



**CITY OF SOUTH PASADENA
DESIGN REVIEW BOARD
REGULAR MEETING AGENDA**

Thursday, April 1, 2021 at 6:30 p.m.

South Pasadena Design Review Board Statement of Civility

As your appointed governing board we will treat each other, members of the public, and city employees with patience, civility and courtesy as a model of the same behavior we wish to reflect in South Pasadena for the conduct of all city business and community participation. The decisions made tonight will be for the benefit of the South Pasadena community and not for personal gain.

NOTICE ON PUBLIC PARTICIPATION & ACCESSIBILITY

Pursuant to Section 3 of Executive Order N-29-20, issued by Governor Newsom on March 17, 2020, the meeting of the Design Review Board will be conducted remotely and held by video conference. The meeting will be broadcast live on the City's Design Review Board website ([Design Review Board Meeting](#)).

Please be advised that pursuant to the Executive Order, and to ensure the health and safety of the public by limiting human contact that could spread the COVID-19 virus, the Council Chambers will not be open for the meeting. Board members will be participating remotely and will not be physically present in the Council Chambers.

The Design Review Board welcomes public input. Members of the public may provide comments to the Design Review Board by emailing: PlanningComments@southpasadenaca.gov or by calling (626) 403-7720 and leaving a **3-minute** voicemail message to be played during the meeting. Public comments must be received by **12 p.m. on Thursday, April 1, 2021** to ensure adequate time to compile and post. Please make sure to indicate: 1) your name; and 2) what agenda item you are submitting public comment on, or if it is a general public comment. All comments/questions received will be distributed to the Board for consideration and will also be posted on the City's website prior to the meeting.

CALL TO ORDER:

Chair Samantha Hill

ROLL CALL:

Joe Carlson, Mark Smeaton, Kay Younger, Melissa Hon Tsai, Vice-Chair, and Samantha Hill, Chair

COUNCIL LIAISON:

Diana Mahmud, Mayor, Council Liaison

STAFF PRESENT:

Kanika Kith, Planning Manager
Malinda Lim, Associate Planner

APPROVAL OF AGENDA

Majority vote of the Board to proceed with Board business.

DISCLOSURE OF SITE VISITS AND EX-PARTE CONTACTS

Disclosure by Board of site visits and ex-parte contact for items on the agenda.

PUBLIC COMMENTS AND SUGGESTIONS

Members of the public may provide general public comments the Design Review Board by emailing: PlanningComments@southpasadenaca.gov or by calling (626) 403-7720 and leaving a **3-minute** voicemail message to be played during the meeting. Public comments must be received by **12 p.m. on Thursday, April 1, 2021** to ensure adequate time to compile and post. Please make sure to indicate: 1) your name; and 2) stating it is for general public comments/suggestions.

Pursuant to state law, the Design Review Board may not discuss or take action on issues not on the meeting agenda, except that members of the Design Review Board or staff may briefly respond to statements made or questions posed by persons exercising public testimony rights (Government Code Section 54954.2). Staff may be asked to follow up on such items.

PRESENTATIONS**1. Housing Accountability Act****PUBLIC HEARING****2. Project No. 2343-SGN (Continued) –Sign Permit for an existing grocery store, Pavilions Grocery Store, located at 1213 Fair Oaks Avenue.**Recommendation

Approve, subject to conditions of approval.

3. Project No. 2379-NID/DRX/TRP – Notice of Intent to Demolish a single-story home and detached garage, Design Review for a new 3,467 sq. ft. two-story residence with an attached garage, and Tree Removal Permit for three non-native trees, located at 822 Orange Grove Place.Recommendation

Form a subcommittee and continue the item to the next meeting.

CONSENT ITEMS

None

DISCUSSION ITEMS**4. Incorporation of Public Arts in Development Review****Recommendation**

Discuss and provide feedback

ADMINISTRATION**5. Comments from City Council Liaison****6. Comments from Board Members****7. Comments from Subcommittees****8. Comments from Staff****ADJOURNMENT****9. Adjourn to the regular Design Review Board meeting scheduled for May 6, 2021 at 6:30 p.m.****PUBLIC ACCESS TO AGENDA DOCUMENTS AND BROADCASTING OF MEETINGS**

Design Review Board meeting agenda packets are available online at the City website: <https://www.southpasadenaca.gov/government/boards-commissions/design-review-board/design-review-board-agendas-and-minutes>

Agenda related documents provided to the Design Review Board are available for public review on the City's website. Additional documents, when presented to Design Review Board, will also be uploaded and available on the City's website. The meeting will be broadcast live on the City's website via Zoom, and a recording of the meeting will be available on the website within 48 hours of adjournment.

AGENDA NOTIFICATION SUBSCRIPTION

Individuals can be placed on an email notification list to receive forthcoming agendas by emailing CityClerk@southpasadenaca.gov or calling the City Clerk's Division at (626) 403-7230.

ACCOMMODATIONS

The City of South Pasadena wishes to make all of its public meetings accessible to the public. If special assistance is needed to participate in this meeting, please contact the City Clerk's Division at (626) 403-7230. Upon request, this agenda will be made available in appropriate alternative formats to persons with disabilities. Notification at least 48 hours prior to the meeting will assist staff in assuring that reasonable arrangements can be made to provide accessibility to the meeting (28 CFR 35.102-35.104 ADA Title II).

I declare under penalty of perjury that I posted this notice of agenda on the bulletin board in the courtyard of City Hall at 1414 Mission Street, South Pasadena, CA 91030, and on the City's website as required by law.

3/25/21

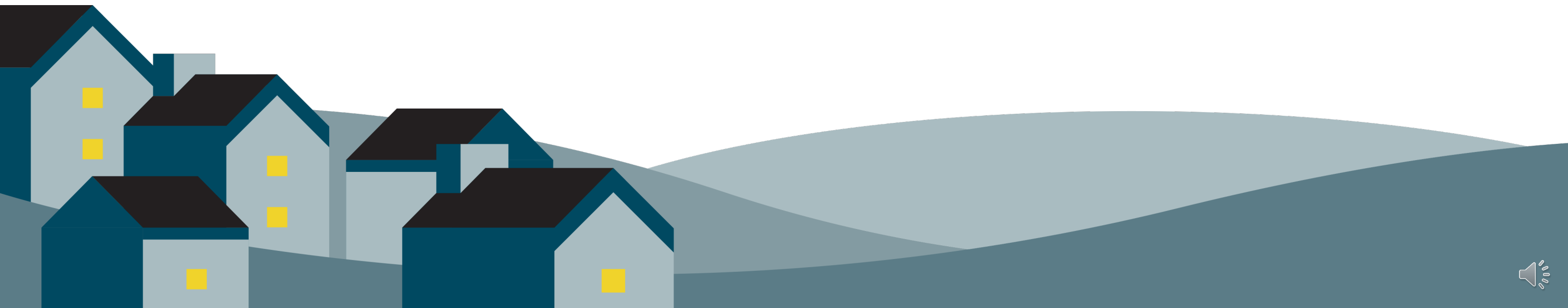
Date

A handwritten signature in blue ink that reads "Elaine Serrano".

Elaine Serrano,
Administrative Secretary

Housing Legislation Presentation Series

PRESENTATION #1: Housing Accountability Act, February 17, 2021



Key Housing Legislation

- Housing Accountability Act (Skinner, 2017) SB 167
- Housing Crisis Act (Skinner, 2019) SB 330



