement, remodeling and new construction. Milgard is known for their industry-leading designs, using patented technologies, that help make your home more comfortable.

Service

We have always taken great pride in our ability to provide exemplary customer service. We believe that being close to our customers allows us to provide a better service experience. You'll find Milgard factory trained technicians near you in the Western U.S. and Canada.

Full Lifetime Warranty

We have a dedication to quality and build our windows and patio doors to last. With Milgard, you're covered for as long as you own your home with our industry-leading Full Lifetime Warranty. See complete details at MILGARD.COM



Milgard
windows
and patio
doors can
help you
create a
beautiful
home

Define Your Home with Windows

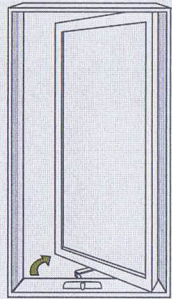
Tuscany® Series vinyl windows offer the performance and energy efficiency you want coupled with award winning SmartTouch® hardware, exclusive to Milgard. Available in a wide variety of operating styles for endless combinations, Tuscany Series can make a lasting impression in your home.





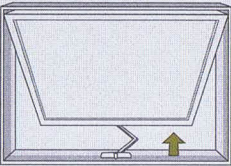
Single/Double Hung

HARDWARE
SmartTouch Lock, Vent Stop



Casement

HARDWARE
Folding Nesting Operator, Sash Lock



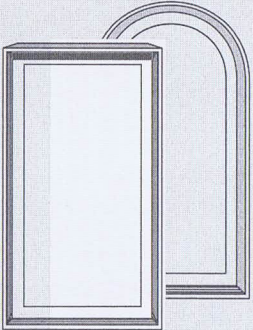
Awning

HARDWARE
Folding Nesting Operator, Sash Lock



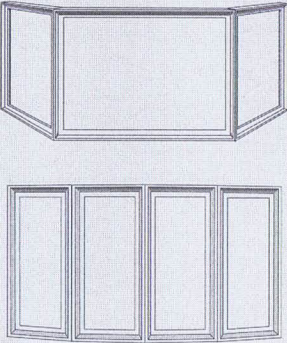
Horizontal Slider

HARDWARE
SmartTouch Lock, Vent Stop



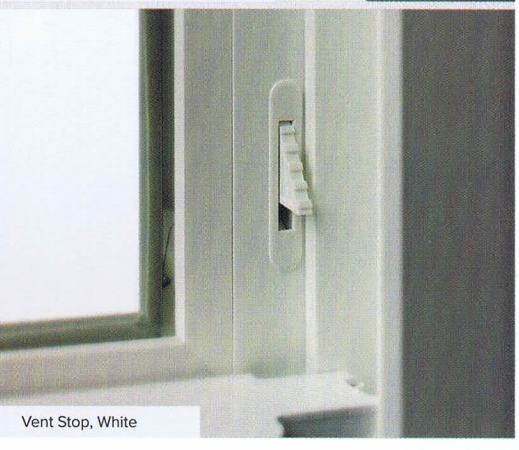
Picture and Radius

HARDWARE
Non-operable



Bay and Bow

HARDWARE
Dependent on your window selection



Hardware color will match interior frame color selection of white, tan or clay. Clay not available in all areas. All windows come with pull rail screens for easier removal and installation.



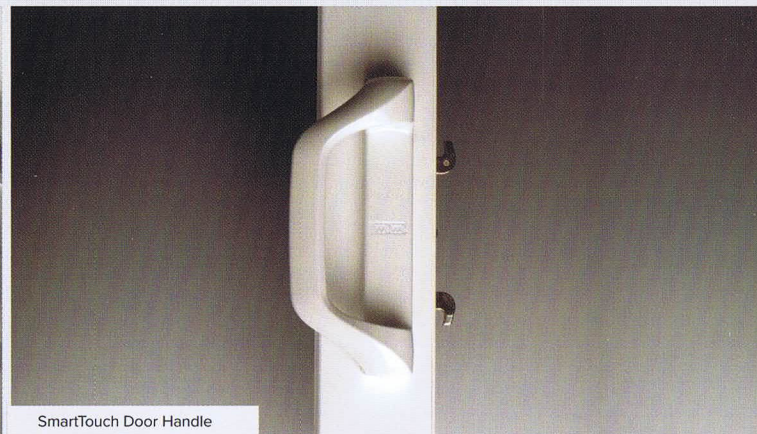
SmartTouch® Innovation

Exclusive to Milgard

Milgard has a long-standing tradition of innovation. The SmartTouch window lock and door handle addresses the need for durable, easy to use windows and patio doors that exceed rigorous California forced-entry codes*.



SmartTouch Lock



SmartTouch Door Handle

SmartTouch Window Lock

INTUITIVE

It's the easiest way to unlock and lock windows allowing you to open or close them in one smooth, single motion. No pinching, squeezing or twisting.

STREAMLINED

The SmartTouch window lock mechanism is incorporated into the window sash for a sleek, low-profile design.

STRONG

The lock assembly is constructed from die-cast zinc making it strong and built to last.

SECURE

It offers peace of mind you can see. When the handle is down, the window is locked so you can rest assured your window is secure at a glance.

SmartTouch Door Handle

ERGONOMIC

A simple one-touch motion unlocks, opens and closes the door, making it accessible and usable for all ages.

SMARTTOUCH BOLT

A fully integrated steel bolt that secures the sliding patio door firmly into the top frame with the flip of a lever - an industry first! Let the fresh air in while keeping the door secure in a vented position.

SECURITYMAX™ PACKAGE

Includes a multi-point locking system paired with the SmartTouch Bolt. The lock is activated with a single motion of the handle which engages four locking points and secures the door in the top frame and bottom track. This provides five points of security on your patio door.**

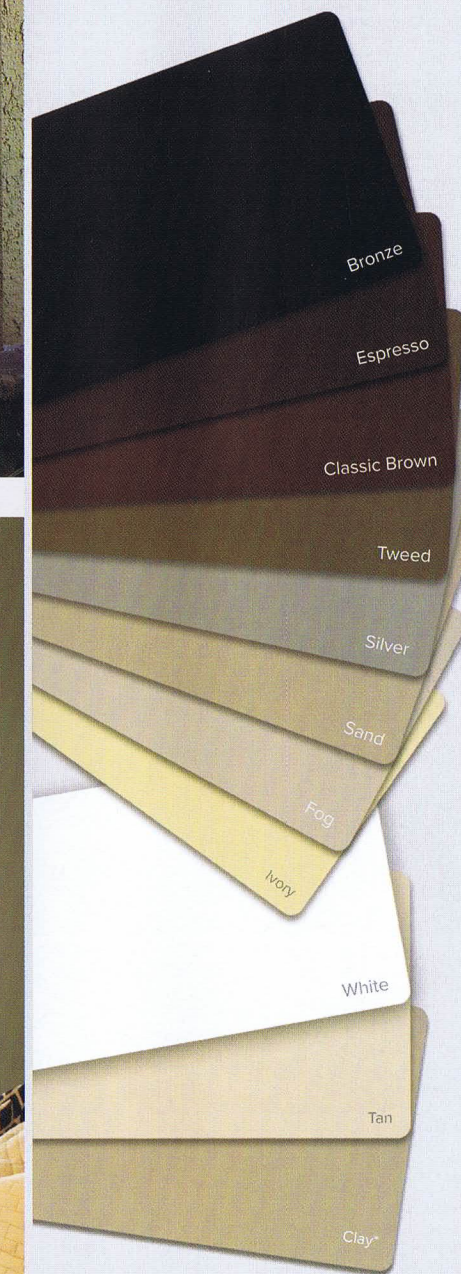


Bronze Half Vent with SDL Grids



Tan Single Hung and Picture Windows with Flat Grids

Make a Statement with Color



Premium Exterior Vinyl Finishes

White interior only

Standard Finishes

Matching interior and exterior

Colors shown are approximate. Visit your local Milgard Certified Dealer to see accurate paint samples.

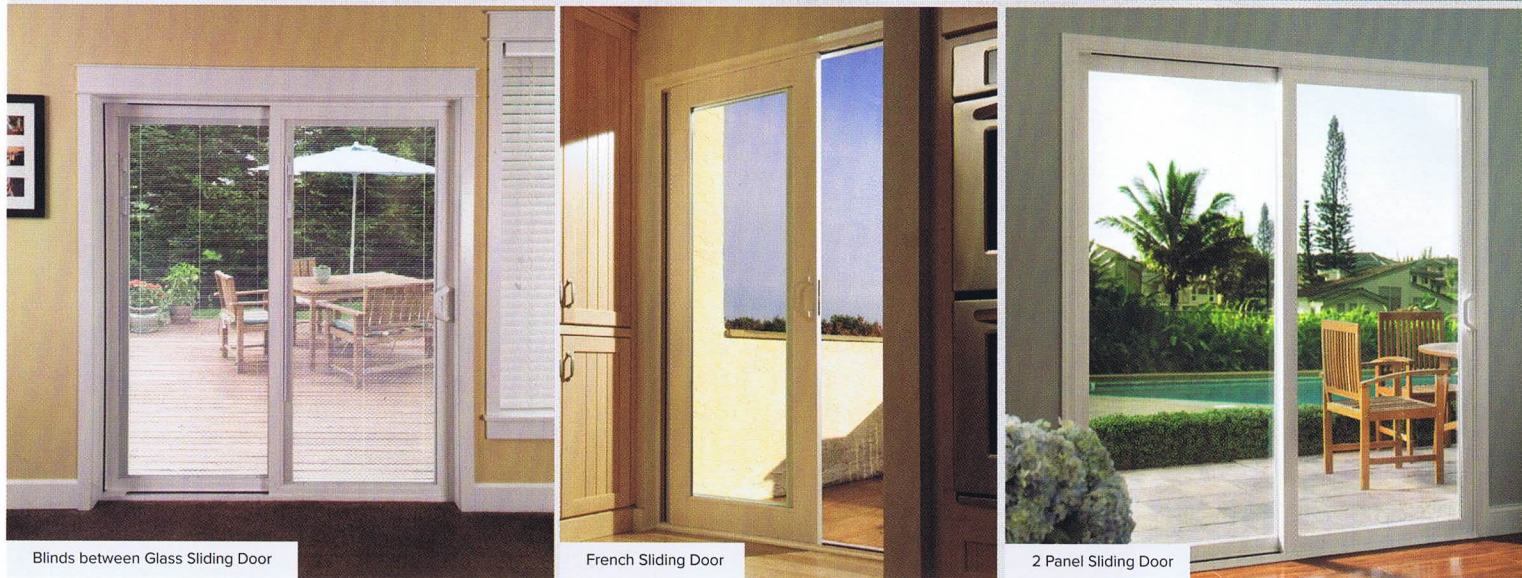
*Clay is not available in all locations.

Tuscany® Series Patio Doors

Tuscany Series patio doors are the perfect balance of durability, beauty and security. Choose from sliding doors available with standard frames or an elegant French Rail to reflect your personal style. Swinging French doors are also available in select markets. With superior energy performance and premium hardware options, you'll enjoy Tuscany Series patio doors for years to come.



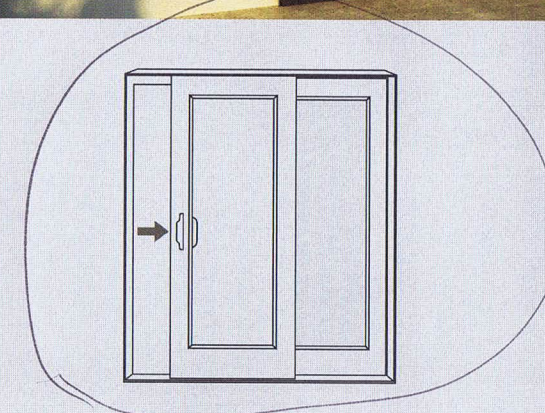
4 Panel Sliding Door



Blinds between Glass Sliding Door

French Sliding Door

2 Panel Sliding Door



Sliding Doors

- Available in standard or French rail to reflect your style
- High quality rollers that allow for effortless operation and adjustment of door panels
- Innovative SmartTouch® door handle to open & close easily

OPTIONS

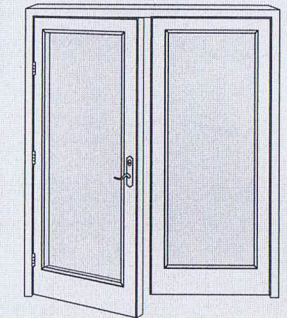
- SmartTouch Bolt locking and venting system
- Durable aluminum blinds between the glass to control light and privacy *(Not available in all sizes)*
- ADA handle or exterior keyed lock
- Choose from standard or premium screen frame and standard or PureView® screen mesh for enhanced visibility
- Retractable screen also available *(Not available in all sizes)*

SIZING *(Sizes can vary by location)*

1 Panel:	Min 2'6" x 6'8"	Max 4'0" x 8'0" (fixed)
2 Panel:	Min 5'0" x 6'8"	Max 8'0" x 8'0"
3 Panel:	Min 9'0" x 6'8"	Max 12'0" x 8'0"
4 Panel:	Min 10'0" x 6'8"	Max 16'0" x 8'0"

HARDWARE

Standard and decorative upgrade options available



Swing French Doors

- Elegant French rail for a classic look
- Two-way adjustable hinges for easy door panel alignment
- Available in AZ, CA, NV and TX only

OPTIONS

- Choose an in-swing or out-swing operating style
- Expand your view with sidelites and transoms

SIZING *(Sizes can vary by location)*

1 Panel:	Min 2'0" x 6'6"	Max 3'2" x 8'0"
1 Panel-1 Sidelite:	Min 3'4" x 6'6"	Max 5'2" x 8'0"
1 Panel-2 Sidelites:	Min 4'8" x 6'6"	Max 7'2" x 8'0"
2 Panel:	Min 4'0" x 6'6"	Max 6'4" x 8'0"
2 Panel-1 Sidelite:	Min 5'4" x 6'6"	Max 8'4" x 8'0"
2 Panel-2 Sidelites:	Min 6'8" x 6'6"	Max 10'0" x 8'0"

HARDWARE

Standard and decorative upgrade options available

Sizes can vary by location. Your Milgard Certified Dealer can provide more detail on sizes available in your area.

Choose Your Door Hardware

Sliding Door Hardware

STANDARD INTERIOR OPTIONS

- SmartTouch® Lock available in white, tan, and clay*
- D handle available in white, tan

STANDARD EXTERIOR OPTIONS

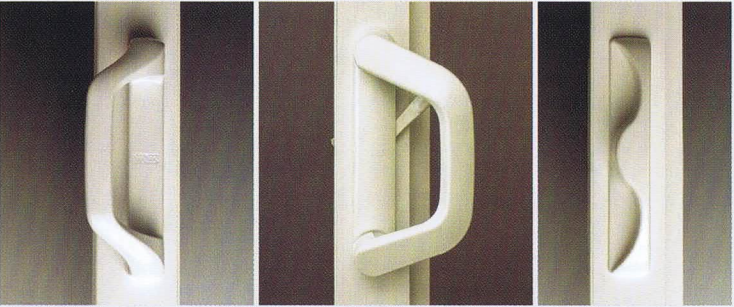
- Exterior handle color will compliment door frame color selection
- Exterior handle can come either keyed, or unkeyed

DECORATIVE UPGRADE OPTIONS *(interior only)*

- Decorative interior handle upgrade options include oil rubbed bronze, brushed chrome, and satin nickel

SMARTTOUCH BOLT

- Available for all Tuscany Series sliding door configurations



SMARTTOUCH HANDLE, WHITE

D HANDLE, WHITE

EXTERIOR SLIDING HANDLE, WHITE



DECORATIVE HANDLE, BRUSHED CHROME UPGRADE

SMARTTOUCH BOLT, WHITE

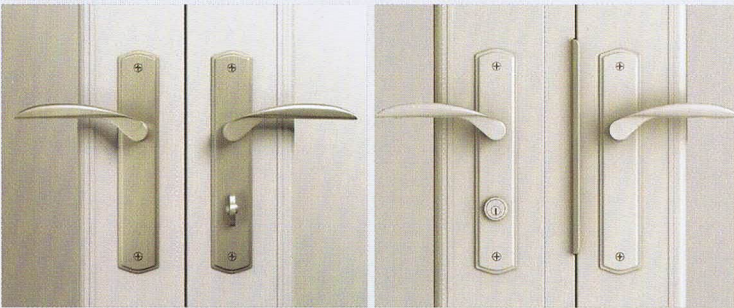
Swing Door Hardware

STANDARD OPTIONS *(interior and exterior)*

- Interior swing door handles are available in white, tan, oil rubbed bronze, and clay*

DECORATIVE UPGRADE OPTIONS *(interior and exterior)*

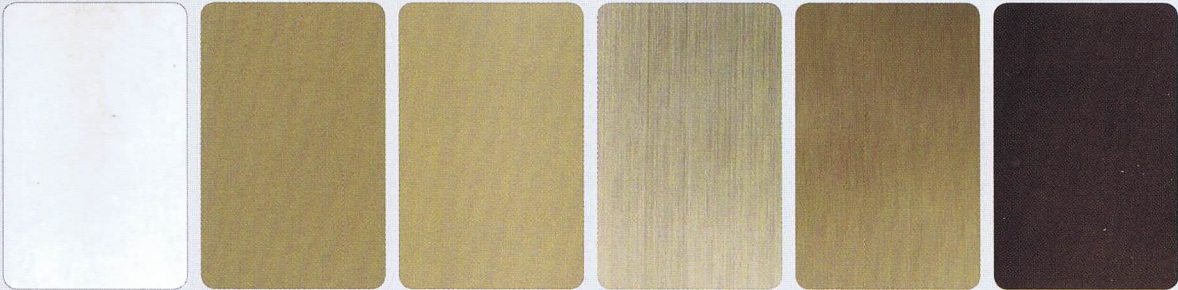
- Decorative upgrade options include brushed chrome and satin nickel



SWING DOOR INTERIOR HANDLE SATIN NICKEL UPGRADE

SWING DOOR EXTERIOR HANDLE WHITE

Hardware Finishes



White

Tan

Clay*

Brushed Chrome

Satin Nickel

Oil Rubbed Bronze

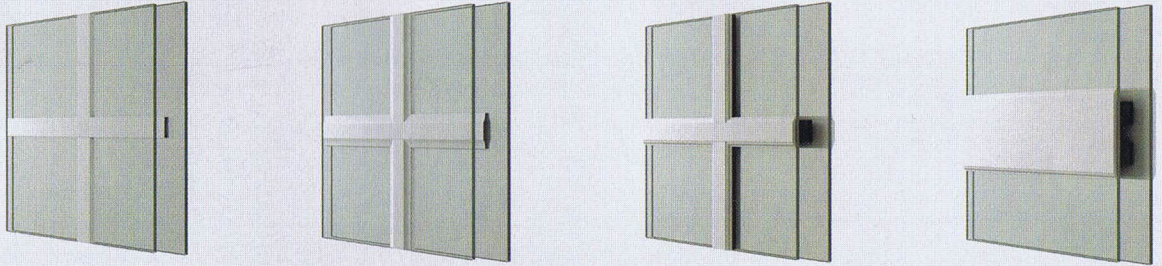
*Clay not available in all areas

Make it Your Own



Grids

Express your creativity and dramatically increase your home's curb appeal with our virtually endless grid options. Select grid choices placed inside our insulated glass units for easiest window cleaning.