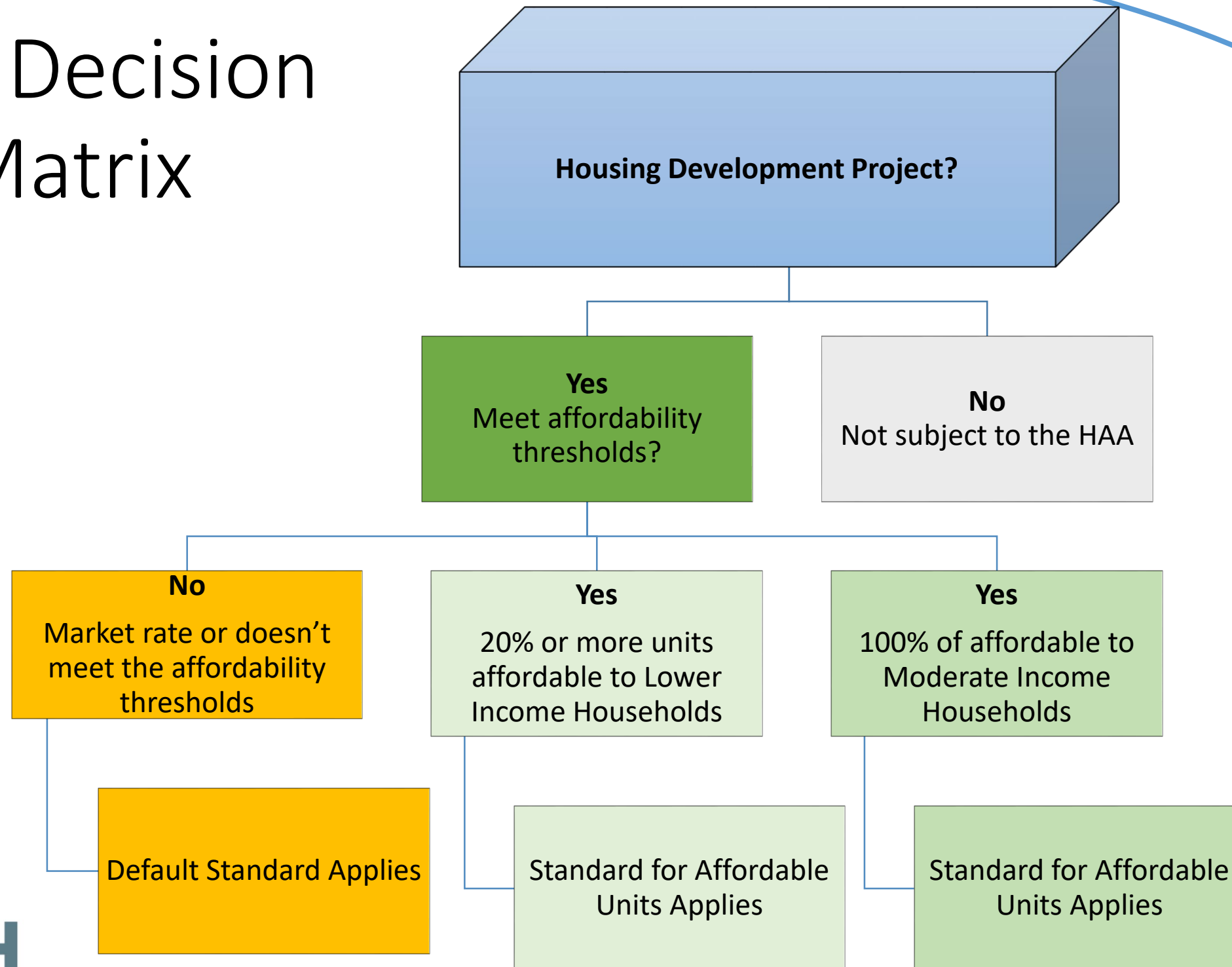


Definition: Housing Development Project

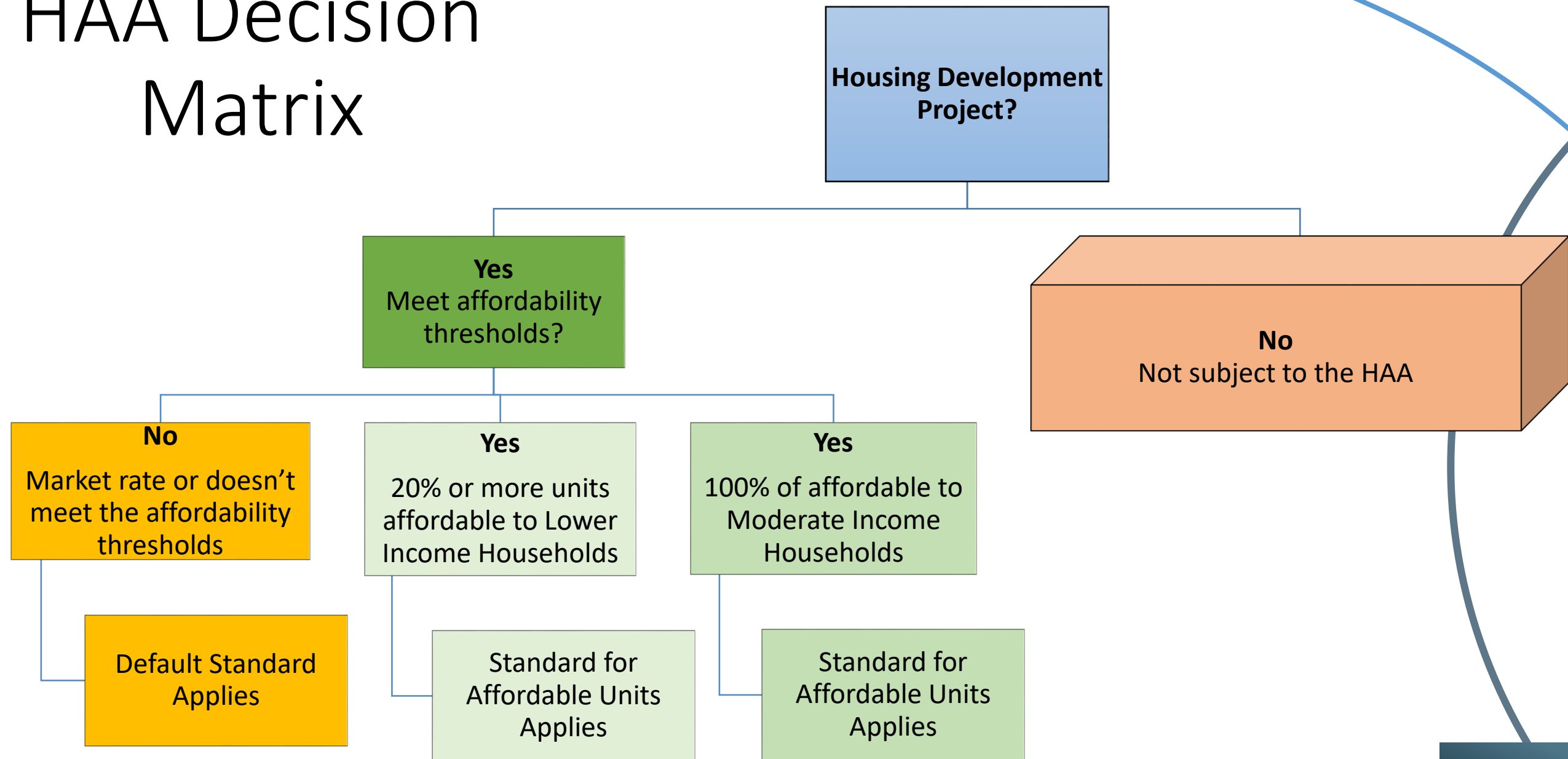
- HAA & SB 330 only apply to housing development projects
 - Residential units only.
 - Mixed-use developments - at least two-thirds of the square footage designated for residential use.
 - Transitional housing or supportive housing.
 - ❖ Does not apply to single-family residential