FLAT GRID

SCULPTURED GRID

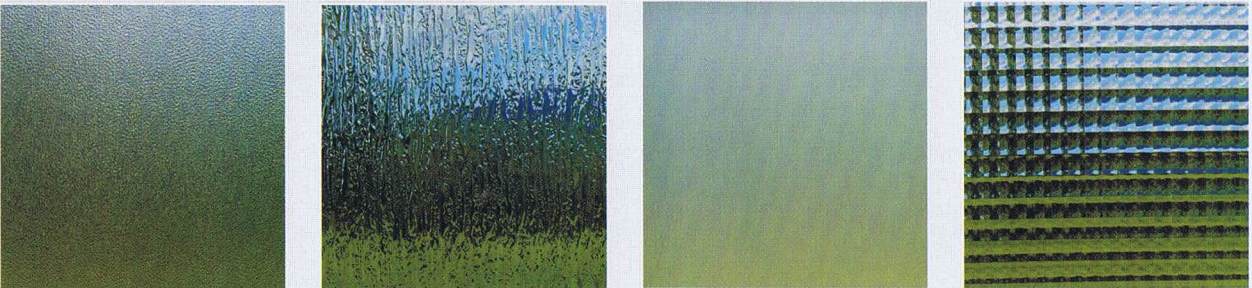
SIMULATED DIVIDED LITES

CHECK RAIL

Decorative Glass

For rooms, such as the bathroom, we offer obscure glass for privacy or decorative flair. We also have tinted glass for additional shading from direct sunlight.

VISIT MILGARD.COM TO SEE FULL COLLECTION OF OPTIONS



P516

RAIN

MATELUX

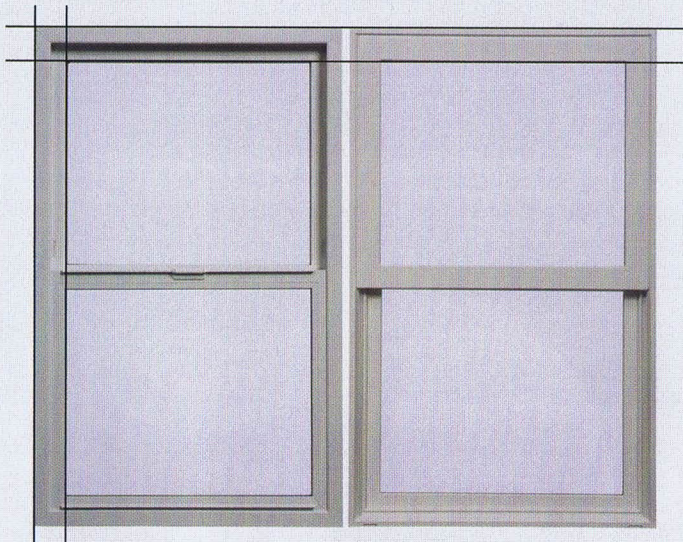
CROSS REED

Details That Matter

Even Sightlines

All Tuscany® Series windows come with even sightlines, from top to bottom, and across operating styles. This provides a streamlined and aesthetically pleasing effect throughout your home, no matter which window operating style you choose.

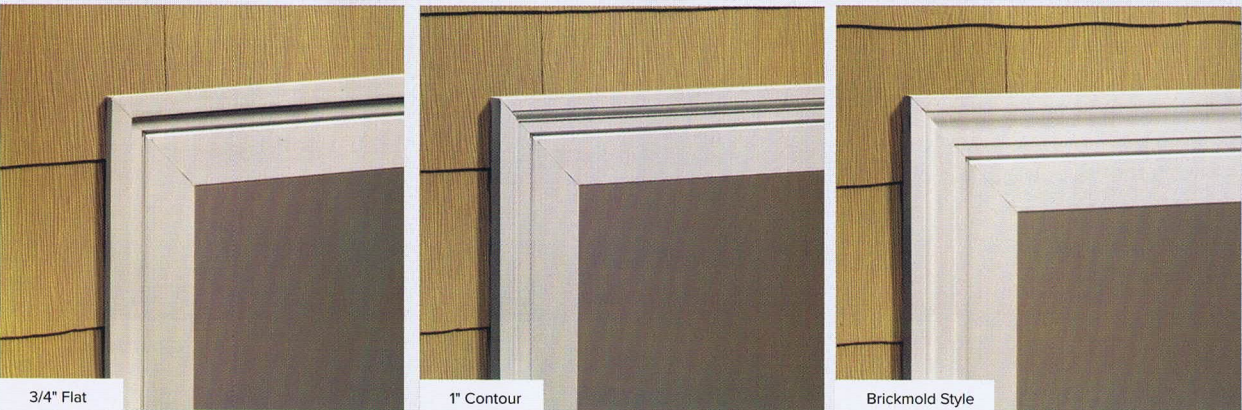
Tuscany Series is suitable for a variety of architectural home styles, and multiple frame types allow for use in both new construction and replacement applications.



Installation Configurations



Exterior Trim Options (Not sold separately)

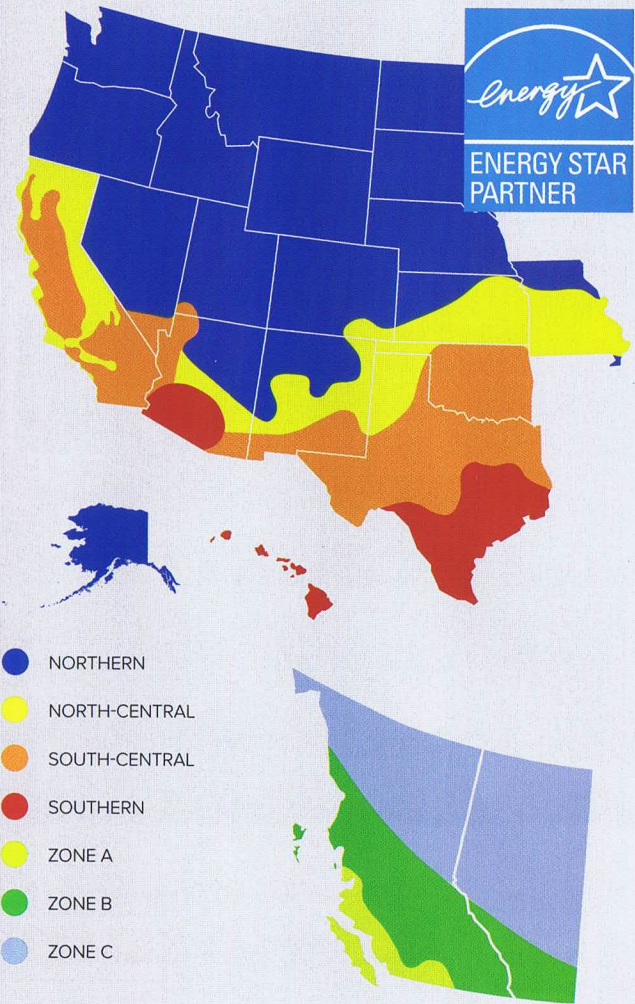


Energy Efficiency

Tested and Built for Your Climate

At Milgard, we help homeowners like you make an impact on their energy consumption by offering energy efficient windows and patio doors designed for your homes comfort.

We make it easy to meet local energy codes and green building efficiency standards with a selection of energy packages you can tailor to your specific climate. We conduct thermal simulations to improve energy performance and we adhere to ENERGY STAR® v6 requirements that meet or exceed U-Factor and Solar Heat Gain Coefficient (SHGC) criteria in the areas we serve.



ZONE	U-Factor	SHGC
ENERGY STAR v6 Northern	0.27	-
ENERGY STAR v6 North-Central	0.3	0.4
ENERGY STAR v6 South-Central	0.3	0.25
ENERGY STAR v6 Southern	0.4	0.25
R5	0.20	-

Your energy efficient windows could include one or more of the following features based on your climate.

- SunCoat® or SunCoatMAX®
- EdgeGardMAX™
- Argon or Krypton
- 4th Surface
- Triple Glaze



Quality You Can
Trust...From
North America's
Largest Roofing
Manufacturer!

TIMBERLINE®

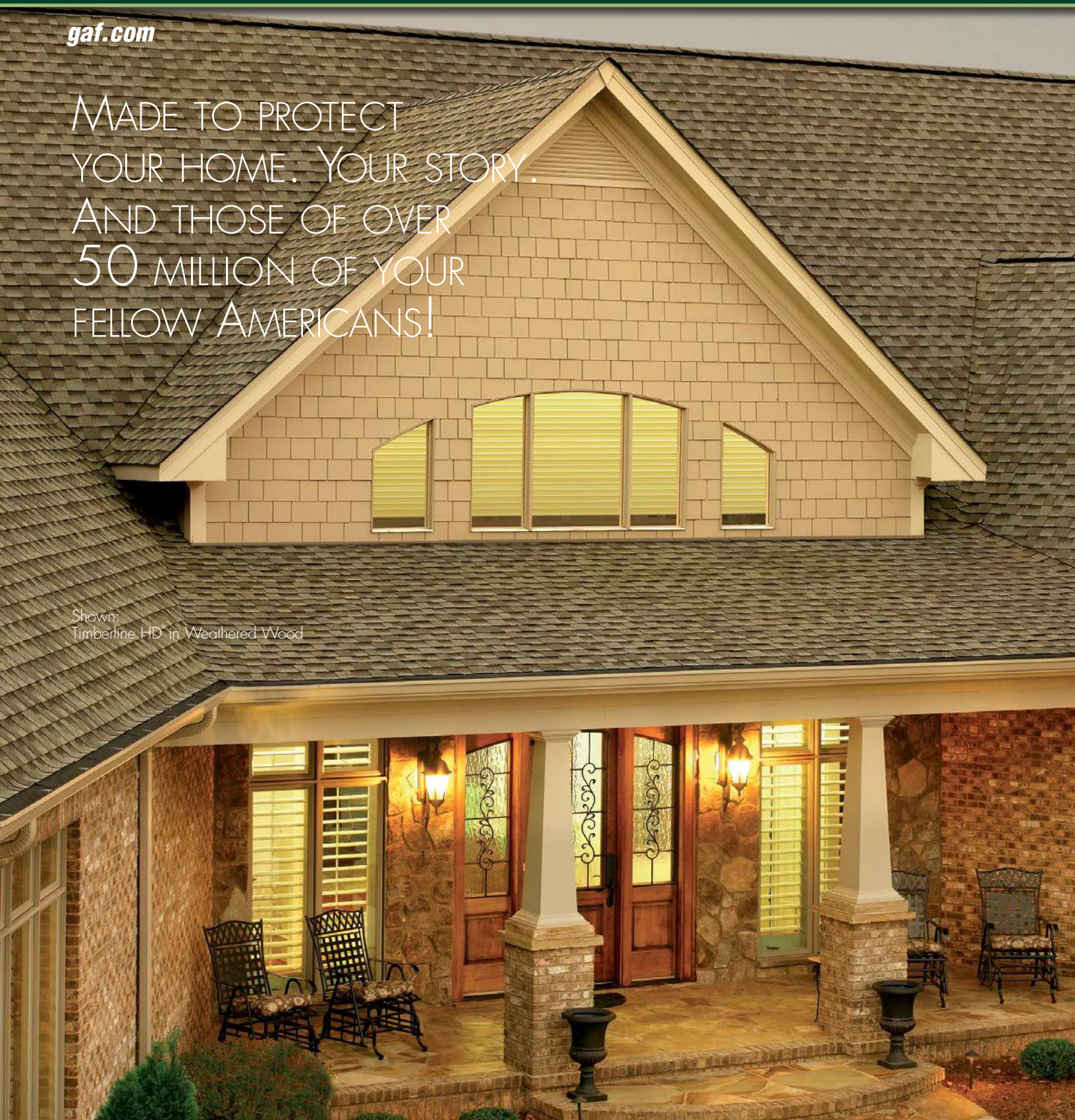
LIFETIME HIGH DEFINITION® SHINGLES

AMERICA'S #1-SELLING ROOF

gaf.com

MADE TO PROTECT
YOUR HOME. YOUR STORY.
AND THOSE OF OVER
50 MILLION OF YOUR
FELLOW AMERICANS!

Shown:
Timberline HD in Weathered Wood



Install Peace Of Mind



Whether you install the ultra-dimensional Timberline Ultra HD® Shingles or the ever-popular Timberline HD® Shingles, you'll be getting all the benefits that only a genuine Timberline® roof can provide!



Weathered Wood

Install To Protect.

When you install GAF Timberline® High Definition® Shingles with **Advanced Protection®** Shingle Technology, you're getting the very best combination of weight and performance that modern manufacturing technology can deliver. In fact, you won't find a shingle that surpasses Timberline® on:

- ✓ Toughness
- ✓ Wind uplift resistance
- ✓ Flexibility
- ✓ Fire resistance



That's why every Timberline® High Definition® Shingle comes with a GAF transferable Lifetime® Ltd. warranty* — for your peace of mind! — plus the backing of the Good Housekeeping Seal.**



Install To Invest.

Your roof can represent up to 40% of your home's "curb appeal." Timberline® High Definition® Shingles not only protect your most valuable asset but also beautify your home for years to come — and add to its resale value.

An independent research firm surveyed U.S. homeowners about the brand of architectural shingles they preferred based on appearance. The result: **more homeowners preferred the look of Timberline® High Definition® Shingles** to the other leading brands.¹

In fact, according to a survey conducted by the National Association of REALTORS®, you can increase the value of your home by an average of 5% with a new Timberline® roof!²

So why settle for anything less than a genuine Timberline® roof?

Install To Impress.

Timberline® High Definition® Shingles are unlike any others, thanks to our proprietary shadow bands. Each shadow band is applied using a sophisticated, computer-controlled "feathering" technique. When combined with our randomly blended top layer, it results in a shingle with exceptional depth and dimension — **and a striking look unmatched by any other brand.**

But don't just take our word for it. See for yourself. When you compare Timberline® High Definition® Shingles to typical architectural shingles, it's easy to see why they'll look sharper and more beautiful on your roof — while enhancing the resale value of your home.

Whatever you're looking for, there's a Timberline® Shingle to fit your taste and your budget.

See the difference...

Another Major Brand



Timberline® High Definition® Shingles



The color blends on Timberline® High Definition® Shingles are sharp and well defined — to give your roof maximum dimensionality and depth. Color shown: Hickory

Here's What Female Homeowners Have To Say...

GAF recently received the Women's Choice Award for being the brand that is a "gold standard when it comes to meeting high standards of quality and service," as rated by female homeowners in the U.S.



¹Based on a 2014 survey of U.S. homeowners commissioned by GAF comparing the appearance of two popular Timberline® High Definition® Shingle colors to the comparable colors of other leading brands.

²2013 National Association of REALTORS® survey commissioned by GAF of REALTOR® Appraisers and Non-Appraisers in the U.S.; response based on REALTOR® Appraisers that have had professional experience buying or selling a home with Timberline® Shingles in the three years preceding the survey and felt they could provide an estimated value increase for a home with a Timberline® roof as compared to a home with a basic three-tab shingle roof.

NOTE: It is difficult to reproduce the color clarity and actual color blends of these products. Before selecting your color, please ask to see several full-size shingles.

*See GAF Shingle & Accessory Ltd. Warranty for complete coverage and restrictions. The word "Lifetime" refers to the length of coverage provided by the GAF Shingle & Accessory Ltd. Warranty and means as long as the original individual owner(s) of a single-family detached residence (or the second owner(s) in certain circumstances) owns the property where the shingles are installed. For owners/structures not meeting the above criteria, Lifetime coverage is not applicable.

**Timberline® High Definition® Shingles have earned the prestigious Good Housekeeping Seal (applicable in U.S. only).

Timberline®
North America's
#1-Selling
Shingles!

Timberline Ultra HD® Shingles



Shown: Timberline Ultra HD®
in Slate

Your best investment for an ultra-dimensional wood-shake look

Timberline Ultra HD® Shingles will cost you just pennies-a-day more than standard architectural shingles.* In return, you can enjoy a thicker, ultra-dimensional wood-shake look for your roof.

Extra-thick layers make Timberline Ultra HD® Shingles up to 53% thicker than standard architectural shingles* for a natural dimensional beauty you'll notice and appreciate.

(Not to mention they can increase the resale value of your home!)

*Comparison refers to Timberline HD® Shingles. Thickness varies by plant; see actual shingles for comparison.

NOTE: It is difficult to reproduce the color clarity and actual color blends of these products. Before selecting your color, please ask to see several full-size shingles.

NEW!



Introducing StainGuard Plus™ Time-Release Technology

Our Timberline Ultra HD® Shingles feature patent-pending StainGuard Plus™ Time-Release Technology, a revolution in the fight against blue-green algae. Specially engineered capsules are infused throughout with

thousands of copper microsites, which release copper efficiently, over time, for long-lasting algae-fighting power. It's algae resistance so powerful, it comes with a 25-year ltd. warranty against blue-green algae discoloration.*

*StainGuard Plus™ Time-Release Technology and 25-year ltd. warranty against blue-green algae discoloration available only on Timberline Ultra HD® Shingles sold in packages bearing the StainGuard Plus™ logo. Does not apply to Timberline Ultra HD® Reflector Series™ Shingles. See GAF Shingle & Accessory Ltd. Warranty for complete coverage and restrictions.

Timberline HD[®]

Shingles



Timberline Ultra HD[®] and Timberline HD[®] Shingles Provide These Unique Benefits

- **Beautiful Look...** Features GAF proprietary color blends and enhanced shadow effect for a genuine wood-shake look.
- **Highest Roofing Fire Rating...** UL Class A, Listed to ANSI/UL 790.
- **Advanced Algae Resistance...** New StainGuard Plus[™] Time-Release Technology provides long-lasting protection against blue-green algae stains (applies to Timberline Ultra HD[®] Shingles only).¹
- **High Performance...** Designed with Advanced Protection[®] Shingle Technology, which reduces the use of natural resources while providing excellent protection for your home (visit gaf.com/aps to learn more).
- **Stays In Place...** Dura Grip[™] Adhesive seals each shingle tightly and reduces the risk of shingle blow-off. Shingles are warranted to withstand winds up to 130 mph (209 km/h).²
- **Peace Of Mind...** Lifetime Ltd. transferable warranty with Smart Choice[®] Protection (non-prorated material and installation labor coverage) for the first ten years.³
- **Perfect Finishing Touch...** Use Timbertex[®] Premium Ridge Cap Shingles or Ridglass[®] Premium Ridge Cap Shingles.⁴

¹ StainGuard Plus[™] Time-Release Technology and 25-year limited warranty against blue-green algae discoloration available only on Timberline Ultra HD[®] Shingles sold in packages bearing the StainGuard Plus[™] logo. Does not apply to Timberline Ultra HD[®] Reflector Series[™] Shingles. See GAF Shingle & Accessory Ltd. Warranty for complete coverage and restrictions.