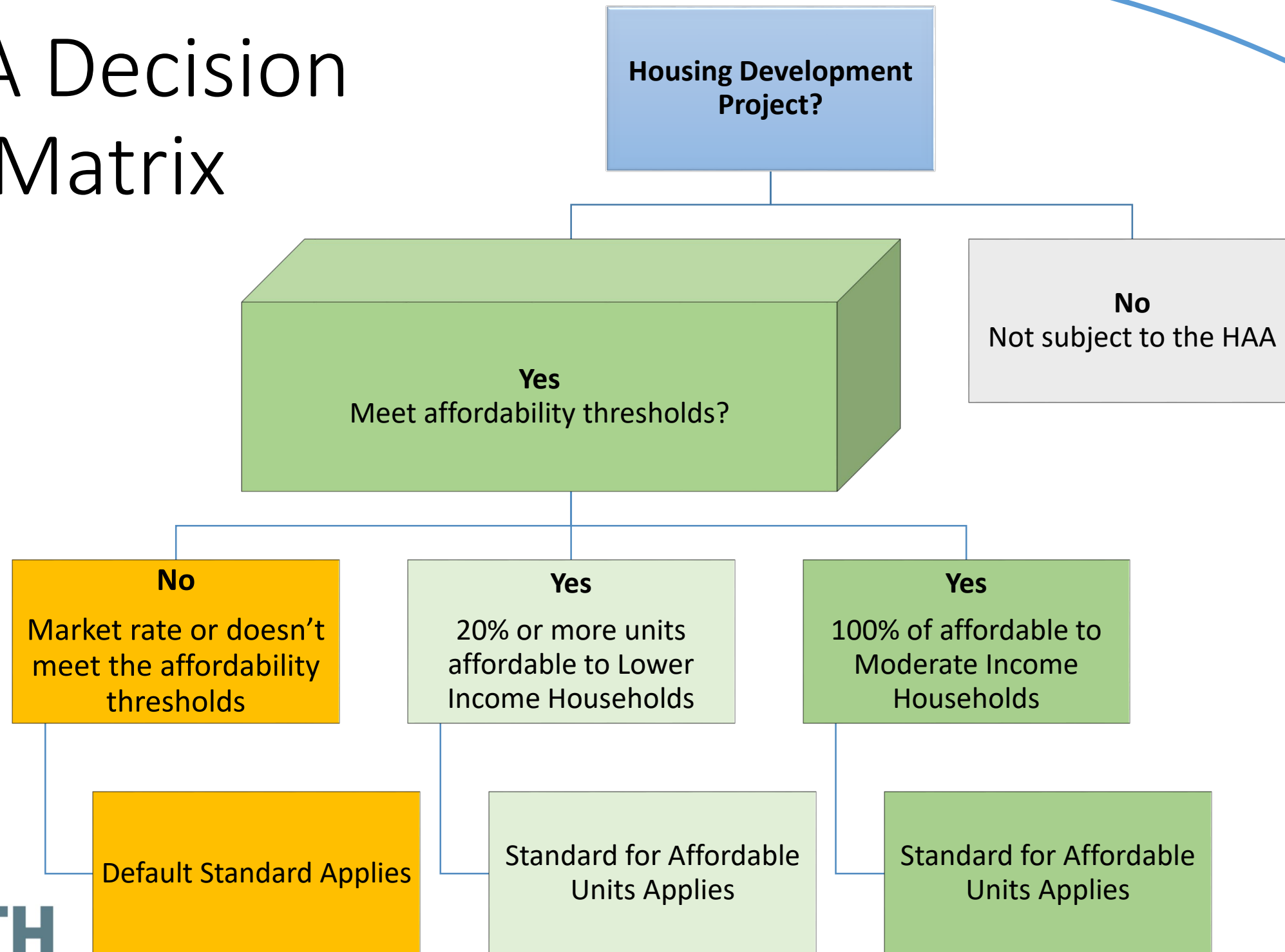
HAA Decision Matrix



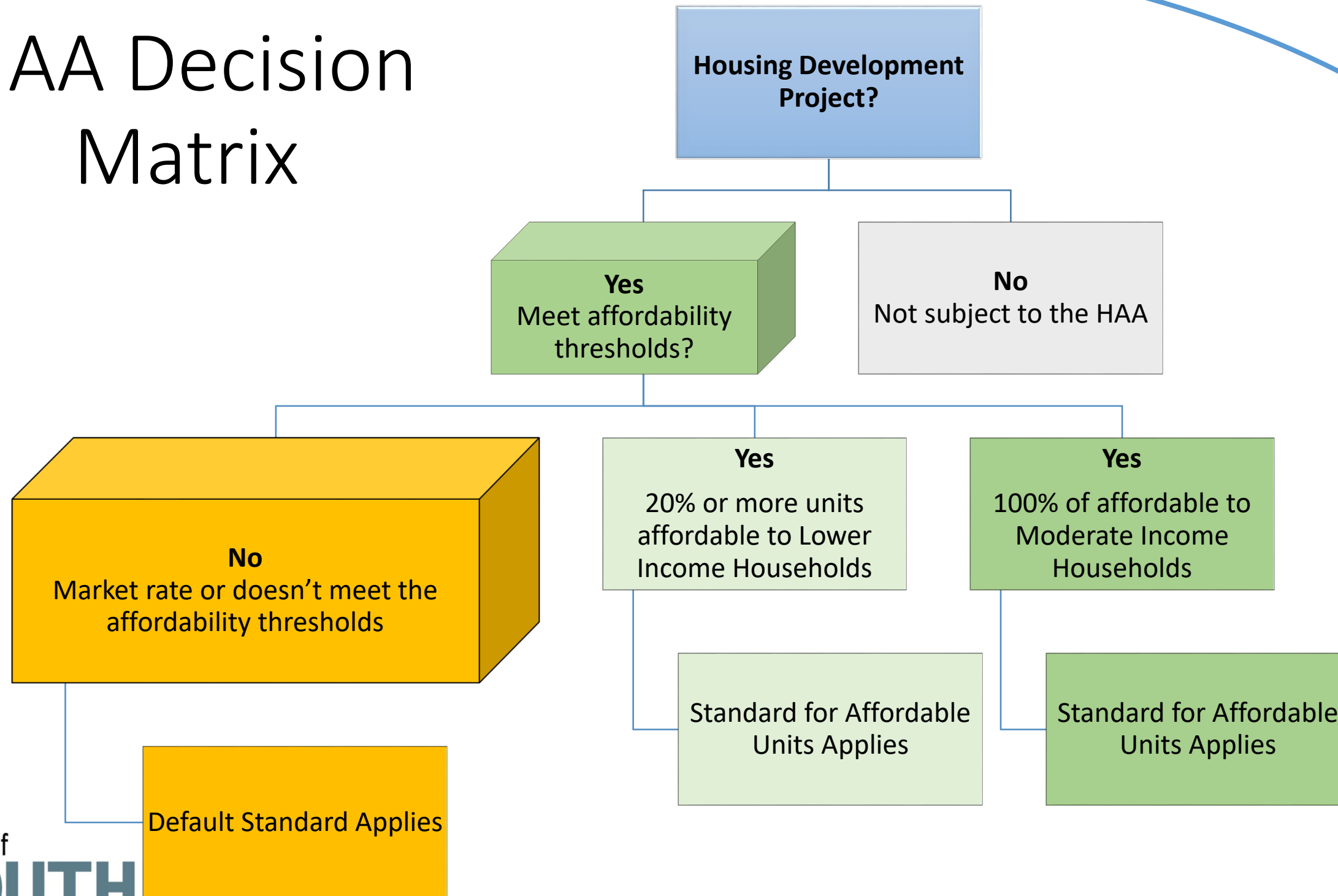
HAA Decision Matrix



HAA Decision Matrix



HAA Decision Matrix

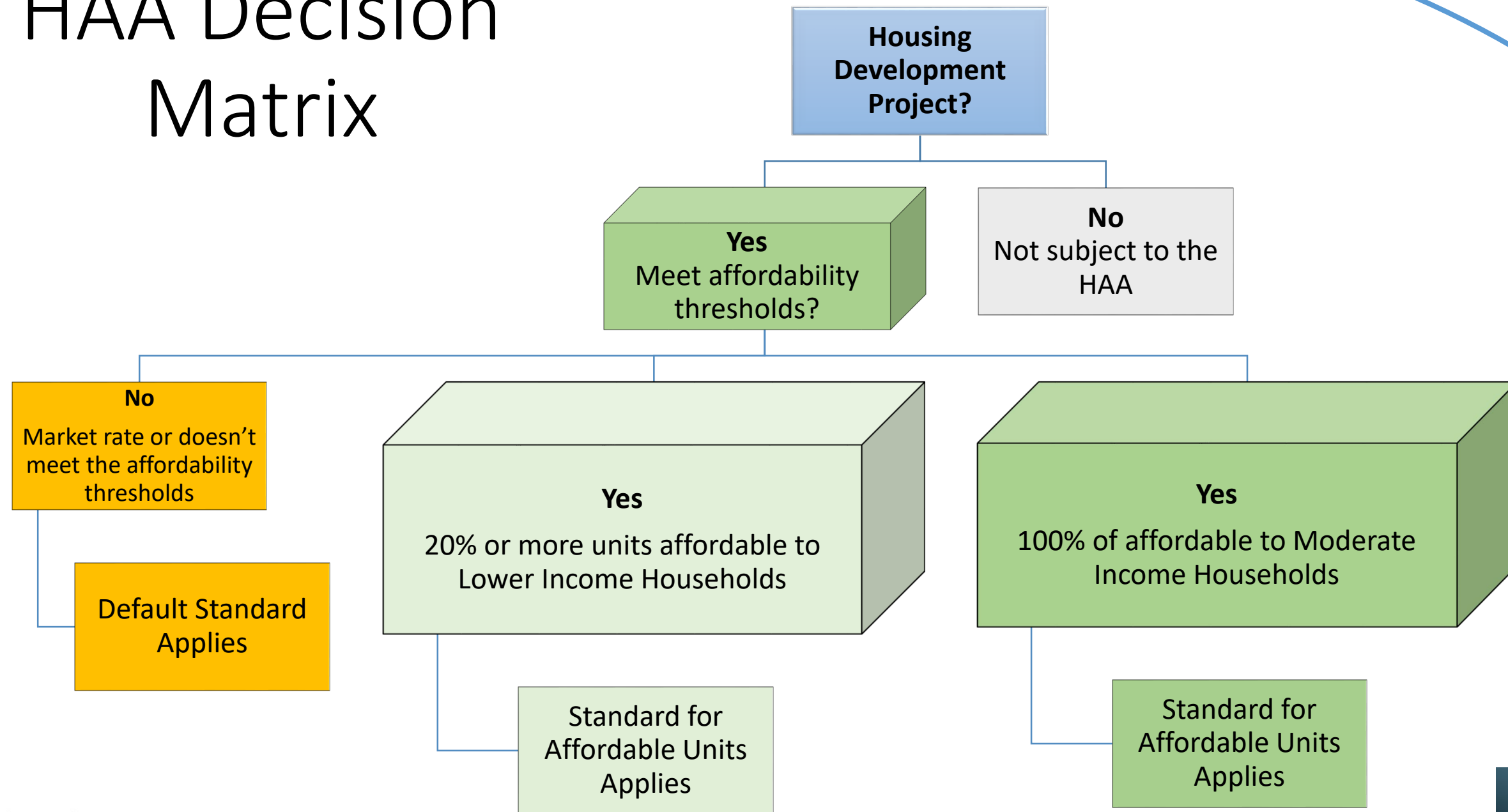


Default Standard of Review No Affordable Units

- Project is consistent with objective general plan, zoning, subdivision, and designs standards & criteria
- City cannot disapprove the project or impose conditions that reduce its density unless it makes both of the following findings:
 - There is a specific, adverse impact upon the public health or safety; and
 - There is no feasible method to satisfactorily mitigate or avoid the adverse impact



HAA Decision Matrix



Standard of Review for Projects with Affordable Units

- City cannot disapprove unless one of the following findings are made:
 1. Compliant housing element **and** met the RHNA allocation for all income categories proposed for the project
 2. Project has a specific, adverse impact upon the public health or safety, and there is no feasible method to mitigate or avoid impact
 3. Denial is required to comply with specific state or federal law, and there is no feasible method to comply
 4. On land zoned for agricultural or there is inadequate water or sewer to serve the project
 5. Project is inconsistent with both zoning and general plan land use designation



Extent of Protections

- The standards of review apply to land use approvals tied to new construction & demolition, including:
 - Subdivision Map approvals
 - Conditional Use Permits,
 - Design Review Permits,
 - Hillside Development Permits,
 - And others
- Do not apply to variances



Expanded Legal Remedies

Who can initiate litigation?