² This wind speed coverage requires special installation; see GAF Shingle & Accessory Ltd. Warranty for details.

³ See GAF Shingle & Accessory Ltd. Warranty for complete coverage and restrictions. The word "Lifetime" refers to the length of coverage provided by the GAF Shingle & Accessory Ltd. Warranty and means as long as the original individual owner(s) of a single-family detached residence (or the second owner(s) in certain circumstances) owns the property where the shingles are installed. For owners/structures not meeting the above criteria, Lifetime coverage is not applicable.

⁴ These products are not available in all areas. See www.gaf.com/ridgecapavailability for details.

NOTE: It is difficult to reproduce the color clarity and actual color blends of these products. Before selecting your color, please ask to see several full-size shingles.

Shown: Timberline HD[®] in Mission Brown (Regional color)

Timberline[®] HD: North America's #1-selling shingle

More homeowners in North America rely on **Timberline HD[®]** Shingles than any other brand. They offer just the right combination of beauty, performance, and reliability — and are the best value in roofing today.

When you install Timberline HD[®] Shingles, you'll be installing the brand that professional installers rely on for its rugged, dependable performance — thanks to **Advanced Protection[®] Shingle Technology**. And you'll be getting your own genuine Timberline[®] roof!

TIMBERLINE HD[®]
LIFETIME HIGH DEFINITION[®] SHINGLES



PATRIOT RED (Regional)

Patriot Red is a warm defining shade that conveys a strong sense of style. This strong, bold color provides contrast to earth tones, as well as more traditional white and gray exteriors. With Patriot Red, homes surrounded by natural landscapes will have a balanced, yet noticeable appearance.



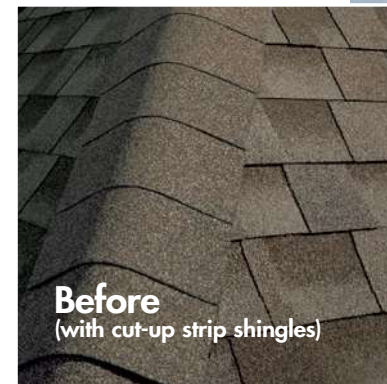
GAF

NOTE: It is difficult to reproduce the color clarity and actual color blends of these products. Before selecting your color, please ask to see several full-size shingles.

RidgeCaps



Timbertex® and Ridglass® Premium Ridge Cap Shingles



Before
(with cut-up strip shingles)



After
(with Timbertex® Premium Ridge Cap Shingles)



Ridglass® Premium Ridge Cap Shingles

Important Warning: *Timbertex® and Ridglass® Premium Ridge Cap Shingles are designed to complement the color of your Timberline® Shingles. But some contractors cut costs by using the tabs from a 20-year or 25-year 3-tab shingle as your ridge cap. To ensure the closest color consistency for your roof, ask your contractor to use genuine Timbertex® or Ridglass® Premium Ridge Cap Shingles!**

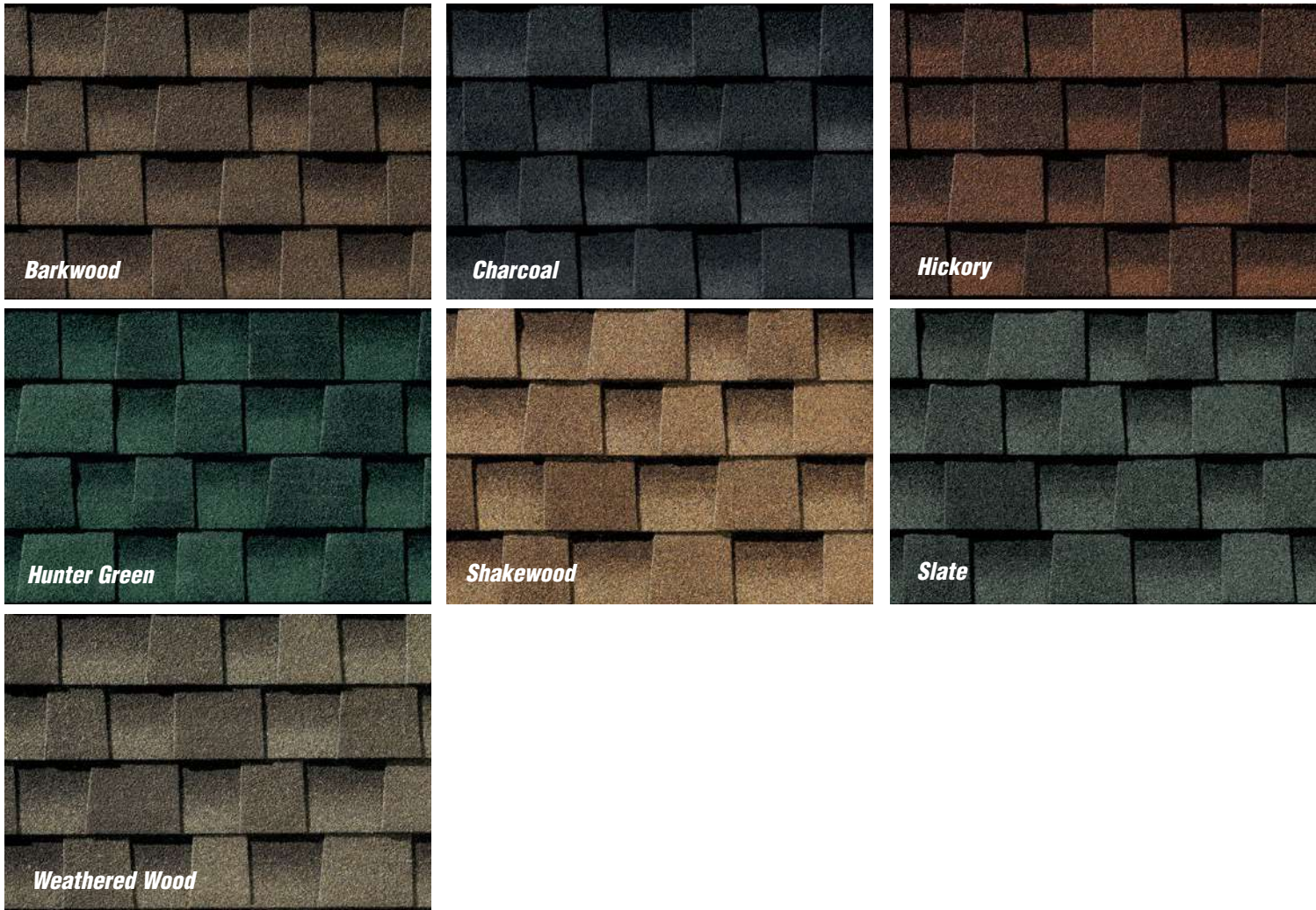
- **Accentuate the Natural Beauty...** Of your newly installed shingle roof
- **Protect...** Guard against leaks and blow-offs at the hip and ridge areas of your roof
- **The Right Colors...** Designed to complement the color of your roof's shingles (unlike cut-up 3-tab shingles)
- **Peace Of Mind...** Eligible for up to a Lifetime Ltd. warranty when installed on Lifetime Shingle roofs†

†See GAF Shingle & Accessory Ltd. Warranty for complete coverage and restrictions. The word "Lifetime" refers to the length of coverage provided by the GAF Shingle & Accessory Ltd. Warranty and means as long as the original individual owner(s) of a single-family detached residence (or the second owner(s) in certain circumstances) owns the property where the shingles and accessories are installed. For owners/structures not meeting the above criteria, Lifetime coverage is not applicable. Lifetime Ltd. warranty on accessories requires the use of at least three qualifying GAF accessories and the use of Lifetime Shingles.

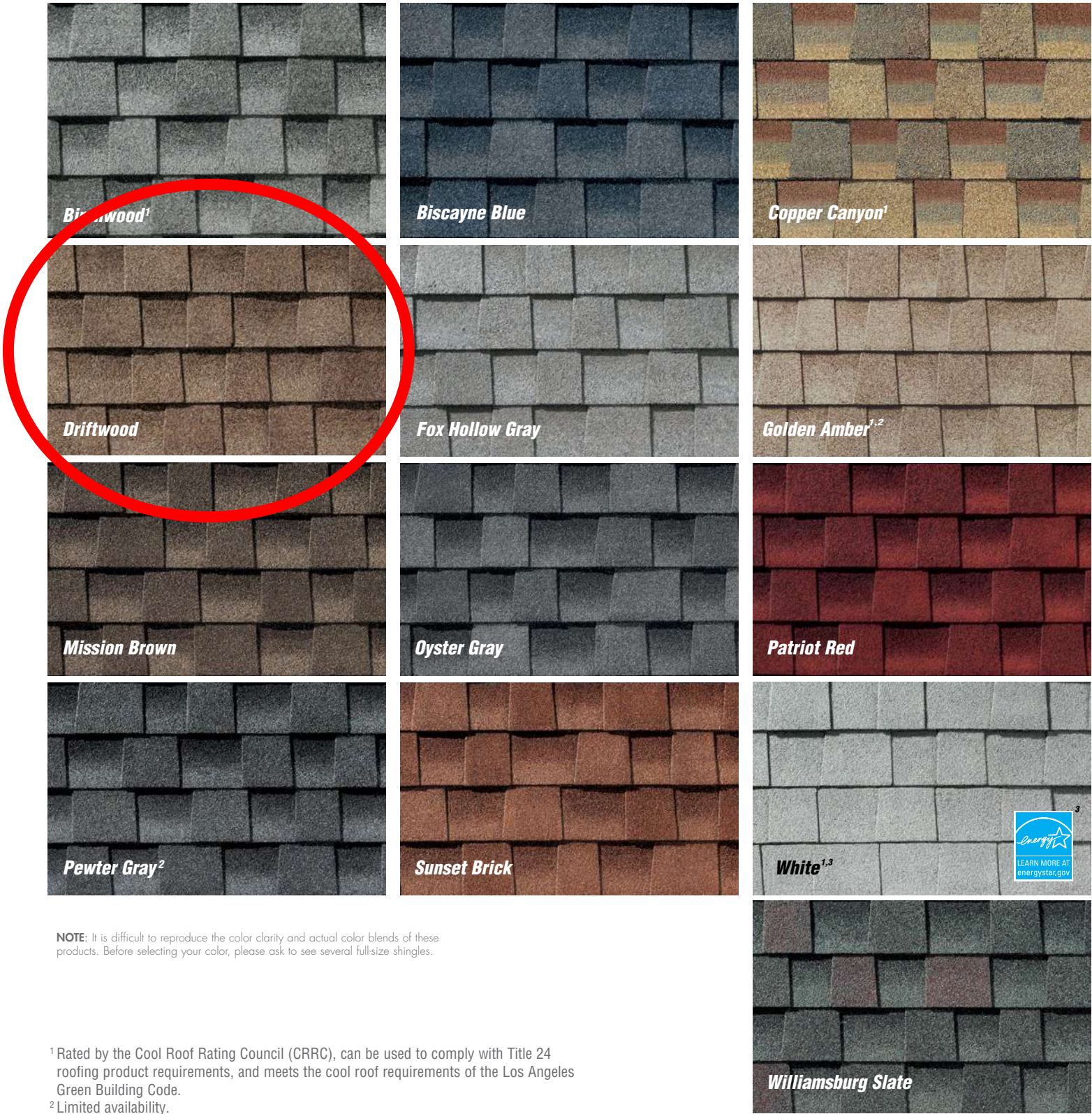
*These products are not available in all areas. See www.gaf.com/ridgecapavailability for details.

Color Availability

Most Popular



Regional (See Color Availability Chart On Next Page For Details)



We can help you choose the right shingle for your roof!

Try GAF's Virtual Home Remodeler at gaf.com. Visualize GAF Shingles on a house like yours—or upload and decorate your own house. Try different siding, trim, and brick colors. It's fun!



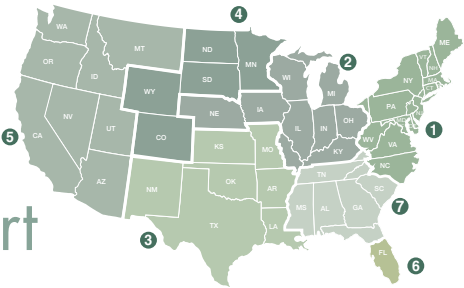
NOTE: It is difficult to reproduce the color clarity and actual color blends of these products. Before selecting your color, please ask to see several full-size shingles.

¹ Rated by the Cool Roof Rating Council (CRRC), can be used to comply with Title 24 roofing product requirements, and meets the cool roof requirements of the Los Angeles Green Building Code.

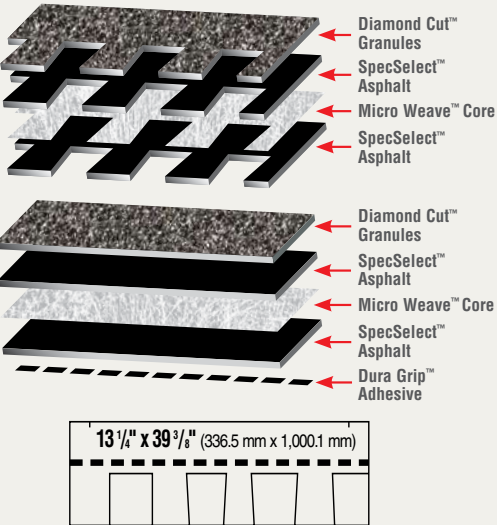
² Limited availability.

³ Timberline HD® White is ENERGY STAR® certified (U.S. only).

Color Availability Chart



The many protective layers of a **Timberline®** High Definition® Shingle



- Fiberglass asphalt shingle
- Lifetime ltd. transferable warranty¹
- Smart Choice® Protection for the first 10 years¹
- 130 mph ltd. wind coverage²
- UL Listed to ANSI/UL 790 Class A
- Passes ASTM D7158, Class H
- ASTM D3161, Type 1, Class F
- StainGuard® algae protection³
- StainGuard Plus™ algae protection⁴
- ENERGY STAR® certified (White only)⁵
- CSA A123.5⁶
- ASTM D3018, Type 1
- ASTM D3462⁷
- Miami-Dade County Product Control approved⁸
- State of Florida approved
- Texas Department of Insurance listed⁸
- ICC approved⁸
- Classified in accordance with ICC-ES AC438
- Approximately 64 Pieces/Square
- Approximately 3 Bundles/Square (Timberline HD®)
- Approximately 4 Bundles/Square (Timberline Ultra HD®)
- Approximately 256 Nails/Square
- 5 5/8" (142.88 mm) exposure

¹ See *GAF Shingle & Accessory Ltd. Warranty* for complete coverage and restrictions. The word "Lifetime" refers to the length of coverage provided by the *GAF Shingle & Accessory Ltd. Warranty* and means as long as the original individual owner(s) of a single-family detached residence (or the second owner(s) in certain circumstances) owns the property where the shingles are installed. For owners/structures not meeting the above criteria, Lifetime coverage is not applicable.

² Requires special installation; see *GAF Shingle & Accessory Ltd. Warranty* for details.

³ StainGuard® algae protection and 10-year limited warranty against blue-green algae discoloration available only on shingles sold in packages bearing the StainGuard® logo. See *GAF Shingle and Accessory Ltd. Warranty* for complete coverage and restrictions.

⁴ StainGuard Plus™ Time-Release Technology and 25-year limited warranty against blue-green algae discoloration available only on Timberline Ultra HD® Shingles sold in packages bearing the StainGuard Plus™ logo. Does not apply to Timberline Ultra HD® Reflector Series™ Shingles. See *GAF Shingle & Accessory Ltd. Warranty* for complete coverage and restrictions.

⁵ ENERGY STAR® certified in U.S. only.

⁶ Refers to shingles sold in Canada only.

⁷ Periodically tested by independent and internal labs to ensure compliance with ASTM D3462 at time of manufacture.

⁸ Applies to some plants.



Exploring Shingle Styles and Colors with Nancy Fire

Nancy Fire, Co-Founder and Creative Director of Design Works International, has defined an exciting trend — taking the Inside Out.

Nancy states, "As homeowners spend more time outside of their homes, they want to extend their interior style and sensibility — whether that be elegant, traditional, or more contemporary — to their outdoor living spaces that include the yard, the deck, and the roof."

"Your roof is a decision with a long-term impact. So make shingle, roofing style, and color choices that will complement your home and your personal style, providing you with years of comfort and satisfaction."

The color and style of your shingle are important! They go hand in hand when considering what shingle to use on your roof. After all, your roof represents up to 40% of your home's curb appeal, so it will always have a big impact on your home's overall look.

Choosing colors for your home's exterior is fun and exciting — and it's also a very significant decision. Remember, the color palette you select won't change with the seasons; it's going to be part of your home for the long term. So whether you like bolder colors that make a statement or you prefer more subtle, softer tones, you want to be sure that the palette you choose today is one that you'll still enjoy on your home years from now.

- Consider how much of your roof is visible from the street. Many times, larger roofs look more inviting using neutral tones while smaller roofs can be a bit more colorful, with more unique patterns.
- For a more traditional color palette, use tones of a color to incorporate a more subdued style into the exterior of your home. A neutral roof color creates the perfect backdrop for other colors.

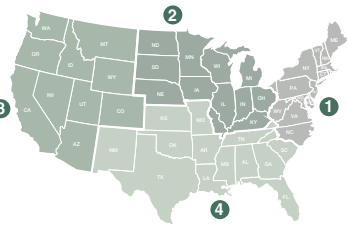
- For a more contemporary design statement, try bringing attention to the top of your home (such as, using a red roof on a gray house) while coordinating trees and shrubs in the yard that will extend your roof color to your outdoor space (in this instance, like the Red Leaf Maple).

When it comes to choosing the style of your roof shingle, there's no such thing as right and wrong — there's only what works best for you and for your home. Certain elements, such as the size and pitch of your roof, can help determine what shingle style will better complement your home's exterior. Today, there are many types of shingle profiles and patterns available to help you differentiate your roof. Decide the statement you want to make, and embrace it!