- The applicant;
- Any person who would be eligible to apply for residency in the project; or
- A housing organization.

If liable, Court will:

- order the City to approve the project within 60 days.
- Grant attorneys' fees and costs.

Fines issued for non-compliance

- If action not taken within 60 days, the court will issue a minimum \$10,000 fine per housing unit.
- If the inaction was in bad faith, the minimum fine award is multiplied by five.

HCD can also refer the matter to the Attorney General





SB 330: Housing Crisis Act

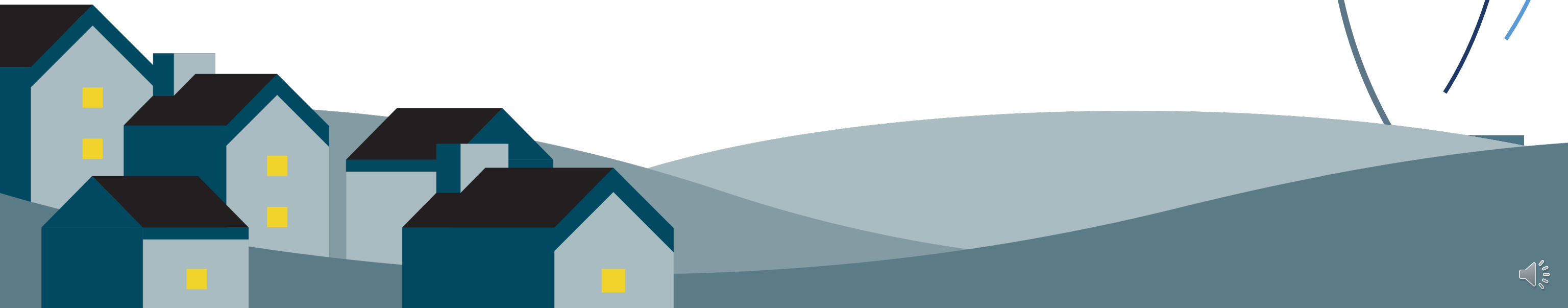
- Five hearing limit on housing development project applications
- No net loss housing unit rule
- No net loss of development intensity rule
- Objective design review standard requirement
- Two-step application process for housing development projects



Questions?

PRESENTATION #1:

Housing Accountability Act, February 17, 2021





Design Review Board Agenda Report

ITEM NO. 2

DATE: April 1, 2021

TO: Chair and Member of the Design Review Board

FROM: Kanika Kith, Planning Manager

VIA: Lisa Krause, Contract Planner
Malinda Lim, Associate Planner

SUBJECT: Project No. 2343-SGN (Continued) – Sign Permit for an existing 33,355 square-foot grocery store (Pavilions Grocery Store) located at 1213 Fair Oaks Avenue (APN No: 5319-002-034).

Recommendation

Staff recommends that the Design Review Board approve the Sign Permit for the Pavilions grocery store located at 1213 Fair Oaks Avenue, subject to conditions of approval.

Background

At the March 4, 2021 Design Review Board (DRB) hearing, the DRB asked if the Starbucks operation within the Pavilions market was considered a separate use and continued the project to allow staff time to discuss the interpretation of “use” in the City’s sign regulations with the City Attorney. The DRB also requested that the applicant provide plans that illustrate how the signage would appear at the maximum 200 square feet sign standard (**Attachment 2** and **Figure 3**).

Discussion

At the previous hearing, the applicant proposed a total sign area of 247.70 square feet; staff interpreted the sign regulations that the request exceeded the allowed sign area by 47.70 square feet because no more than 200 square feet of sign area is allowed per *use*. Staff considered the Pavilions market a single use (See Table 3-9 below and [link to staff report](#)).

Different Use Interpretation

Staff met with the City Attorney’s office to determine what is meant by the term “use” and whether a Starbucks stand within the Pavilions market could be considered a separate use; thereby eliminating the Starbucks’ sign area from the total sign area calculation. Current interpretation is that different *use* could only apply to another tenant, such as one with its own structure and separate business entity, and not to a business product that is sold within or simply licensed by the market. In other words, a separate “use” criterion would not include banking/ATM, deli, juice bars, coffee kiosks, or similar businesses that function inside the main store. It was determined that further analysis is needed to determine if a different *use* interpretation for Starbucks would result in unintended consequences for the City. For example, if it is determined that Starbucks is a separate use, then Starbucks could put signage to a maximum total of

DRB Agenda
April 1, 2021

1213 Fair Oaks Avenue
Project No. 2343-SGN

200 square feet in addition to Pavilions' 200 square feet of signage. This proposal does not include that, but if the interpretation is changed without appropriate code modifications, there is nothing that would stop another property from proposing 200 square feet of signage per use.

To keep this project moving forward, staff recommends that the Board and applicant consider the reduced sign plan (see **Figure 3**). If the applicant wishes to not proceed with the reduced sign plan, the applicant could apply for a variance, which requires approval from the Planning Commission. However, to receive approval of a variance, the applicant would have to provide justifications to support the variance such as demonstrating that the reduced sign shown in **Figure 3** would not be visible to motorists. Based on the United States Sign Council, wall signs that are parallel to the road at approximately 200 feet from the curb on a 5-lane road (similar condition to Pavilion) should have a letter height of 50 inches (4.2 feet). The letter height for the reduced sign for Pavilions is 5 feet. If the applicant wishes to proceed with a variance, the applicant will have to provide other justifications as to why a 5-foot letter height sign as proposed is not appropriate for this site.

As an alternative, the applicant could apply for a code amendment to the sign regulations to allow the larger sign with appropriate language for regulating other signage on the subject property. During this process, staff will work with the applicant on the appropriate language and this will require approval from the Planning Commission and City Council.

Reduced Sign Plan

As requested, the applicant provided a reduced sign plan illustrating compliance with the 200 square feet maximum total sign area standard (**Figure 3**). The main Pavilions sign in channel letters was reduced to 119.20 square feet. The existing Pavilions sign is slightly smaller at 111.80 square feet (**Figure 5**). Staff considers the Reduced Sign Plan (**Attachment 4**) an improvement to the existing signage and recommends this design for approval.

The applicant has also provided an overlay comparison of the previously proposed sign and the sign in compliance with the zoning standards (**Figure 4**).