- Color and texture add dimension to any home. In choosing your exterior shingle style, remember the importance of curb appeal in making these choices.
- The architectural style of your home is a key component when choosing a shingle style. A Colonial house, for example, might look best with a shingle that features a cleaner, more defined line, while a Victorian home could use a shingle with a more intense hue or a more elaborate and detailed design.
- A large roof surface is much like a blank canvas, giving you almost limitless possibilities for making a dramatic change in the look of your home's exterior. But smaller roofs or roofs with more variations in pitch also offer great opportunities, allowing the incorporation of more unique designs or patterns.

Above all, choose the shingle color and shingle style that make you feel the most comfortable. It's your home, your personality, your lifestyle. The final decision should reflect that — and do so beautifully!

TIMBERLINE ULTRAHD				
Lifetime High Definition Shingles				
Most Popular Colors:				
Barkwood				
Charcoal				
Hickory				
Hunter Green				
Shakewood				
Slate				
Weathered Wood				
Regional Colors:				
Birchwood ¹				
Biscayne Blue				
Fox Hollow Gray				
Patriot Red				
Pewter Gray				
White ^{1,2}				
Williamsburg Slate				



¹Rated by the Cool Roof Rating Council (CRR), can be used to comply with Title 24 roofing product requirements, and meets the cool roof requirements of the Los Angeles Green Building Code.

²Limited availability.

³Timberline HD® White is ENERGY STAR® certified (U.S. only).

For complete product specifications, visit gaf.com.



GAF **TIMBERLINE**® American Harvest
LIFETIME SHINGLES
(Only available in the U.S.)

Saddlewood Ranch

Nantucket Morning

Cedar Falls

Appalachian Sky

Golden Harvest

Midnight Blush¹

Amber Wheat²

Color Shown:
Saddlewood
Ranch



The American Harvest® Collection: Surprising Colors That Reflect the Beauty of America's Heartland

Designed to complement your home's exterior color scheme, the American Harvest® Collection will give you that modern architectural style you want, at a price you can afford!

The Timberline® American Harvest® line has been enhanced for maximum appeal, adding greater dimensionality and beauty with higher contrast and on-trend colors.

*StainGuard® algae protection and 10-year limited warranty against blue-green algae discoloration available only on shingles sold in packages bearing the StainGuard® logo. See GAF Shingle and Accessory Ltd. Warranty for complete coverage and restrictions.

**See GAF Shingle & Accessory Ltd. Warranty for complete coverage and restrictions. The word "Lifetime" refers to the length of coverage provided by the GAF Shingle & Accessory Ltd. Warranty and means as long as the original individual owner(s) of a single-family detached residence [or the second owner(s) in certain circumstances] owns the property where the shingles are installed. For owners/structures not meeting the above criteria, Lifetime coverage is not applicable.

¹Available only in the Northeast and Central Areas of the U.S.

²Available only in the Southeastern, Southwestern, and Western Areas of the U.S.

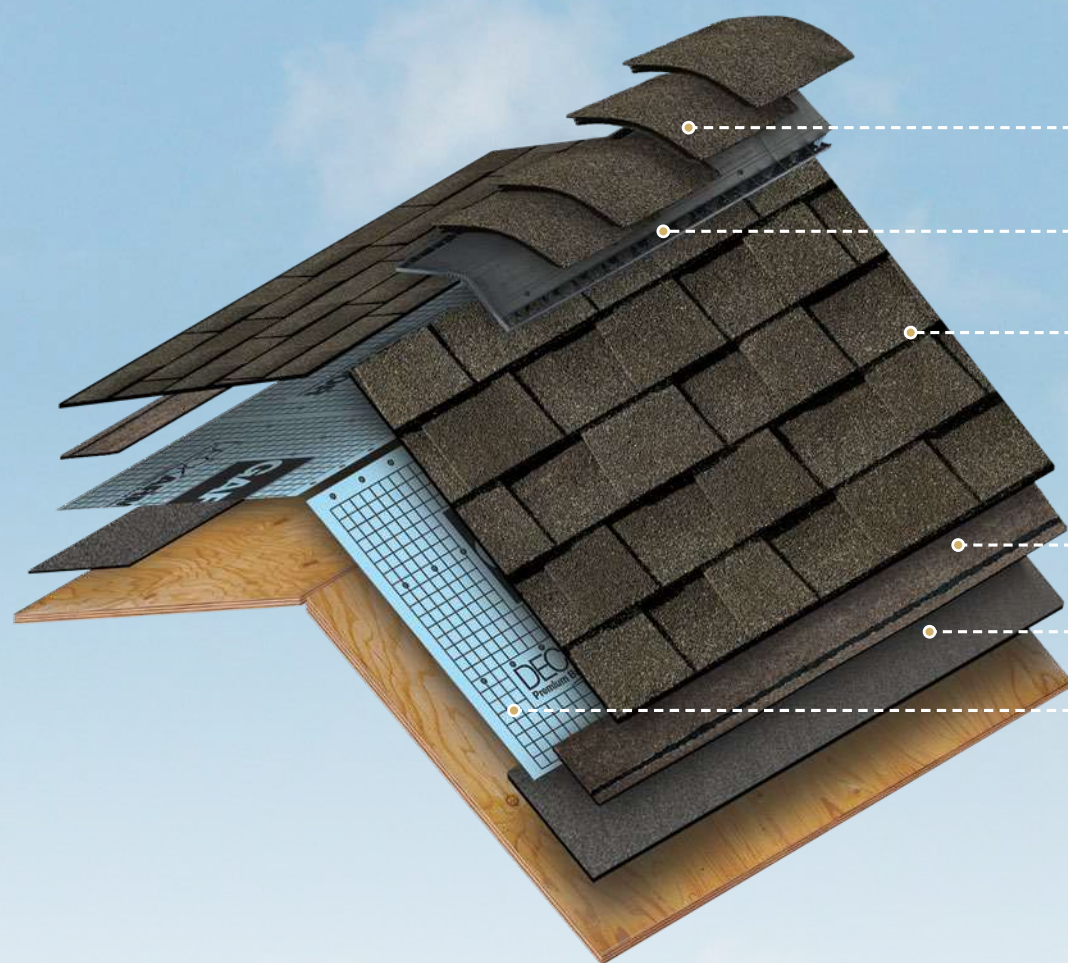
NOTE: It is difficult to reproduce the color clarity and actual color blends of these products. Before selecting your color, please ask to see several full-size shingles.



LIFETIME* ROOFING SYSTEM

When you install any GAF Lifetime Shingle and at least 3 qualifying GAF accessories, you'll automatically get a Lifetime Ltd. warranty on your shingles and all qualifying GAF accessories.*

Durable Protection. Lasting Beauty.



Ridge Cap Shingles

The finishing touch that helps defend against leaks at the hips and ridges



Cobra® Attic Ventilation

Helps reduce attic moisture and heat



Lifetime Shingles*

Beautify & protect for years to come



Starter Strip Shingles

Helps guard against shingle blow-offs



Leak Barrier

Helps prevent leaks caused by wind-driven rain and ice dams



Roof Deck Protection

Helps shield the roof deck from moisture infiltration



*See GAF Shingle & Accessory Ltd. Warranty for complete coverage and restrictions. The word "Lifetime" refers to the length of coverage provided by the GAF Shingle & Accessory Ltd. Warranty and means as long as the original individual owner(s) of a single-family detached residence (or the second owner(s) in certain circumstances) owns the property where the shingles and accessories are installed. For owners/structures not meeting the above criteria, Lifetime coverage is not applicable. Lifetime Ltd. warranty on accessories requires the use of at least three qualifying GAF accessories and the use of Lifetime Shingles.

To learn more about why Advanced Protection® Shingles are your best choice, visit gaf.com/aps.

The GAF Lifetime Roofing System has earned the prestigious Good Housekeeping Seal (applicable in U.S. only).

SALES OFFICES:

NORTHEAST
717-866-8392

CENTRAL
630-241-5380

SOUTHEAST
813-622-3962

SOUTHWEST
972-851-0500

WEST
951-360-4200
800-445-9330

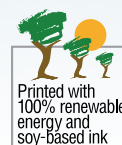
CANADA
855-492-8085

WORLD HQ
973-628-3000

©2018 GAF 5/18 #027 1 Campus Drive, Parsippany, NJ 07054

RESTL100HD

340845-0618



ATTACHMENT 3

Public Comment

From:
Sent: Saturday, September 23, 2023 5:50 PM
To: PlanningComments
Subject: 1033 Park Ave

Follow Up Flag:
Flag Status:

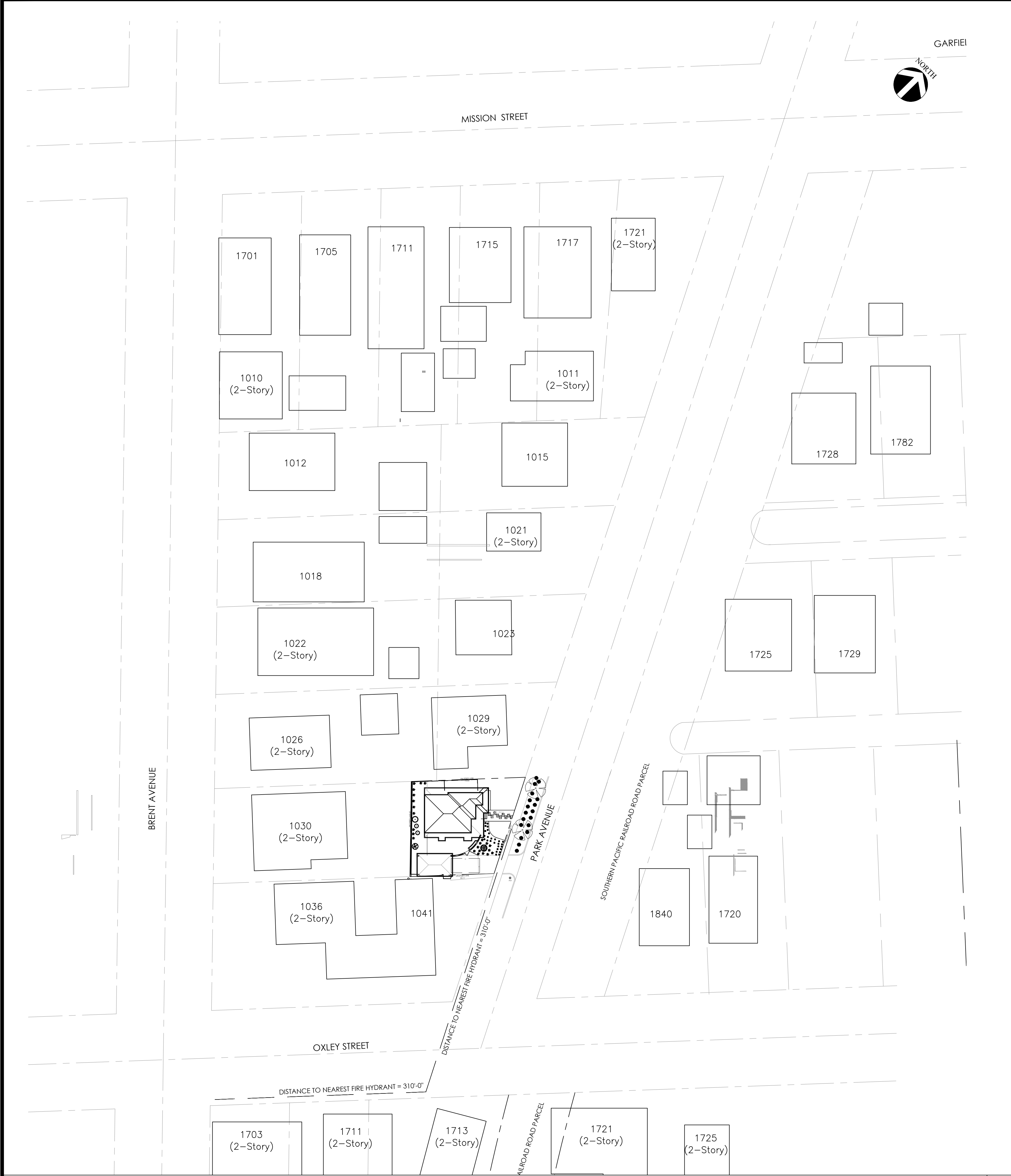
Hi There,

We live at 1728 Oxley St., and want to leave a comment that we absolutely support the additional square footage being added to 1033 Park Ave.

Thanks,
Nate & Marilyn Bolt

ATTACHMENT 4

Architectural Plans



EXISTING PLOT PLAN
SCALE: 1" = 400'-0"



LOOKING FROM DRIVEWAY APRON



LOOKING AT FRONT ENTRY



LOOKING SOUTH



FRONT ELEVATION AND ADJACENT NEIGHBOR



COURTYARD BETWEEN HOUSE AND GARAGE

SCOPE OF WORK

1. EXTEND LIVING ROOM
2. ADD SECOND FLOOR W/ 2 BEDROOM SUITES (2 BATHS & CLOSETS)
3. REMOVE (E) MAIN HOUSE ROOFING AND RAISED CEILING TO 9'-2"

CONTACT INFO

Owner:
Matthew & Leticia Ku
1033 Park Avenue
S. Pasadena, CA 91030
(408) 761-9616
mattku54@gmail.com

Architect:
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San Marino, CA 91108
(626) 233-6268
jsuen1959@gmail.com

Structural Engineer:
Stephen Chau
WPH Engineering, LLC
333 N. Santa Anita Ave.,
Suite No. 3
Arcadia, Ca 91006
(626) 658-7974
wph@wphengineering.com

DRAWING INDEX

A0.1 EXISTING PLOT PLAN & PROJECT DATA
A0.2 EXISTING VICINITY STUDY & GENERAL NOTES
A1.1 EXISTING SITE PLAN & DEMOLITION PLAN
A1.2 PROPOSED SITE PLAN
A2.1 EXISTING AND PROPOSED 1ST FLOOR PLANS
A2.2 PROPOSED SECOND FLOOR PLAN
A2.3 EXISTING/PROPOSED ROOF PLANS AND SECTION
A3.1 EXTERIOR ELEVATIONS
A3.2 EXTERIOR ELEVATIONS
A3.3 SECTIONS
A4.1 WINDOWS & DOORS SCHEDULES
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S2.0 ROOF/2ND FLOOR FRAMING PLAN
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SD2 STRUCTURAL DETAILS
SD3 STRUCTURAL DETAILS
SD4 STRUCTURAL DETAILS
WSW1 STRONG WALL WSW
WSW2 STRONG WALL WSW

APPLICABLE CODE

2016 California Building Code
2016 California Residential Code
2016 California Plumbing Code
2016 California Mechanical Code
2016 California Electric Code
2016 California Green Building Standards Codes
2016 California Energy Code
2016 California Energy Efficiency Standards
2017 Los Angeles County Code
2017 Los Angeles County Residential Code
2018 Burbank Municipal Code

LEGEND

PROPERTY LINE
DEMOLITION
(E) 4'-0" HIGH CHAINLINK FENCE
(E) 5'-0" HIGH WOOD FENCE
(E) 6'-0" HIGH VINYL FENCE

CONCRETE PAVING
EXISTING WALL OF MAIN HOUSE
EXISTING WALL OF NEW ADU
EXISTING ASPHALT SHINGLE ROOFING
NEW ASPHALT SHINGLE ROOFING
P.A. PLANTING/LANDSCAPE AREA
EXISTING LANDSCAPE
PROPOSED LANDSCAPE

PHOTO LEGEND

1
2
3
4
5

1041

VICINITY MAP

PROJECT DATA

ADDRESS: 1033 PARK AVENUE
SOUTH PASADENA, CA 91030
ASSESSOR PARCEL NO.: 5318-015-020
LEGAL DESCRIPTION: RAYMOND VILLA TRACT NO 1
PART OF LOT 3 BLOCK K
CITY OF SOUTH PASADENA
COUNTY OF LOS ANGELES, CA
BOOK 5318, PAGES 15 & 16
OF MAP
ZONING: RM
YEAR BUILT: 1961
(E) BUILDING AREA: 916 SQ. FT.
(E) GARAGE AREA: 333 SQ. FT.
TOTAL AREA: 1,249 SQ. FT.
BED/BATH (EXISTING) 2/1.5
BED/BATH (PROPOSED) 3/3.5
SITE/LOT AREA 3,749.62 S.F.
(E) F.A.R. 916/3,749.62 = 24.43%
(E) LOT COVERAGE 1249/3749.62 = 33.3%

SETBACKS REQUIREMENTS:
FRONT 20 FT OR 15 FT FOR HOUSE
WITH A FRONT PORCH
(+5' FOR 2ND STORY)
VARIANCE FOR A 10 FOOT
REAR YARD SETBACK WAS
GRANTED FEBRUARY 27, 1961.
6 FEET (10% LOT WIDTH)
(+3' FOR 2ND STORY)
REAR
SIDE
BUILDING SEPARATION 10 FEET BETWEEN STRUCTURES
MAX. LOT COVERAGE 50% (1,877.00 SF)
MAX. F.A.R. 50% (1,877.00 SF)
NEW BUILDING AREA CALCULATION:
EXISTING BUILDING 916 S.F.
ADDED 1ST FLOOR 63 S.F.
ADDED 2ND FLOOR 619 S.F.
TOTAL ADDITION 682 S.F.
NEW TOTAL FLOOR AREA=1,598 S.F.
NEW F.A.R. = 1,598/3,749.62 = 42.6%
EXISTING HEIGHT: 15 FEET
PROPOSED HEIGHT: 27'-3" FEET
EXISTING HARDSCAPE CALCULATIONS:
355.3 + 58.19 + 571.49 = 984.98 s.f.
PERCENT OF SITE = 984.98/3,749.62 = 26.27%
EXISTING LANDSCAPE AREA CALCULATIONS:
FRONT: 250.64 + 122.6 + 35.73 + 93 = 501.97 s.f.
FRONT PERVIOUS WALKWAY: 125.41 s.f.
SIDE PERVIOUS AREA: 201 s.f.
REAR: 233.67 s.f.
TOTAL: 1,062.35 s.f.
PERCENT OF SITE = 1062.35/3,749.62 = 28.33%