Figure 1: Sign Locations

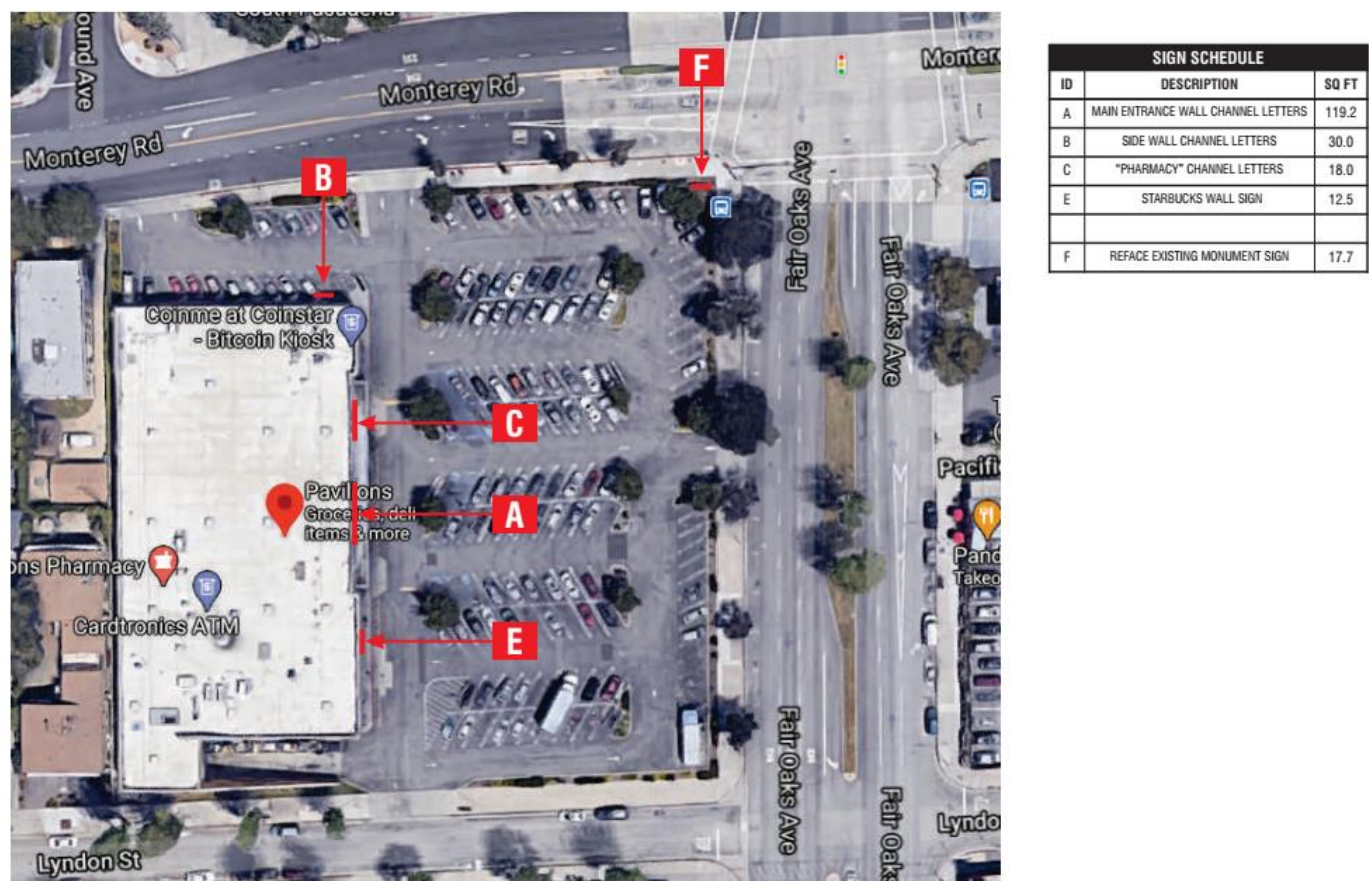


Figure 2: Previously Proposed East Elevation Signs



Figure 3: Reduced East Elevation Signs



Figure 4: Comparison Overlay of East Elevation Signs



Figure 5: Existing East Elevation Signage

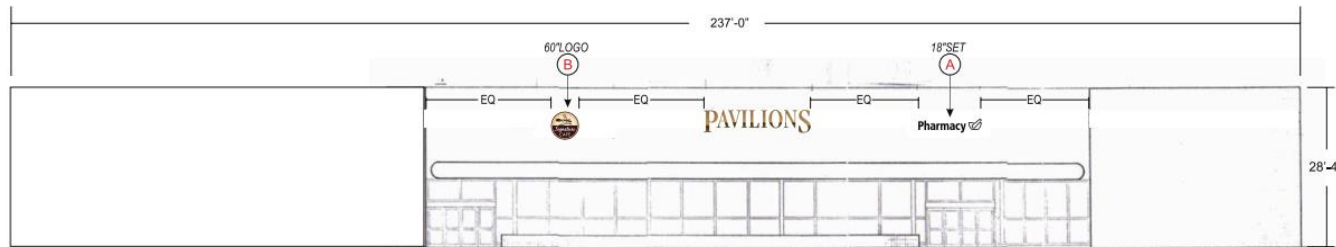


Figure 6: Proposed North Elevation Sign (no change)

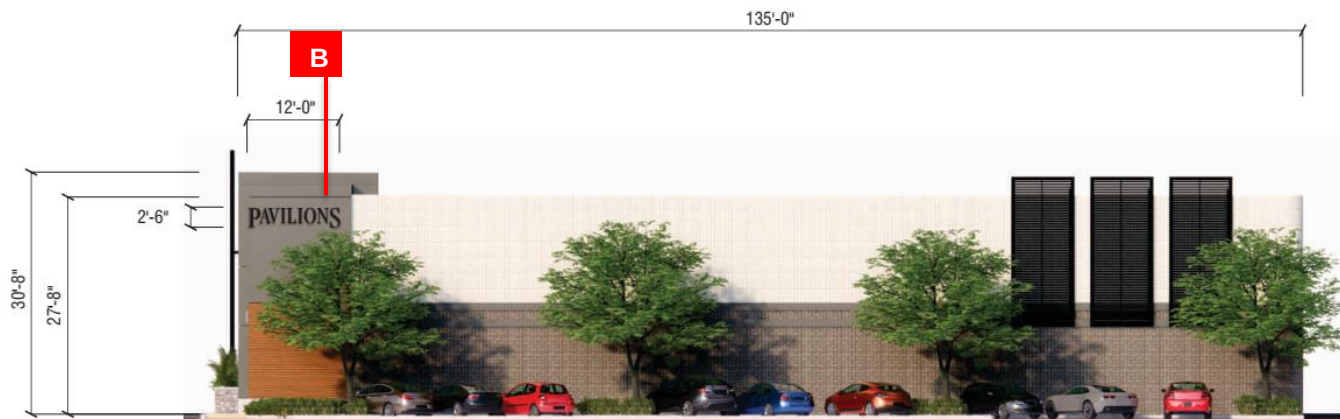


Table 1: Sign Development Standards for Wall Signs

	Allowed	Proposed
Number of Signs Allowed	3 of any combination of allowed sign type per <i>primary</i> building frontage.	Only wall signs are proposed for primary frontage.
	1 of any combination of allowed sign type per <i>secondary</i> building frontage.	1 wall sign and the refacing of an existing monument sign on Monterey Rd.
Maximum Sign Area	1 sq. ft. per each linear foot of building frontage East Elevation Length: 237 feet North Elevation Length: 135 feet - No more than 200 sq. ft. allowed for each use - Not to exceed 7% of the building façade	Primary frontage signs are 119.20, 18, and 12.5 sq. ft. Secondary frontage signs are 30 sq. ft. (wall) and 17.7 sq. ft. (monument sign) The total proposed sign area for this site is 197.40 sq. ft.
Sign Location	- Not project above the eave line or the edge of the roof of a building - Not to interfere with the operation of a window or door - At least 1 foot below the top of the parapet	Signs meet the sign location criteria.
Sign Projection	Does not project more than 12 inches from the building surface	8 inches
Maximum Logo & Letter Height	No limit if it doesn't exceed the allowable area	Primary frontage letters: 5 ft. Secondary frontage letters: 2.5 ft. (See maximum sign area row)
Maximum Sign Length	No limit if it doesn't exceed the allowable area	Primary frontage letters: 23ft. 10in. Secondary frontage letters: 12 ft. (See maximum sign area row)

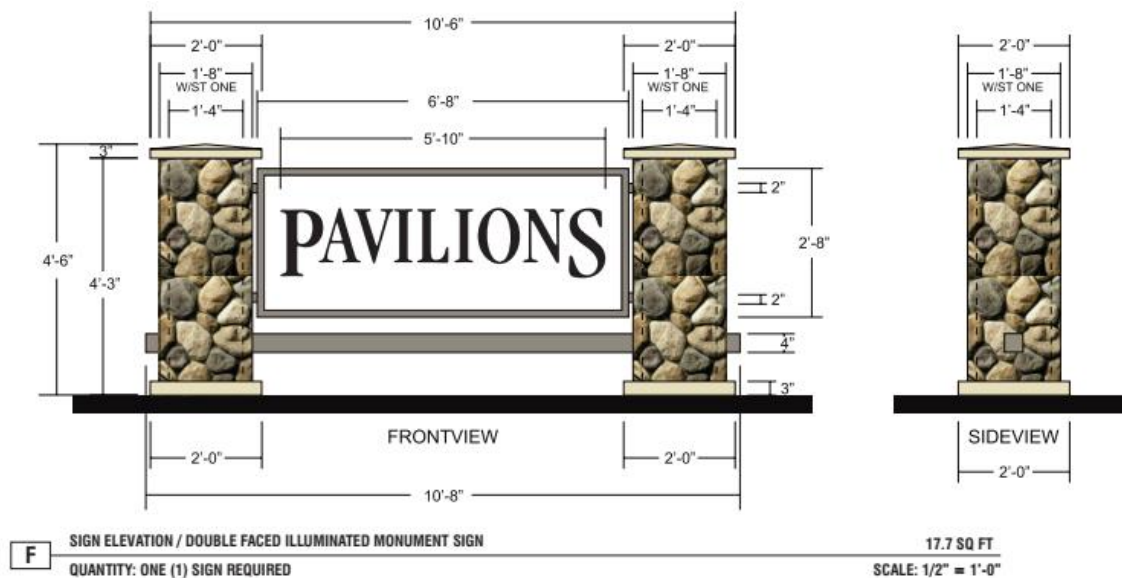
Monument Sign

The proposed plan includes refacing and repainting the metal portions of the existing monument sign at the southwest corner of Monterey Road and Fair Oaks Avenue (see **Figure 7**). No additional design changes are proposed for the monument sign (see **Figure 8**).