8/30/2022 A0.1

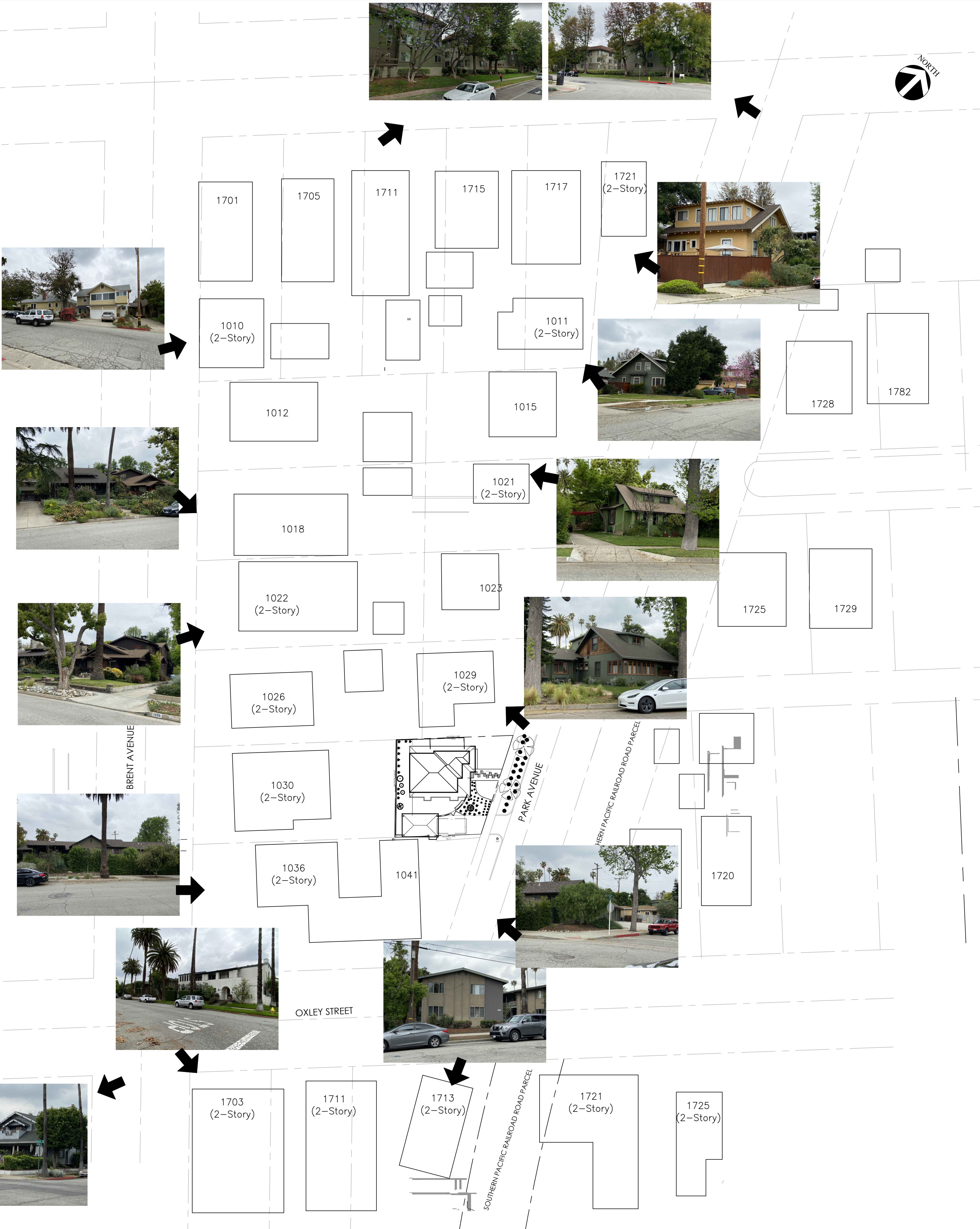
LICENSED ARCHITECT
JANET SUEN
C-4487
7-31-2025
RENEWAL
DATE
STATE OF CALIFORNIA

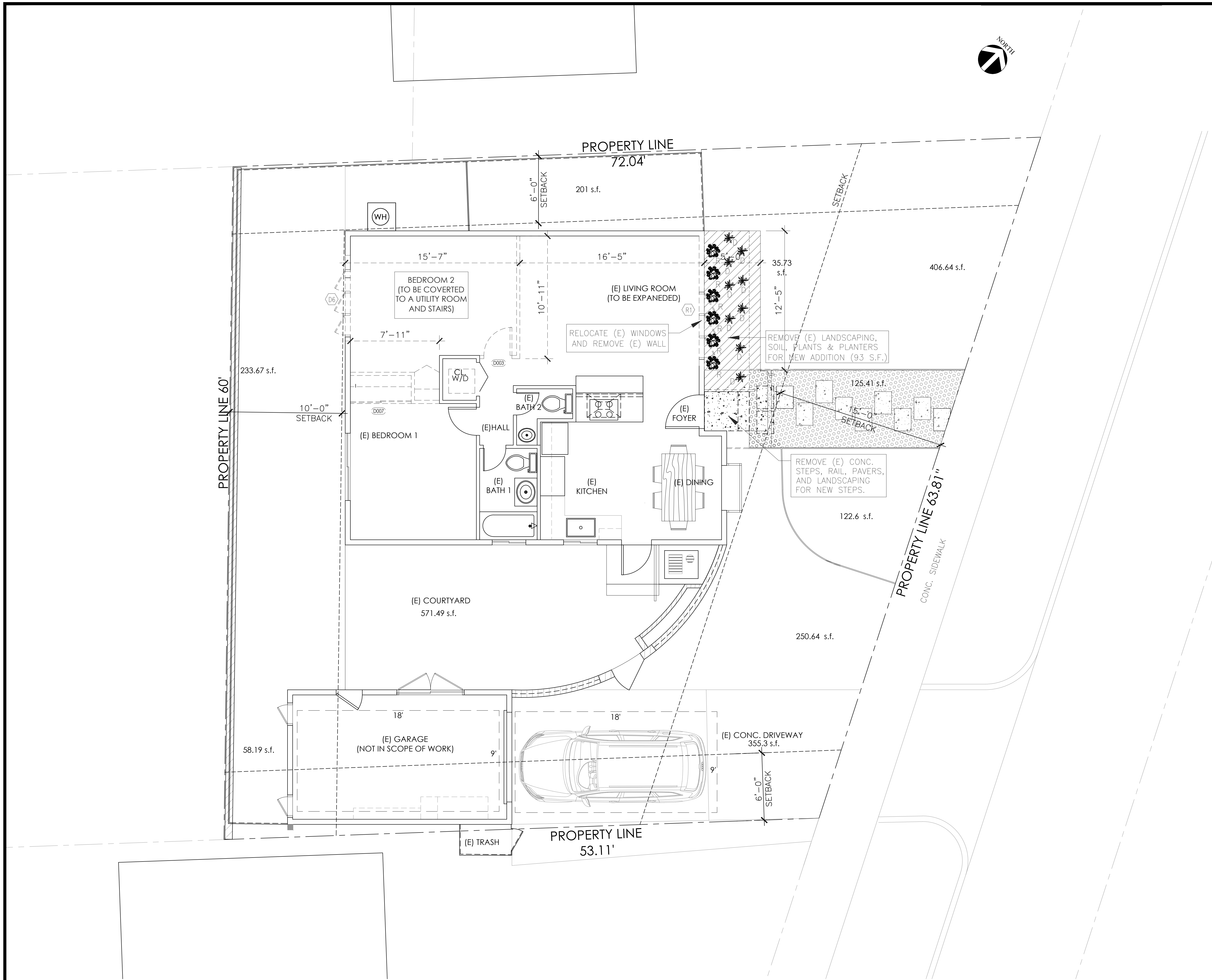
1033 PARK AVENUE, SOUTH PASADENA, CA 91030
EXISTING PLOT PLAN & PROJECT DATA



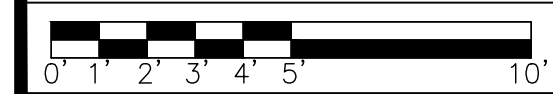
GENERAL NOTES

1. PROTECT ALL SITE AMENITIES AND NEAR-BY PUBLIC RIGHT-OF-WAY DURING CONSTRUCTION AT ALL TIMES.
2. CONTRACTOR SHALL REMOVE AND HAUL AWAY ALL DEBRIS AND DUMP PER CITY STANDARD.
3. CONTRACTOR SHALL PROTECT AND KEEP CLEAN OF ALL EXISTING PORTIONS DURING CONSTRUCTION. ANY DAMAGE SHOULD BE REPORTED TO OWNER IMMEDIATELY, AND REPLACED.
4. CONTRACTOR SHALL CLEAN-UP AFTER CONSTRUCTION, INCLUDING REMOVING ALL PAINT DRIPS.
5. CONTRACTOR IS TO PROVIDE A LIEN-FREE CONTRACT TO OWNER.
6. CONTRACTOR IS TO PROVIDE ITS OWN INSURANCE AND RESPONSIBLE FOR ALL WORKERS' COMPENSATION AND INJURIES IF SO OCCURS.
7. ALL INTERIOR TO BE PAINTED. INTERIOR STUCCO SHOULD BE PATCHED AND FINISH TO MATCH EXISTING PATTERN IF ANY.
8. PATCH ANY INTERIOR DRYWALL AS NEEDED, SMOOTH FLAT AND PAINT.
9. PROVIDE 2 1/2" MDF WALL BASE AND PROFILE TO BE SELECTED BY ARCHITECT/OWNER FOR ALL ROOMS, EXCEPT TILED WALLS.
11. PATCH & PAINT EXTERIOR AS NEEDED AND MATCH ADJACENT COLOR AND FINISH.
12. EXTERIOR PAVEMENT AND LANDSCAPE SHOULD BE PROTECTED AND AVOID ANY DEBRIS AND PAINT.
13. KITCHEN EXHAUST FAN / VENT = 100 CFM MINIMUM.
14. PROVIDE NEW EXHAUST FANS IN ALL BATHROOM = 50 CFM MINIMUM.
15. 7/8" THK. EXTERIOR STUCCO TO MATCH EXISTING IN TEXTURE (SPANISH STUCCO) AND COLOR. (BEHR M290-2, FRITTATA)
16. DIVERSION OF C&D DEBRIS: A MINIMUM 65% OF GENERATED DEBRIS SHALL BE RECYCLED, REUSED, OR DIVERTED FROM THE LANDFILL. A \$56.84 ADMINISTRATIVE FEE AND A REFUNDABLE DEPOSIT WILL BE COLLECTED AT THE TIME OF PERMIT ISSUANCE. THE DEPOSIT CAN BE REFUNDED IF RECYCLING RECEIPTS ARE SUBMITTED TO BUILDING DIVISION WITH 60 DAYS OF PERMIT FINAL (BMC 9-1-10-1012).
10. PROVIDE PROJECT SIGN PER DETAIL ON SHEET A4.2.
11. ALL FINISH MATERIALS (I.E. ADHESIVES, SEALANTS, CAULKS, PAINTS, COATINGS, AEROSOLS, ETC. MUST NOT EXCEED THE MAXIMUM ALLOWABLE VOC LIMITS PER CGBSC 4.504).
12. PROVIDE 1 HOUR FIRE TREATED WOOD FOR NEW CANOPY PER RESIDENTIAL CODE R302.1(1) FOR FIRE SEPARATION.
15. PAINT ALL EXTERIOR AND INTERIOR (INCLUDE, WALL, BASE AND CEILING)
16. UPGRADE ELECTRICAL PANEL AS NEEDED, AND PROVIDE SEPARATE UTILITY METERS FOR ADU.
17. ANY ADDITION OR CHANGES MADE TO THE APPROVED EXTERIOR ELEVATION DESIGN EITHER ON THE DRAWINGS OR DURING CONSTRUCTION WILL REQUIRE PLANNING DIVISION AND BUILDING DIVISION REVIEW AND APPROVAL AND MAY RESULT IN A DELAY OF THE PROJECT OR THE REMOVAL OF NON-APPROVED WORK.
18. RE-GRADE AS NEEDED TO DRAIN SURFACE WATER AWAY FROM THE FOUNDATION WALLS. THE GRADE SHALL FALL A MINIMUM OF 6" WITHIN THE FIRST 10 FT. (5% SOPE). WHERE LOT LINES, WALLS, SLOPES OR OTHER PHYSICAL BARRIER PROHIBIT 6" OF FALL WITHIN 10 FT. DRAINS OR SWALES SHALL BE CONSTRUCTED TO ENSURE DRAINAGE AWAY FROM THE STRUCTURE (CRC R401.3).
19. RE-GRADE IMPERVIOUS SURFACES WITHIN 10 FT OF THE BUILDING FOUNDATION TO A MINIMUM OF 2% AWAY FROM THE BUILDING. (CRC R401.3 EXCEPTION).



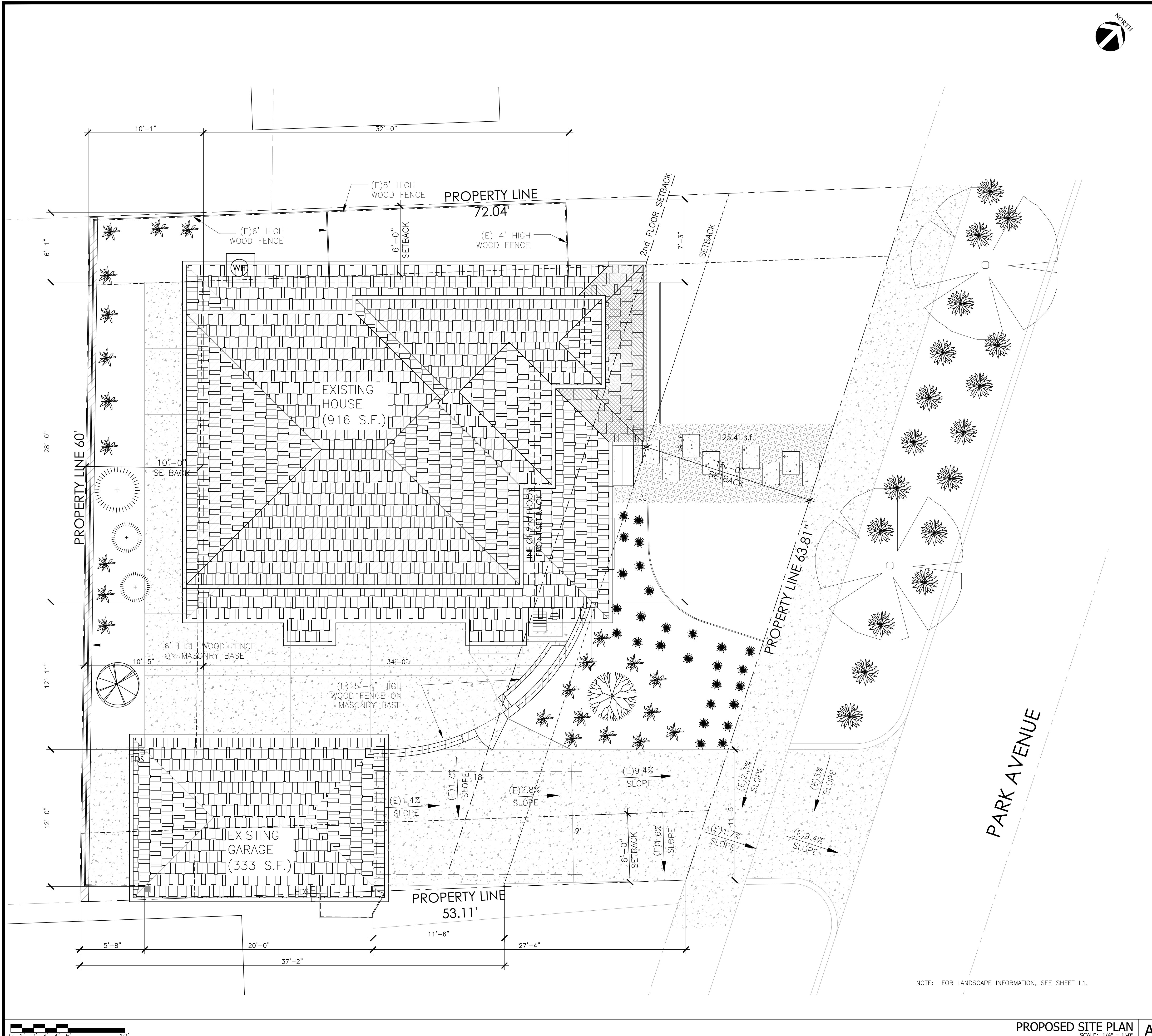


LEGEND	
	EXISTING LAWN AREA
	EXISTING LANDSCAPING, SOIL AND PLANTER TO BE REMOVED AND PREP FOR NEW ADDITION. ALSO, SEE LANDSCAPE DRAWINGS L-1
	EXISTING GRAVELED AREA
	EXISTING PAVED CONCRETE AREA
	EXISTING NATURAL SOIL AREA
	EXISTING WALL TO REMAIN. 2X4 WOOD FRAMING AND DRYWALL ON INTERIOR SIDE(S) AND STUCCO ON EXTERIOR SIDE.
	NEW 2X WOOD FRAMING WITH 5/8" TYPE "X" DRYWALL (TO BE PAINTED) ON INTERIOR SIDE, AND STUCCO (TO BE PAINTED) ON EXTERIOR SIDE TO MATCH ADJACENT SURFACES. PROVIDE R-20 BATT INSULATION AS REQUIRED.
	EXISTING 6" HIGH WOOD FENCE ON MASONRY BASE
	EXISTING 5'-4" HIGH WOOD FENCE ON MASONRY BASE
	EXISTING WOOD FENCE, VARIOUS HEIGHT
	EXISTING LANDSCAPE EDGE BARRIER
	EXISTING WALL TO BE DEMOLISHED WITH FOOTINGS AND ALL MECHANICAL, ELECTRICAL AND PLUMBING COMPONENTS; CAPPED AS NEEDED.
	ITEMS TO BE DEMOLISHED OR AS NOTED



EXISTING SITE PLAN & DEMOLITION PLAN
SCALE: 1/4" = 1'-0"

A



LEGEND			
	EXISTING LAWN AREA		EXISTING GRAVELED AREA
	EXISTING NATURAL SOIL AREA		EXISTING PAVED CONCRETEVC AREA
	EXISTING ROOFING TO REMAIN		
	NEW SECOND FLOOR ROOF		
	NEW ROOFING FOR FIRST FLOOR ADDITION MATERIALS AND COLOR TO MATCH EXISTING		

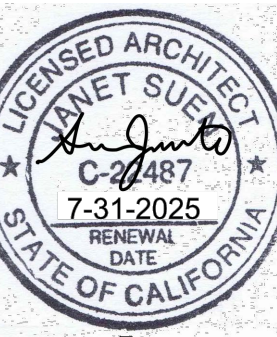
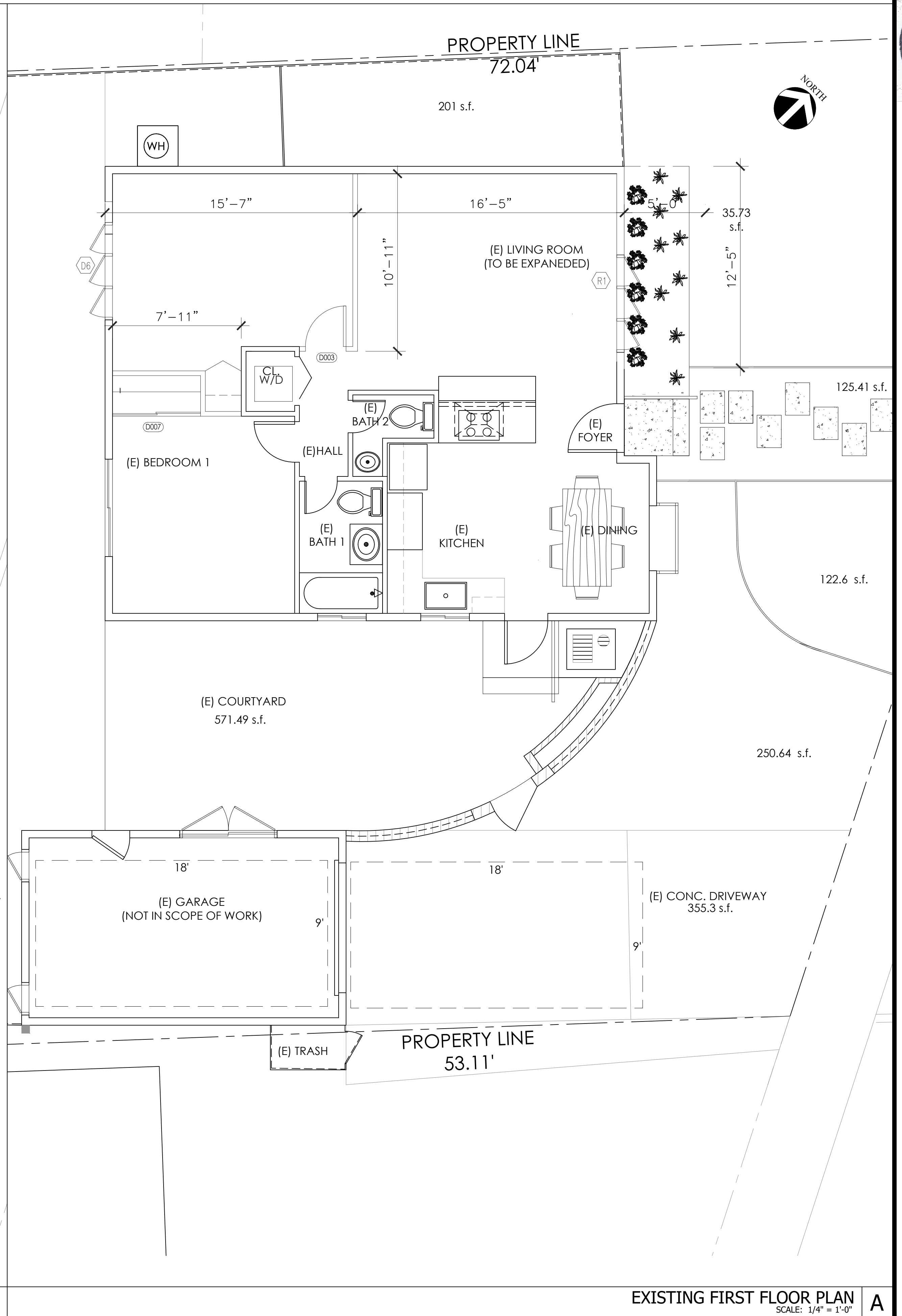
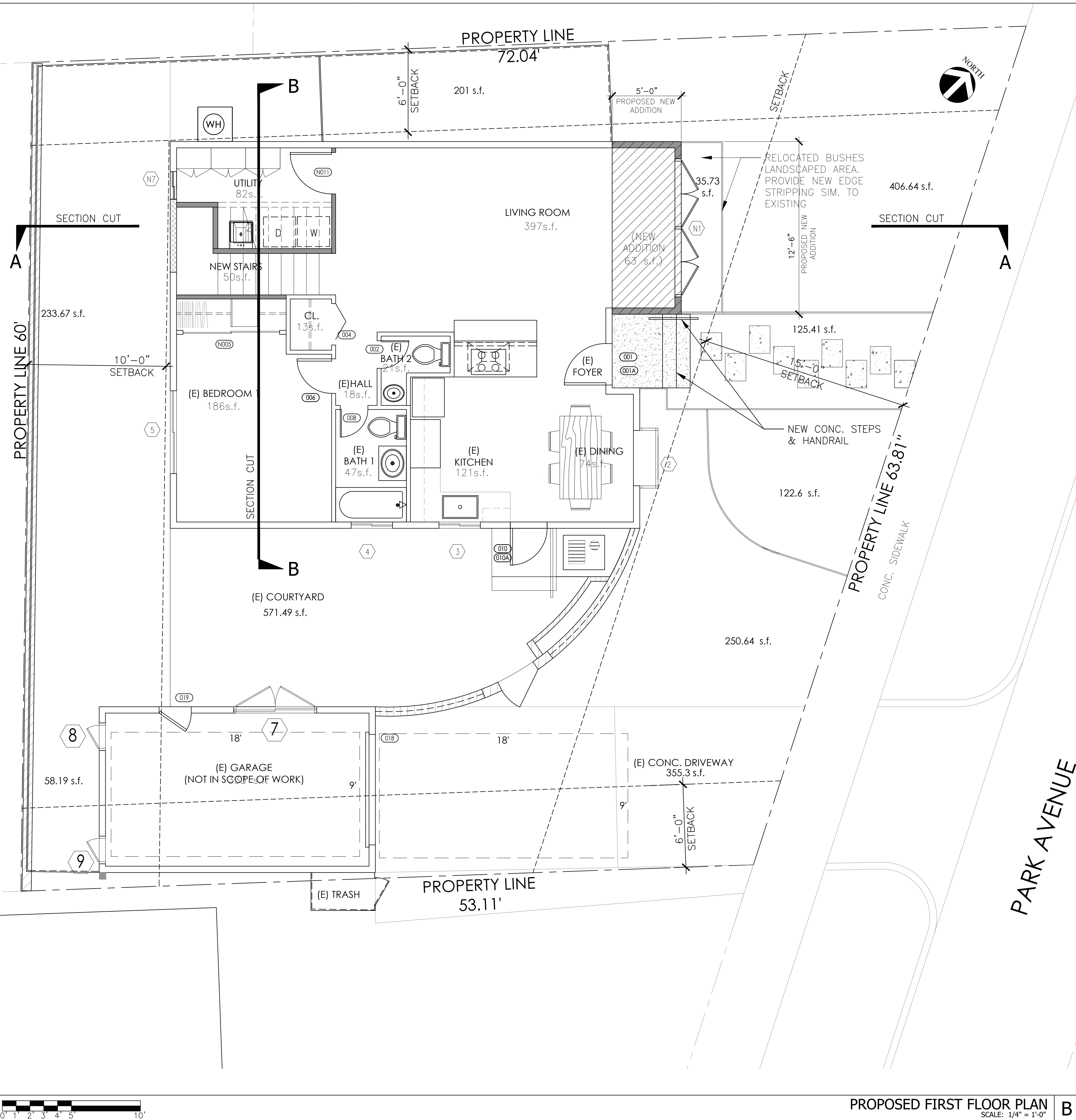
NOTE: FOR LANDSCAPE INFORMATION, SEE SHEET L1.

PROPOSED SITE PLAN
SCALE: 1/4" = 1'-0"

A

WALL LEGEND:



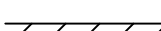





	EXISTING WALL TO REMAIN, 2X4 WOOD FRAMING AND DRYWALL ON INTERIOR SIDE(S) AND STUCCO ON EXTERIOR SIDE.		EXISTING WOOD FENCE, VARIOUS HEIGHT		NEW FIRST FLOOR ADDITION
	NEW 2X WOOD FRAMING WITH 5/8" TYPE 'X' DRYWALL (TO BE PAINTED) ON INTERIOR SIDE, AND STUCCO (TO BE PAINTED) ON EXTERIOR SIDE TO MATCH ADJACENT SURFACES. PROVIDE R-20 BATT INSULATION AS REQUIRED.		EXISTING LANDSCAPE EDGE BARRIER		GRAVELED AREA
	EXISTING 6' HIGH WOOD FENCE ON MASONRY BASE		EXISTING WALL TO BE DEMOLISHED WITH FOOTINGS AND ALL MECHANICAL, ELECTRICAL AND PLUMBING COMPONENTS; CAPPED AS NEEDED.		
	EXISTING 5'-4" HIGH WOOD FENCE ON MASONRY BASE		ITEMS TO BE DEMOLISHED OR AS NOTED		

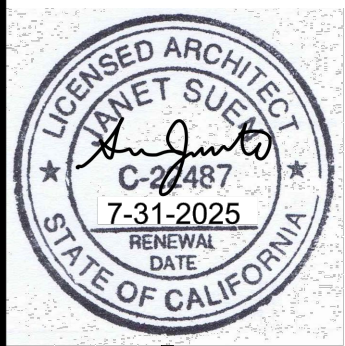




LEGEND

WALL LEGEND:

- | | |
|---|--|
|  | EXISTING WALL TO REMAIN. 2X4 WOOD FRAMING AND DRYWALL ON INTERIOR SIDE(S) AND STUCCO ON EXTERIOR SIDE. |
|  | NEW 2X WOOD FRAMING WITH 5/8" TYPE 'X' DRYWALL (TO BE PAINTED) ON INTERIOR SIDE, AND STUCCO (TO BE PAINTED) ON EXTERIOR SIDE TO MATCH ADJACENT SURFACES. PROVIDE R-20 BATT INSULATION AS REQUIRED. |
|  | EXISTING 6' HIGH WOOD FENCE ON MASONRY BASE |
|  | EXISTING 5'-4" HIGH WOOD FENCE ON MASONRY BASE |
|  | EXISTING WOOD FENCE, VARIOUS HEIGHT |
|  | EXISTING LANDSCAPE EDGE BARRIER |
|  | EXISTING WALL TO BE DEMOLISHED WITH FOOTINGS AND ALL MECHANICAL, ELECTRICAL AND PLUMBING COMPONENTS; CAPPED AS NEEDED. |
|  | ITEMS TO BE DEMOLISHED OR AS NOTED |



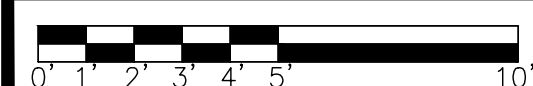
EXISTING ROOFING TO REMAIN

NEW SECOND FLOOR ROOF

NEW ROOFING FOR FIRST FLOOR ADDITION

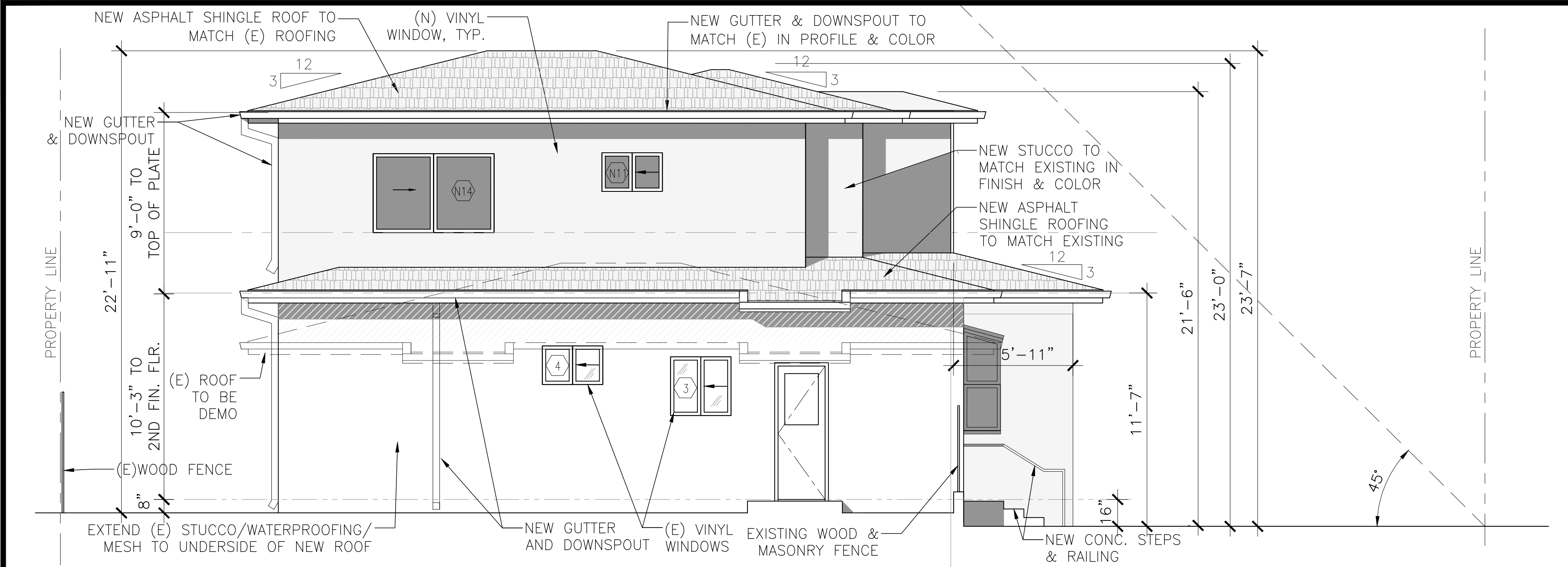
EXISTING ROOFING TO BE REMOVED.
HAUL AWAY ALL DEBRIS.

The diagram consists of four parts. The top part shows a cross-section of existing roof structure with vertical lines representing rafters and horizontal lines representing the roof deck. The second part shows a new second floor roof structure, similar to the first but with a different internal layout. The third part shows a new roofing for the first floor addition, indicated by a diagonal line across the roof deck. The bottom part shows the existing roof structure to be removed, with a diagonal line indicating the removal boundary.

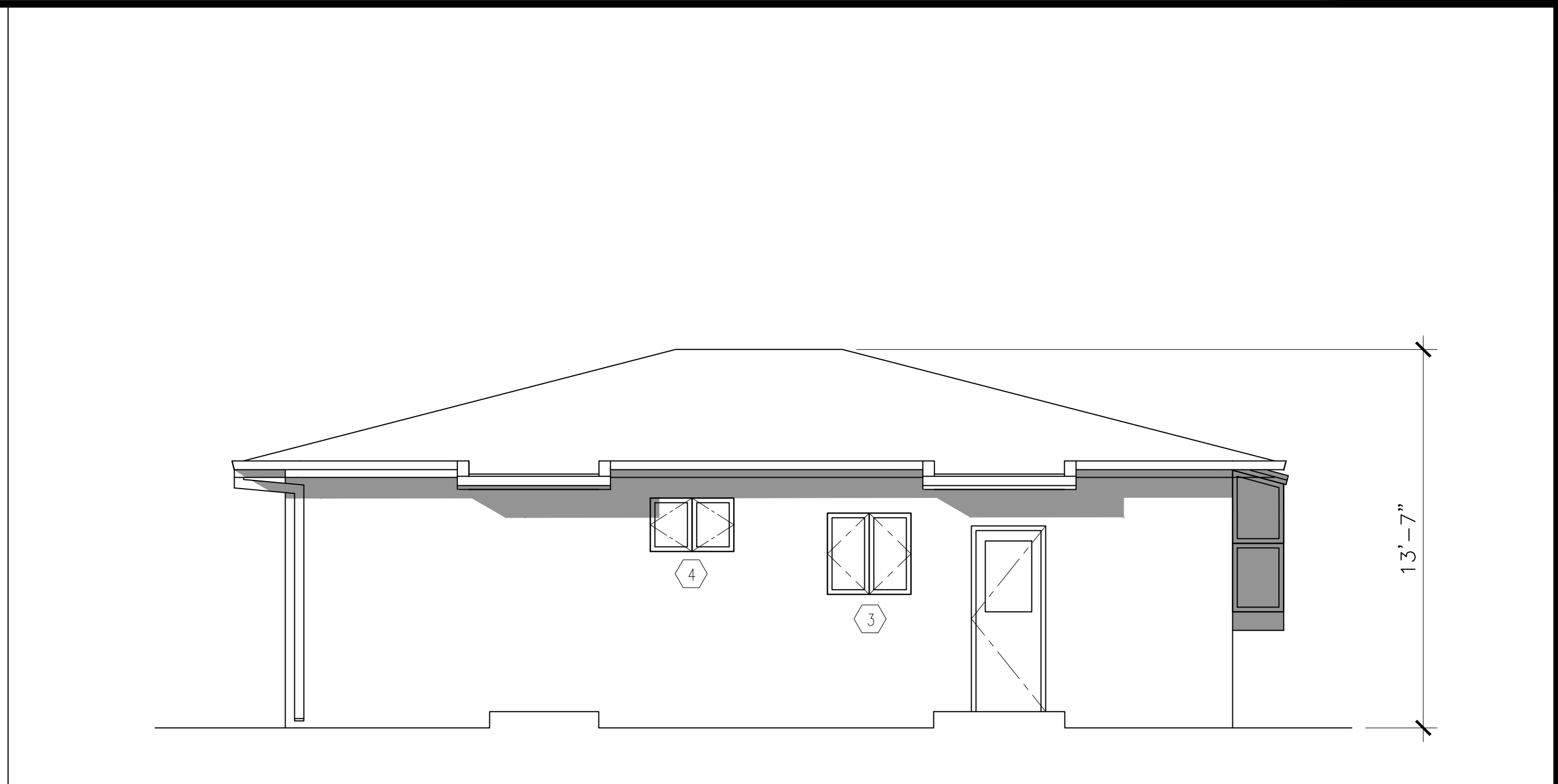


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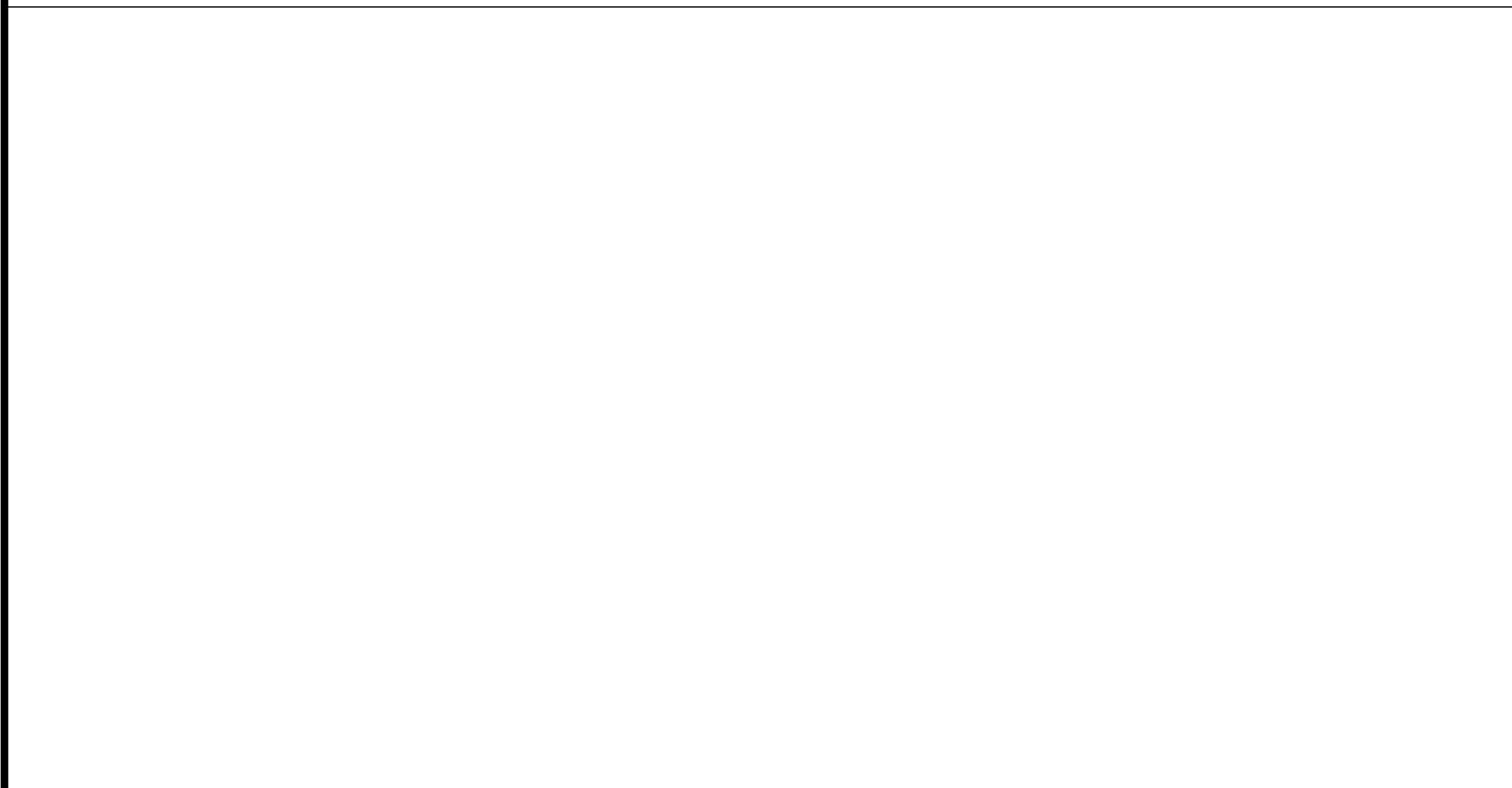




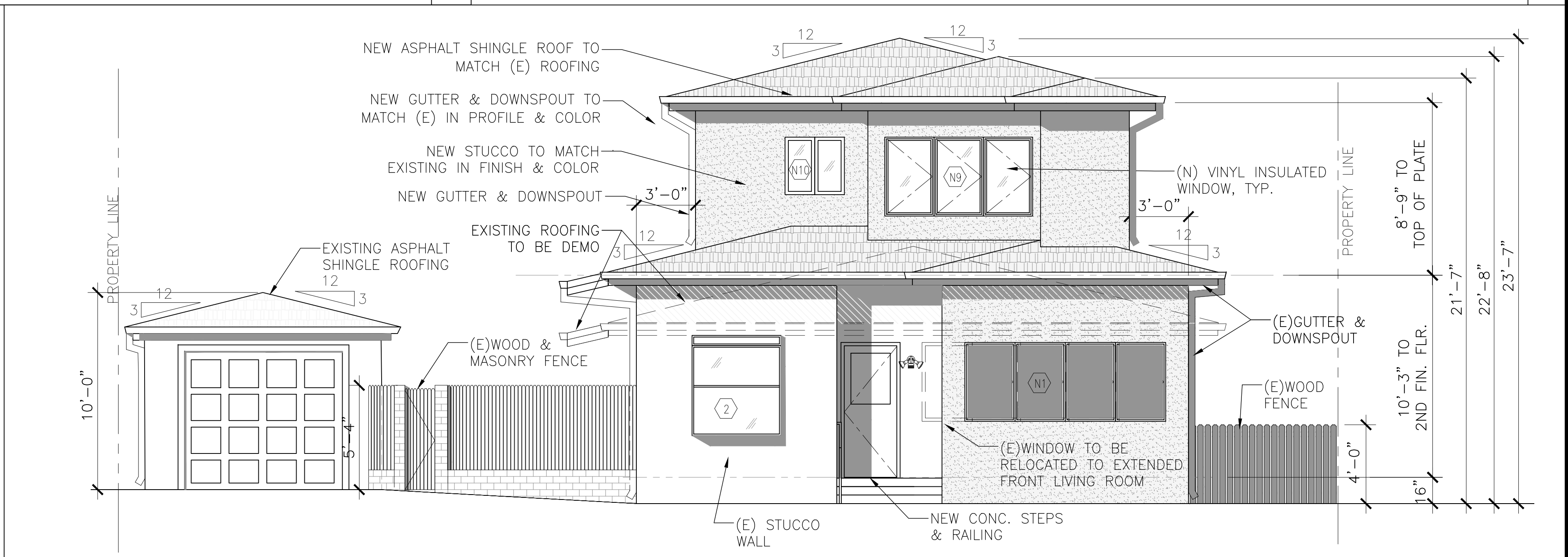
PROPOSED EXTERIOR SOUTH ELEVATION
SCALE: 1/4" = 1'-0"



EXISTING EXTERIOR SOUTH ELEVATION
SCALE: 1/4" = 1'-0"



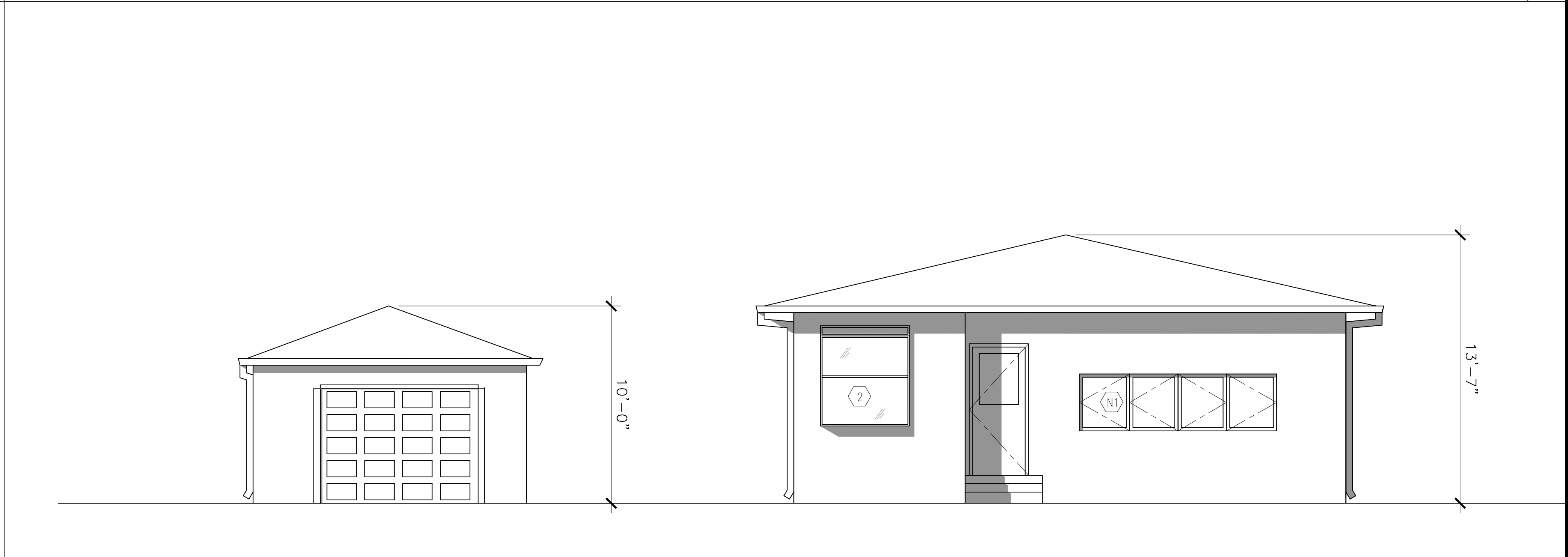
PROPOSED EXTERIOR EAST ELEVATION - FRONT ELEVATION FACING PARK AVENUE
SCALE: 1/4" = 1'-0"



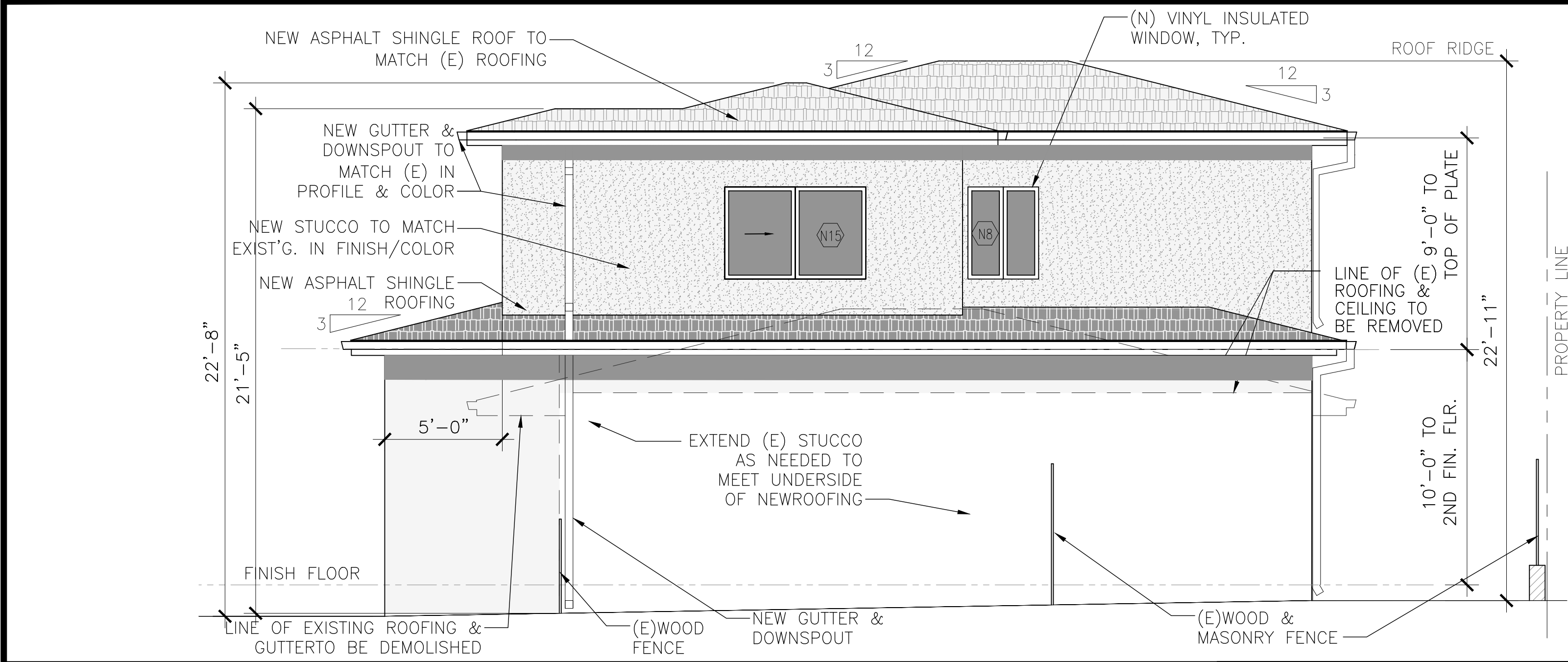
EXISTING EXTERIOR EAST ELEVATION
SCALE: 1/4" = 1'-0"



PROPOSED EXTERIOR WEST ELEVATION
SCALE: 1/4" = 1'-0"



EXISTING EXTERIOR WEST ELEVATION
SCALE: 1/4" = 1'-0"



PROPOSED EXTERIOR NORTH ELEVATION
SCALE: 1/4" = 1'-0"

C

EXISTING D EXTERIOR NORTH ELEVATION
SCALE: 1/4" = 1'-0"

C

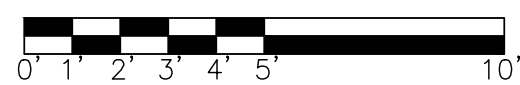
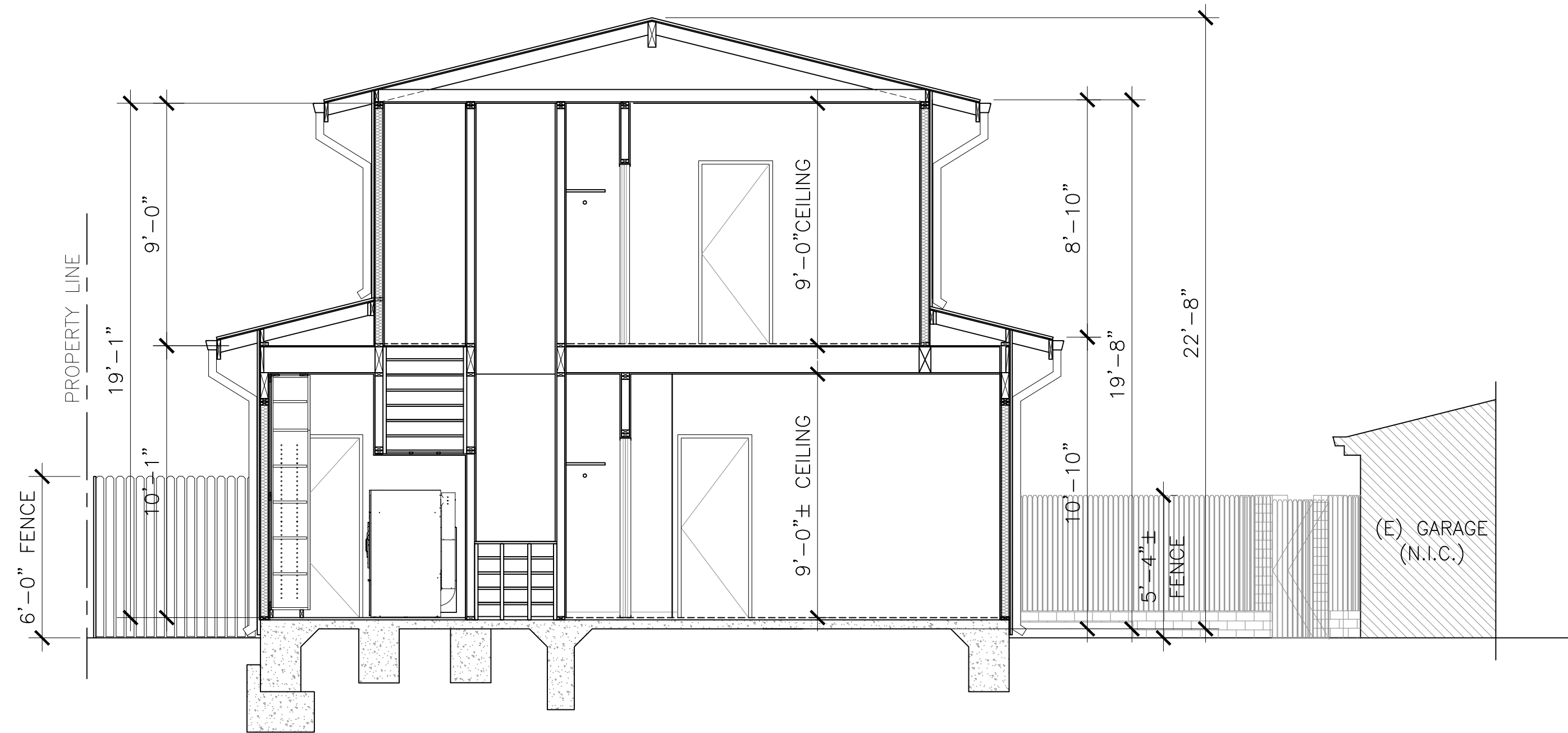


PROPOSED EXTERIOR WEST ELEVATION
SCALE: 1/4" = 1'-0"

B

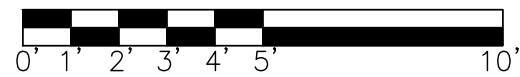
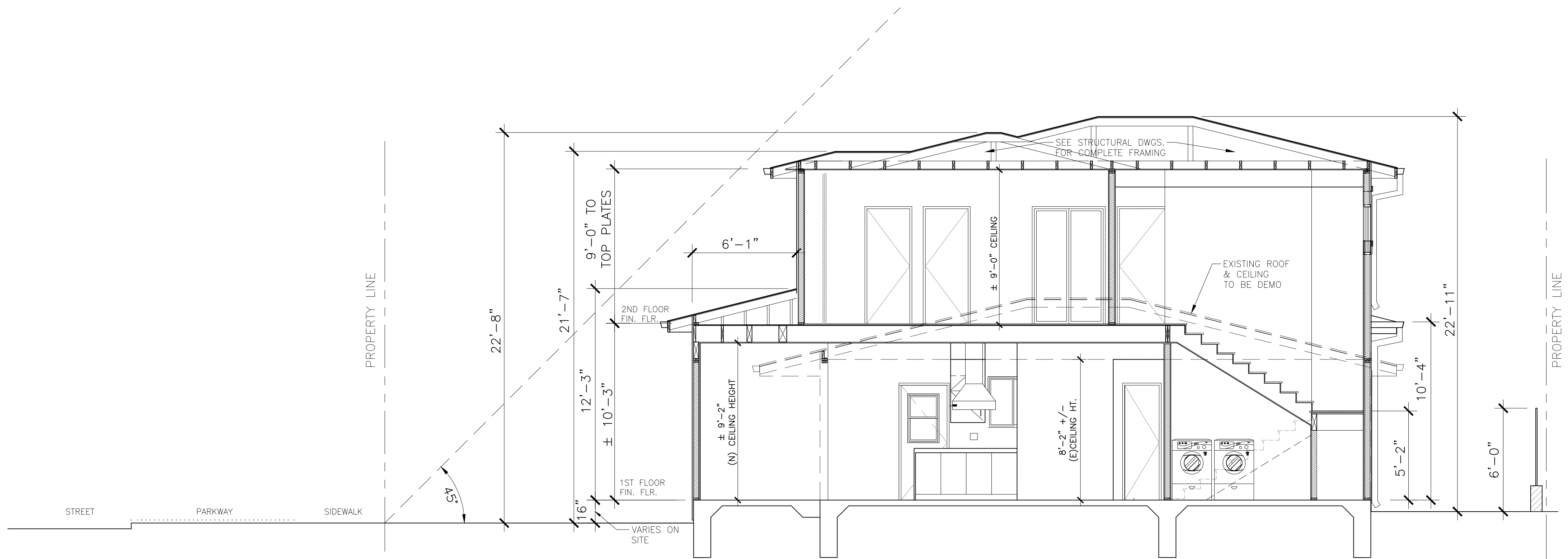
EXISTING EXTERIOR WEST ELEVATION
SCALE: 1/4" = 1'-0"

A



















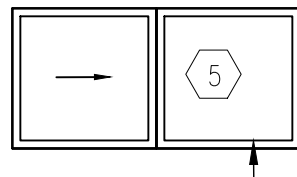
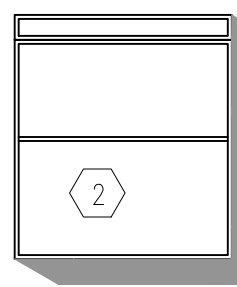
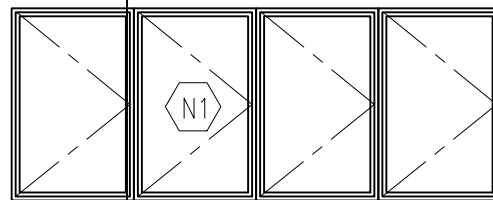
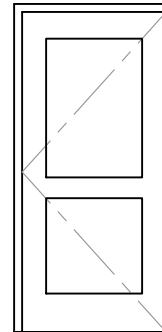
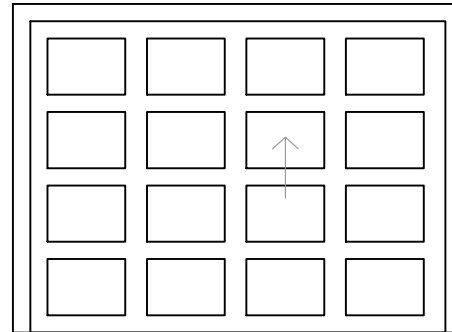
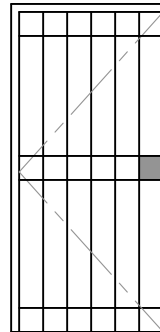
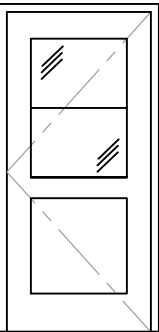
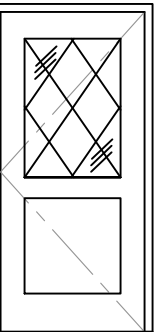
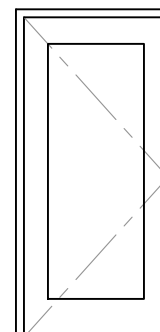
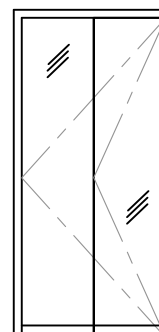
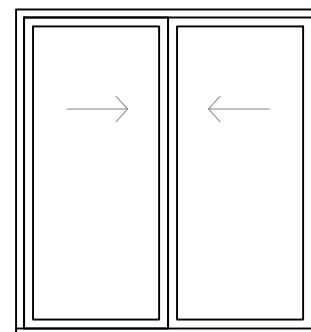
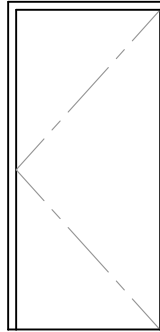
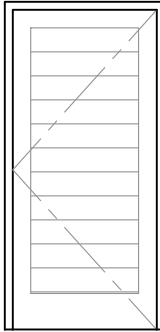
CROSS SECTION B-B
SCALE: 1/4" = 1'-0"

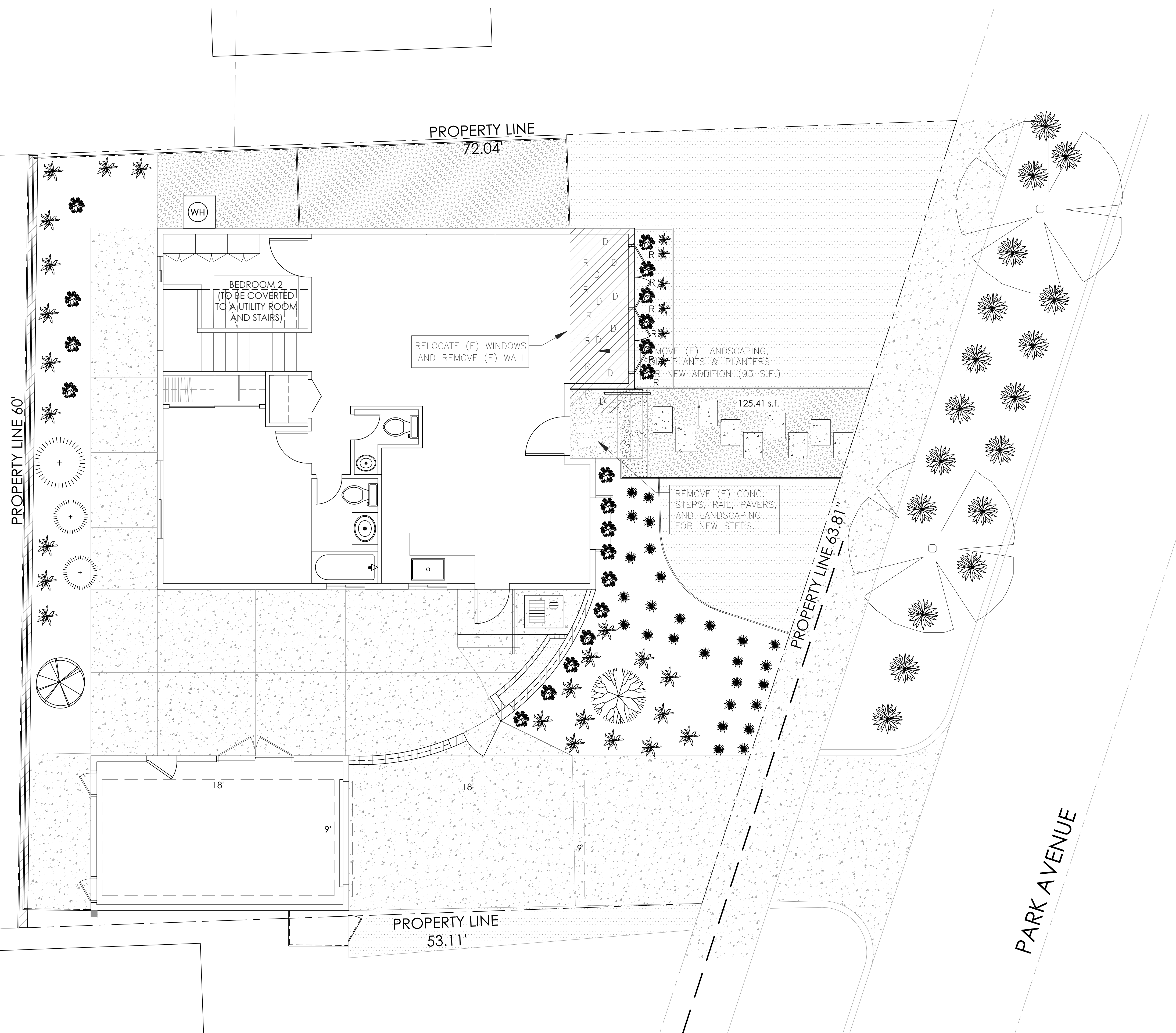
B



BUILDING LONGITUDINAL SECTION A-A
SCALE: 1/4" = 1'-0"



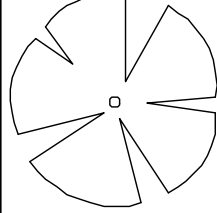
A

WINDOW SCHEDULE										DOOR SCHEDULE															
ID	SIZE	TYPE	MATERIAL	GLAZING	MAX. U-FACTOR	MAX. SHGC	CLR. OPN'G AREA	REMARKS	DOOR NO.	SIZE	TYPE	NEW FINISH	HDW	REMARKS											
	4'-2'-6" X 4'-0"	A	VINYL	INSULATED LOW-E	E	E	E	EXISTING WINDOW TO BE RELOCATED AS 'N1'	001	3'-0" X 6'-8""	D1A	P	(E) H1	NEW THRESHOLD AS NEEDED FOR NEW CONC. LANDING											
	4'-2'-6" X 4'-0"	A	VINYL	INSULATED LOW-E	E	E	E	EXISTING WINDOW 1 RELOCATED	001A	3'-0" X 6'-8"	D2	P	(E) H1	NEW THRESHOLD AS NEEDED FOR NEW CONC. LANDING											
	4'-0" X 4'-6"	B	VINYL	INSULATED LOW-E	E	E	E	EXISTING GARDEN WINDOW	002	2'-0" X 6'-8"	D4	P	(E) H3												
	3'-0" X 3'-0"	C	VINYL	INSULATED LOW-E	E	E	E	EXISTING WINDOW TO BE REMAIN	D003	2'-6" X 6'-8"	D6	--	(E) H2	REMOVE DOOR, DOOR JAMB & HARDWARE											
	3'-0" X 2'-0"	C	VINYL	INSULATED LOW-E	E	E	E	EXISTING WINDOW TO BE REMAIN	004	BI 3'-0" x 6'-8"	D8	P	(E) H7												
	6'-0" X 4'-0"	C	VINYL	INSULATED LOW-E	E	E	E	EXISTING WINDOW TO BE REMAIN	D005	PR 6-0" x 6'-8"	D7	--	(E) H5	REMOVE DOOR, DOOR JAMB & HARDWARE											
	6'-0" X 4'-0"	C	VINYL	INSULATED LOW-E	E	E	E	EXISTING WINDOW TO BE REMOVED	N006	PR 7-0" x 6'-8"	D7	P	(N) H5	NEW MIRRORED, SLIDING CLOSET DOORS											
	2'-0" X 3'-0"	C	VINYL	INSULATED LOW-E	.30	.21	2.75	PROVIDE LOCK & INSECT SCREEN	007	2'-6" X 6'-8"	D6	--	(E) H2												
	3'-0" X 4'-0"	C	VINYL	INSULATED LOW-E	.30	.21	4.69	PROVIDE LOCK & INSECT SCREEN	008	2'-0" X 6'-8"	D6	--	(E) H3												
	3'-2'-6" X 4'-0"	D	VINYL	INSULATED LOW-E	.30	.21	6.58	TO MATCH WINDOW N1	N009	3'-0" X 6'-8"	D6	PAINT	(N) H8	ACOUSTICAL SOLID CORE DOOR											
	3'-0" X 4'-0"	C	VINYL	INSULATED LOW-E OBSCURED TEMPERED	.30	.21	4.69	PROVIDE LOCK & INSECT SCREEN	010	3'-0" x 6'-8"	D18	--	(E) H1												
	3'-0" X 2'-0"	C	VINYL	INSULATED LOW-E OBSCURED TEMPERED	.30	.21	2.16	PROVIDE LOCK & INSECT SCREEN	010A	3-0" x 6'-8"	D2	--	(E) H1												
	6'-0" X 4'-0"	C	VINYL	INSULATED LOW-E	.30	.21	10.26	PROVIDE LOCK & INSECT SCREEN	N011	2'-6" X 6'-8"	D6	PAINT	(N) H3												
	6'-0" X 4'-0"	C	VINYL	INSULATED LOW-E	.30	.21	10.26	PROVIDE LOCK & INSECT SCREEN	N012A	PR 5'-0" X 6'-8"	D7	--	(N) H5	NEW MIRRORED CLOSET DOOR											
	6'-0" X 4'-0"	C	VINYL	INSULATED LOW-E	.30	.21	10.26	PROVIDE LOCK & INSECT SCREEN	N012B	PR 5'-0" X 6'-8"	D7	--	(N) H5	NEW MIRRORED CLOSET DOOR											
	6'-0" X 4'-0"	C	VINYL	INSULATED LOW-E	.30	.21	10.26	PROVIDE LOCK & INSECT SCREEN	N013	2-0" x 6'-8"	D6	P	(N) H3	PROVIDE CLOTH HOOK BAR ON BACK OF DOOR											
WINDOW TYPES									N014	2'-6" X 6'-8"	D6	P	(N) H3												
<div><div><p>TYPE C (SLIDING)</p></div><div><p>TYPE B (GARDEN WINDOW)</p></div><div><p>TYPE A (EXISTING CASEMENT)</p></div></div> <td>N015</td> <td>PR 5-0" x 6'-8"</td> <td>D7</td> <td>--</td> <td>(N) H5</td> <td>NEW MIRRORED CLOSET DOOR</td>									N015	PR 5-0" x 6'-8"	D7	--	(N) H5	NEW MIRRORED CLOSET DOOR											
									N016	2'-6" X 6'-8"	D6	P	(N) H2												
									N017	2'-6" X 6'-8"	D6	P	(N) H3	PROVIDE CLOTH HOOK BAR ON BACK OF DOOR											
									N018	2'-6" X 7'-0"	D3	--	(E) H4	PROVIDE CLOTH HOOK BAR ON BACK OF DOOR											
									N019	2'-4" X 6'-8"	D6	P	(N) H9												
									N200	2'-6" X 6'-8"	D6	P	(N) H3												
									N201	2-0" x 6'-8"	D6	P	(N) H3	PROVIDE CLOTH HOOK BAR ON BACK OF DOOR											
									N202	2'-6" X 6'-8"	D6	P	(N) H3	PROVIDE CLOTH HOOK BAR ON BACK OF DOOR											
									N203	PR 5'-0" X 6'-8"	D7	--	(N) H5	NEW MIRRORED CLOSET DOOR											
									N204	2'-6" X 6'-8"	D6	P	(N) H3												
									N205	2'-6" X 6'-8"	D6	P	(N) H3	PROVIDE CLOTH HOOK BAR ON BACK OF DOOR											
									N206	PR 5'-0" X 6'-8"	D7	--	(N) H5	NEW MIRRORED CLOSET DOOR											
									N207	PR 5'-0" X 6'-8"	D7	--	(N) H5	NEW MIRRORED CLOSET DOOR											
DOOR TYPES																									
<div><div></div></div>																									
TYPE D4		TYPE D3		TYPE D2		TYPE D1B		TYPE D1A																	
<div><div></div></div>																									
TYPE D9		TYPE D8		TYPE D7		TYPE D6		TYPE D5																	
DOOR HARDWARES & NOTES																									
<div><div>DOOR HARDWARE TYPES:</div><div><div>H1</div><div>ENTRY LOCK W/ DEADBOLT</div></div><div><div>H2</div><div>HEAVY DUTY HINGES, LEVER TYPE LATCH SET</div></div><div><div>H3</div><div>HEAVY DUTY HINGES, LEVER TYPE LATCH WITH PRIVACY LOCK</div></div><div><div>H4</div><div>(E) METAL ROLL-UP DOOR TRACK AND REMOTE CONTROL SYSTEM</div></div><div><div>H5</div><div>DOOR PULL & TRACK</div></div><div><div>H6</div><div>INSTALL EXISTING DOOR.</div></div><div><div>H7</div><div>DOOR PULL & HINGES</div></div><div><div>H8</div><div>SOLID CORE W/ HEAVY DUTY HINGES, LEVER TYPE LATCH SET, ACOUSTIC DOOR SEAL KIT (JAMB, THRESHOLD, AND DOOR BOTTOM)</div></div><div><div>H9</div><div>HEAVY DUTY HINGES, DOOR PULLS, AND DEADBOLT</div></div></div> <div><div>NOTE:</div><div><div>1.</div><div>REPAIR AS NEEDED FOR ALL (E) DOOR TO REMAIN.</div></div><div><div>2.</div><div>"SHAVED" OFF (E) DOOR BOTTOM TO REMAIN AS REQUIRED FOR "EASY" CLOSING WITHOUT GAP GREATER THAN 1/8".</div></div><div><div>3.</div><div>ALL NEW DOORS TO BE SOLID CORE WOOD DOOR, U.N.O.</div></div><div><div>4.</div><div>PROVIDE METAL TRESHOLD, DOOR SWEEPS AND REDUCERS (AS REQUIRED) FOR ALL NEW EXTERIOR DOORS, INCLUDING SLIDING PATIO DOORS.</div></div><div><div>5.</div><div>UNDERCUT ALL DOORS FOR NEW FLOORING. IF GAP IS MORE THAN 1", PROVIDE DOOR SWEEP.</div></div></div>																									



LANDSCAPE PLAN
SCALE: 1/4" = 1'-0"

A	
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SCOPE OF WORK		VICINITY MAP
SHRUB	EXISTING PHOTOS	BOTANICAL/COMMON NAME
		BOTANIC NAME: FESTUCA GLAUCA COMMON NAME: BLUE FESTUCA SIZE: HEIGHT: 9"-12"; SPREAD: 6"-9"
		BOTANIC NAME: FESTUCA GLAUCA ' ELIJAH BLUE' COMMON NAME: BLUE FESTUCA SIZE: HEIGHT: 12"; SPREAD: 12"-24"
		BOTANIC NAME: ROSA 'BLANC DOUBLE DE COUBERT' COMMON NAME: HYBRID RUGOSA ROSE SIZE: HEIGHT: 5'-7"; SPREAD 3'-5'
		BOTANIC NAME: PICEA SMITHIANA COMMON NAME: WEST HIMALAYAN SPRUCE SIZE: HEIGHT: 70'-100'
		BOTANIC NAME: DIETES GRANDIFLORA COMMON NAME: WILD IRIS SIZE: HEIGHT: .8-1m; SPREAD: .8-1M
		BOTANIC NAME: JUNIPERUS SQUAMATA 'BLUE STAR' COMMON NAME: SINGLE SEED JUNIPER SIZE: HEIGHT: 1'-3"; SPREAD: 1'-4'
		BOTANIC NAME: CITRUS SINENSIS 'WASHINGTON' DELICIOUS COMMON NAME: WASHINGTON NAVAL ORANGE SIZE: HEIGHT: 8'-12"; SPREAD: 8'-12'
		BOTANIC NAME: OLEA EUROPAEA COMMON NAME: LITTLE OLLIE SIZE: HEIGHT: 4'-6"; SPREAD: 4'-6'
		BOTANIC NAME: ACER SACCHARUM COMMON NAME: SUGAR MAPLE SIZE: HEIGHT: 40'-80"; SPREAD: 30'-60'