Figure 7: Existing North Elevation Monument Sign



Figure 8: Proposed North Elevation Monument Sign



Required Design Review Findings

To approve a Design Review application, the DRB shall first find that the design and layout of the proposed project complies with South Pasadena Municipal Code (SPMC) Section 36.410.040(I):

- 1. Is consistent with the General Plan, any adopted design guidelines and any applicable design criteria for specialized areas (e.g., designated historic or other special districts, plan developments, or specific plans);**

The General Plan land use designation of the site is General Commercial which provides for a variety of retail, service, office, automotive establishments, entertainment facilities, convenience goods and services to residents in the immediate neighborhood, and parking facilities. The project is within the Lower-Fair Oaks sub area of the Fair Oaks focus area which is intended to

be pedestrian-friendly while remaining auto-oriented with a mixture of uses so that parking may be shared. This project is a proposal for a sign permit and does not change the use, therefore, it is consistent with the General Plan.

- 2. Will adequately accommodate the functions and activities proposed for the site, will not unreasonably interfere with the use and enjoyment of neighboring, existing, or future developments, and will not create adverse pedestrian or traffic hazards;**

The project site will continue to be occupied by the existing grocery store, Pavilions. No changes are proposed for the function or activities of the site. The proposed signage will enhance visibility of the business and updates the look of the existing signage, which will be a benefit to the neighborhood and the business.

- 3. Is compatible with the existing character of the surrounding neighborhood and that all reasonable design efforts have been made to maintain the attractive, harmonious, and orderly development contemplated by this Section, and the General Plan; and**

The existing character of the surrounding neighborhood consists of a variety of single-story commercial buildings and two-story multi-family residential buildings (west and south). The project proposes to replace the existing signage on the north and east elevations with an updated style that complements the proposed remodel. The updated signage will create an attractive, harmonious, and is in keeping with orderly development as contemplated by this Section, and the General Plan.

- 4. Would provide a desirable environment for its occupants and neighbors, and is aesthetically of good composition, materials, and texture that would remain aesthetically appealing with a reasonable level of maintenance and upkeep.**

The project proposes to add updated signage that complements the proposed remodel of the grocery store the Board approved on February 4, 2021. Thus, the new signage will add to a more desirable environment for its clientele, the neighborhood, and is aesthetically of good composition, materials, and texture that would remain aesthetically appealing with a reasonable level of maintenance and upkeep.

Alternatives to Consider

If the Board does not agree with staff's recommendation, the following options are available:

1. The Design Review Board can Approve with condition(s) added; or
2. The Design Review Board can Continue the project to address comments discussed; or
3. The Design Review Board can Deny the project.

Next Steps

1. If approved, conditionally, or as submitted, the applicant will proceed through the Plan Check Process with Building and Safety. If any Conditions of Approval are proposed or added by the Board, they must be met prior to submittal of Plan Check.
2. If denied, the Design Review Board's decision can be appealed by the applicant to the Planning Commission.

DRB Agenda
April 1, 2021

1213 Fair Oaks Avenue
Project No. 2343-SGN

Fiscal Impact

The cost in processing the Sign Permit is covered by the applicant.

Environmental Analysis

This item is exempt from any California Environmental Quality Act (CEQA) analysis based on State CEQA Guidelines Section 15301, Class 1 Existing Facilities. Class 1 exemption includes interior or exterior alterations with no expansion of use.

Public Notification of Agenda Item

The public was made aware that this item was continued to a date certain (April 1, 2021) at the March 4, 2021 DRB hearing. This item was previously included in a legally publicly noticed agenda, posting of the same agenda and reports on the City's website, in the *South Pasadena Review*, and individual property mailings to those within 300 feet of the project site.

Attachments

1. Conditions of Approval
2. Proposed Signage and Comparison Signs
3. Staff Report from March 4, 2021 DRB Meeting
4. Reduced Sign Plan

ITEM NO. 2

ATTACHMENT 1
Conditions of Approval

**CONDITIONS OF
APPROVAL
PROJECT NO. 2343-
SGN**

**1213 Fair Oaks Avenue – Pavilions
Sign (APN: 5319-002-034)**

PLANNING DIVISION:

- P1. The following approvals are granted as described below and as shown on the proposed sign plans submitted to and approved by the Design Review Board on April 1, 2021:
- a. **Sign Permit** for four (4) wall signs and the refacing of an existing freestanding monument sign.
- P2. This approval and all rights hereunder shall terminate within twelve (12) months of the effective date of their approval by the Design Review Board unless otherwise conditioned and/or unless action is taken to secure Building Permits and maintain active Building Permits with the Building Division beginning with the submittal of the plans for Plan Check review.
- P3. Approval by the Design Review Board does not constitute a building permit or authorization to begin any construction. An appropriate permit issued by the South Pasadena Building Division must be obtained prior to construction, enlargement, relocation, conversion or demolition of any building or structure on any of the properties involved with this approval.
- P4. All other requirements of any law, ordinance, or regulation of the State of California, City of South Pasadena, and any other government entity shall be complied with.
- P5. Compliance with and execution of all conditions listed herein shall be necessary prior to obtaining any occupancy inspection clearance and/or prior to obtaining any occupancy clearance.
- P6. The applicant and each successor in interest to the property which is the subject of this project approval, shall defend, indemnify and hold harmless the City of South Pasadena and its agents, officers and employees from any claim, action or proceeding against the City or its agents, officers or employees to attack, set aside, void or annul any approval of the City, City Council or City Design Review Board concerning this approval.

BUILDING AND SAFETY DIVISION:

General conditions for existing building and proposed addition:

- B1. The second sheet of building and grading plans is to list all conditions of approval and to include a copy of the Design Review Board letter. This information shall be incorporated into the plans prior to the first submittal for plan check.

ATTACHMENT 2

Proposed Signage and Comparison Overlay

PAVILIONS



superior
electrical advertising

1700 West Anaheim Street
Long Beach, California
90813-1195
Phone: 562.495.3808
Facsimile: 562.435.1867
www.superiorsigns.com

Project:
Pavilions #2228

Address:
**1213 N. Fair Oaks Ave
South Pasadena, CA 91030**

Account Manager:
Tim Pitts

Scale:	T.A.:
AS NOTED	3.50

Design No.:
19-02-5421-11

Reg. No.:

- Revision History:
- R0 2/6/19 bk New Drawing
 - R1 2/13/19 bk (1.5) revise per comments
 - R2 2/18/19 bk (.25) revise per comments
 - R3 2/19/19 bk add filler
 - R4 7/27/19 bk update elevation
 - R5 7/27/19 bk revise per comments
 - R6 10/1/20 bk add monument & DUG
 - R7 10/2/20 mdm (1.5) changes for city
 - R8 1/11/21 mdm (1.0) changes for city
 - R9 2/11/21 mdm (1.0) changes for city
 - R10 2/24/21 mdm (1.0) changes for city
 - R11 3/4/21 mdm (.5) square feet



This sign is intended to be installed in accordance with the requirements of Article 600 of the National Electrical Code and/or other applicable local codes. This includes proper grounding and bonding of the sign.

• CONSTRUCTION APPROVALS •

Acct. Mgr: Date:

Design: Date:

Mfg/QC: Date:

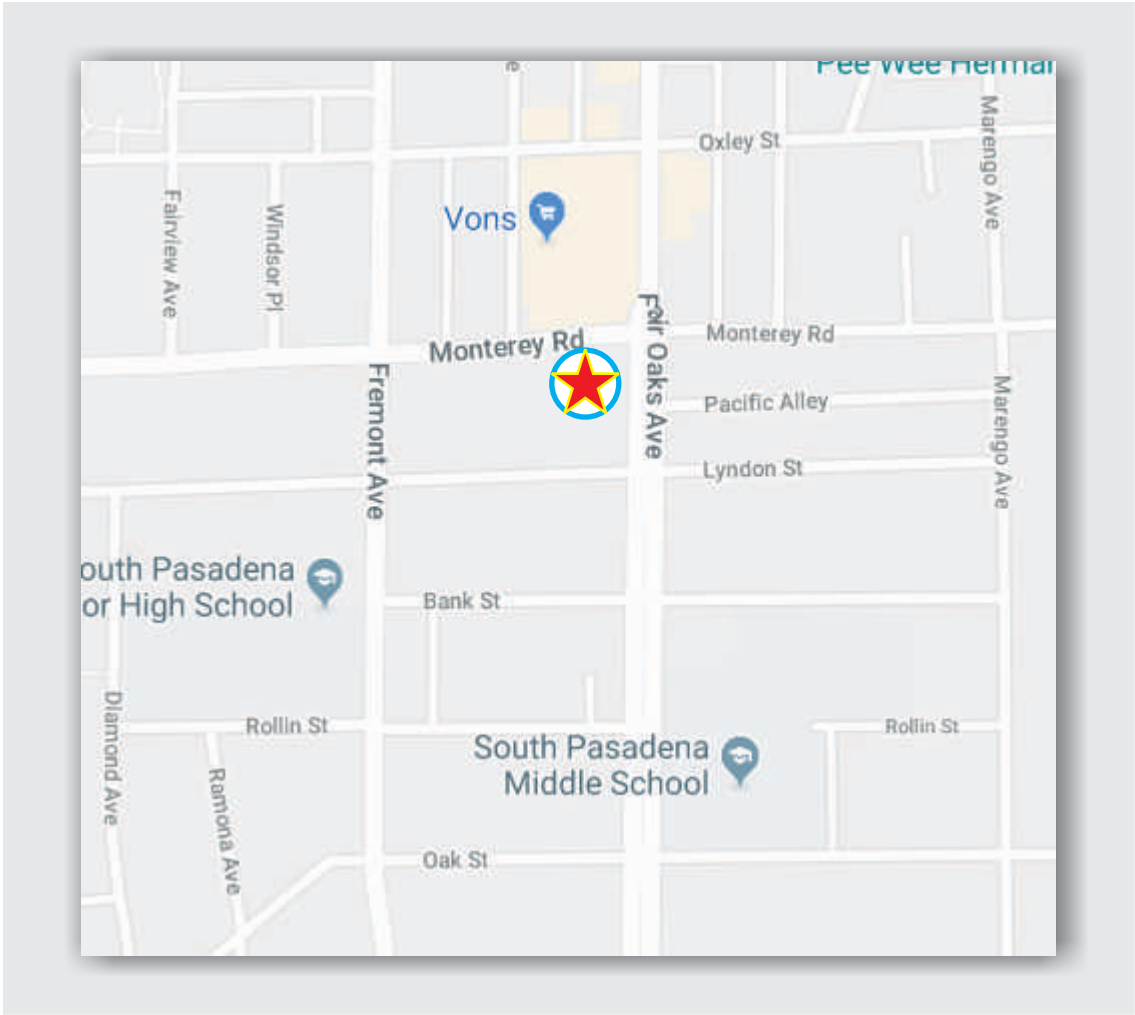
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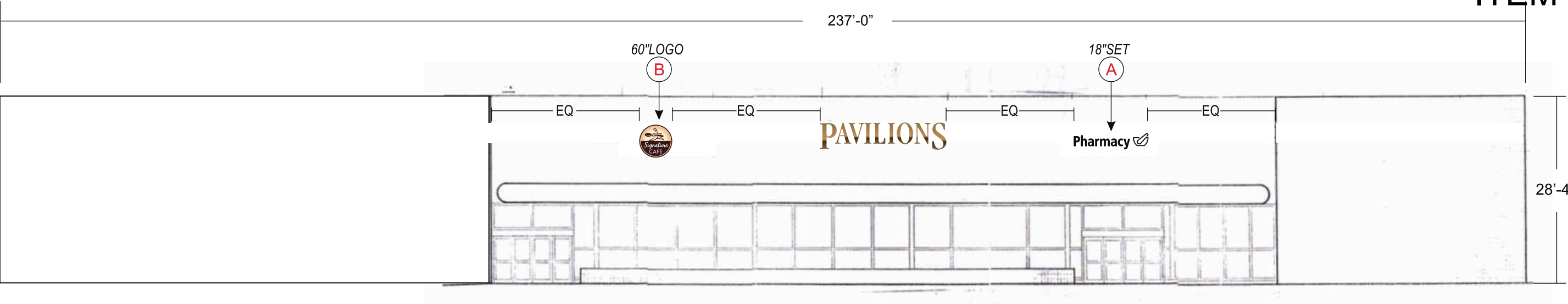
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Note: The colors depicted here are a graphic representation. Actual colors may vary. See color specifications.

1213 N. FAIR OAKS AVE, SOUTH PASADENA CA, 91030



1 VICINITY MAP
SCALE: NTS



EXISTING FRONT / EAST ELEVATION CONDITIONS

SCALE: 1/16"=1'-0"

EXISTING SIGN SQUARE FOOTAGES:

PER CODE: 1 SQUARE FOOT PER LINEAR
FOOT OF BUILDING FRONTAGE = 237.00 SQ. FT.

FRONT ELEVATION:

PAVILIONS LETTERS:	= 111.80
PHARMACY	= 16.91
SIGNATURE CAFÉ	= 19.62

TOTAL SQUARE FEET FOR EXISTING SIGNS	= 148.33
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Page: 2 of 11

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PHOTO VIEW OF EXISTING BUILDING SIGNS ON FRONT/ EAST ELEVATION





superior
electrical advertising

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Mfg/QC: Date:

Page: 3 of 11

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90813-1195
Phone: 562.495.3808
Facsimile: 562.435.1867

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Project:
Pavilions #2228

Address:
**1213 N. Fair Oaks Ave
South Pasadena, CA 91030**

Account Manager:
Tim Pitts

Scale: T.A.:
AS NOTED 3.50

Design No.:
19-02-5421-11

Reg. No.:

Revision History:
R0 2/6/19 bk New Drawing
R1 2/13/19 bk (1.5) revise per comments
R2 2/18/19 bk (.25) revise per comments
R3 2/19/19 bk add filler
R4 7/27/19 bk update elevation
R5 7/27/19 bk revise per comments
R6 10/1/20 bk add monument & DUG
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R8 1/11/21 mdm (1.0) changes for city
R9 2/11/21 mdm (1.0) changes for city
R10 2/24/21 mdm (1.0) changes for city
R11 3/4/21 mdm (.5) square feet



ELECTRIC SIGN

This sign is intended to be installed in accordance with the requirements of Article 600 of the National Electrical Code and/or other applicable local codes. This includes proper grounding and bonding of the sign.

• CONSTRUCTION APPROVALS •
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Page: 4 of 11

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1 FRONT - EAST ELEVATION
SCALE: 1/16" = 1'-0"

ALLOWED SQUARE FEET = 200.0 SQ FT

PROPOSED SQUARE FEET = 174.6 SQ FT

Commercial and industrial [zoning district](#) sign standards. [Signs](#) in the commercial and industrial [zoning districts](#) established by Section 36.200.020 (Zoning Map and [Zoning Districts](#)) shall comply with the requirements in Table 3-9.

NOTE: New signs square footages determined by Table 3-9 of the Sign Standards for Commercial Zones

TABLE 3-9. SIGN STANDARDS FOR COMMERCIAL ZONES			
Allowed Sign Types	Maximum Sign Height	Maximum Number of Signs Allowed per Parcel	Maximum Sign Area Allowed per Parcel
Outdoor Signs Visible from a Street			
Awning	Below roof (1)	Single tenant site: 3 of any combination of allowed sign types per primary building frontage. 1 of any allowed sign type per secondary frontage. Multi-Tenant Site: For a site or building with 2 or more tenants, 1 of any allowed sign type per business frontage.	Interior and/or corner parcel: 1 sf for each linear ft of primary building frontage (for buildings with multiple frontages, or a corner frontage such as within a shopping center, 1 sf for each linear foot of primary frontage plus 0.5 sf for each foot of one additional secondary frontage (i.e., rear, alley, or driveway frontage)). The total area of all signs on a single building frontage shall not exceed the total linear feet in that frontage. No more than 200 sf is allowed for each use.
Freestanding	3 ft; 6 ft with DRB approval (see Section 36.320.080.C)		
Projecting, Wall	Below roof (1)		
Suspended	Below eave/canopy; with lowest point of sign at least 8 ft above grade.		
Temporary/ Portable	See Sections 36.320.080.E and 36.320.080.H.		

PROPOSED NEW SIGN SQUARE FOOTAGES:

PER CODE: 1 SQUARE FOOT PER LINEAR FOOT OF BUILDING FRONTAGE = 237.00 SQ. FT.
NO MORE THAN 200 S.F. ON A SINGLE BUILDING FRONTAGE

FRONT - EAST ELEVATION

PAVILIONS CHANNEL LETTERS = 145.6 SQ FT
PHARMACY CHANNEL LETTERS = 18.0 SQ FT
STARBUCKS LOGO = 12.5 SQ FT

SIDE - NORTH ELEVATION

PAVILIONS CHANNEL LETTERS = 25.10 SQ FT

TOTAL SQUARE FEET FOR NEW SIGNS = 199.7 SQ FT



1 SIDE - NORTH ELEVATION
SCALE: 1/16" = 1'-0"

ALLOWED SQUARE FEET = 67.5 SQ FT
PROPOSED SQUARE FEET = 25.10 SQ FT



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R11 3/4/21 mdm (.5) square feet



ELECTRIC SIGN

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3

EAST ELEVATION
SCALE: NTS



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3/8" RIV-NUTS FOR ALL THREAD BOLTS

A

SIGN ELEVATION / FACE LIT CHANNEL LETTERS

145.6 SQ FT

QUANTITY: ONE (1) SET REQUIRED

SCALE: 1/4" = 1'-0"

SPECIFICATIONS:

LETTERS: INTERNALLY ILLUMINATED CHANNEL LETTERS
FACES: WHITE TRANSLUCENT ACRYLIC WITH OVERLAY OF 3M DUAL FILM #3635-222 - PERFORATED BLACK VINYL
TRIMCAPS: 1" BLACK TRIMCAPS
RETURNS: 8" DEEP BLACK PRECOAT RETURNS
ILLUMINATION: WHITE INSEM SS LIGHT KPL LED 6500 OR APPROVED EQUAL ILLUMINATION WITH REMOTE POWER SUPPLIES

PLEASE REFER TO THE NUMBERED ITEMS BELOW FOR INCORPORATED INSTALL INSTRUCTIONS. LISTED INSTRUCTIONS TO BE FOUND WITH ACTUAL SIGNAGE (NUMBERED ITEMS CORRESPOND TO SECTION DETAIL)	
ITEM #	DESCRIPTION
1	CHANNEL LETTERS
2	DISCONNECT SWITCH
3	THREADED NIPPLE AND COUPLING (FLEX CONNECTOR)
4	CLASS 2 LOW VOLTAGE WIRING (NO CONDUIT REQUIRED)
5	POWER SUPPLY
6	FLEX (FLEXIBLE CONDUIT) / LIQUID TIGHT CONNECTIONS

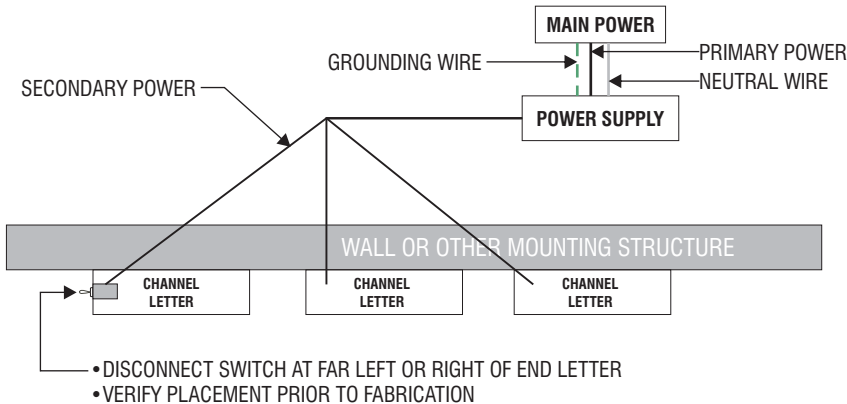
Note to All Contractors

120 Sign Voltage

This sign is intended to be installed in accordance with the requirements of Article 600 of the National Electrical Code and/or other applicable local codes. This includes proper grounding and bonding of the sign. All wall penetrations to be sealed with UL Listed silicone sealant.

2

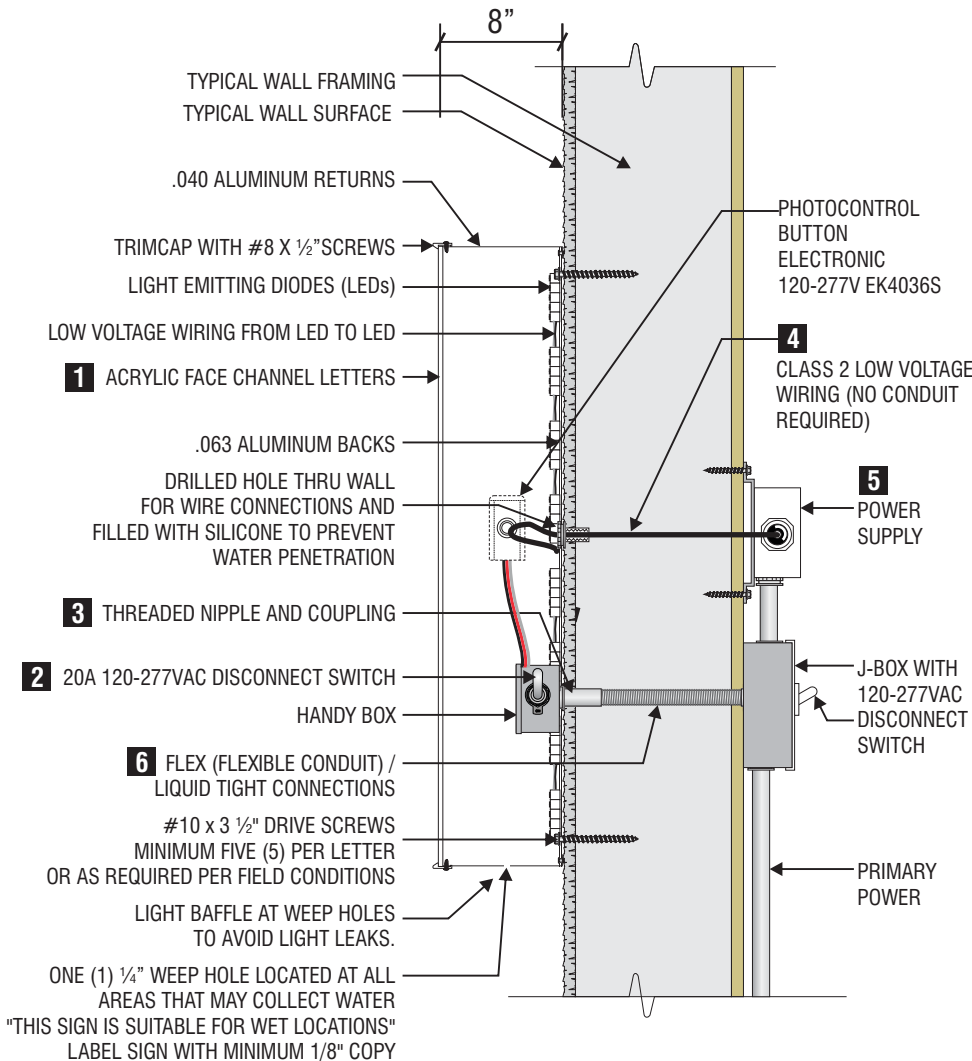
LETTER LAYOUT - PLAN VIEW
NOT TO SCALE



3

SIDE VIEW

SCALE: 1/2" = 1'-0"



1

TYPICAL SECTION DETAIL
SCALE: NTS



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R10 2/24/21 mdm (1.0) changes for city
R11 3/4/21 mdm (.5) square feet



ELECTRIC SIGN

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3/8" RIV-NUTS FOR
ALL THREAD BOLTS

B

SIGN ELEVATION / FACE LIT CHANNEL LETTERS

25.1 SQ FT

QUANTITY: ONE (1) SET REQUIRED

SCALE: 1/2" = 1'-0"

SPECIFICATIONS:

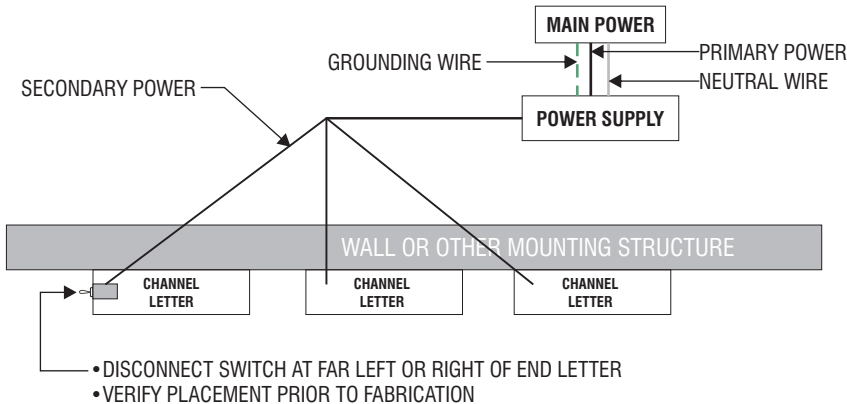
LETTERS: INTERNALLY ILLUMINATED CHANNEL LETTERS
FACES: WHITE TRANSLUCENT ACRYLIC WITH OVERLAY OF 3M DUAL FILM #3635-222 - PERFORATED BLACK VINYL
TRIMCAPS: 1" BLACK TRIMCAPS
RETURNS: 8" DEEP BLACK PRECOAT RETURNS
ILLUMINATION: WHITE INSEM SS LIGHT KPL LED 6500 OR APPROVED EQUAL ILLUMINATION WITH REMOTE POWER SUPPLIES

PLEASE REFER TO THE NUMBERED ITEMS BELOW FOR INCORPORATED INSTALL INSTRUCTIONS. LISTED INSTRUCTIONS TO BE FOUND WITH ACTUAL SIGNAGE (NUMBERED ITEMS CORRESPOND TO SECTION DETAIL)	
ITEM #	DESCRIPTION
1	CHANNEL LETTERS
2	DISCONNECT SWITCH
3	THREADED NIPPLE AND COUPLING (FLEX CONNECTOR)
4	CLASS 2 LOW VOLTAGE WIRING (NO CONDUIT REQUIRED)
5	POWER SUPPLY
6	FLEX (FLEXIBLE CONDUIT) / LIQUID TIGHT CONNECTIONS

Note to All Contractors

120 Sign Voltage

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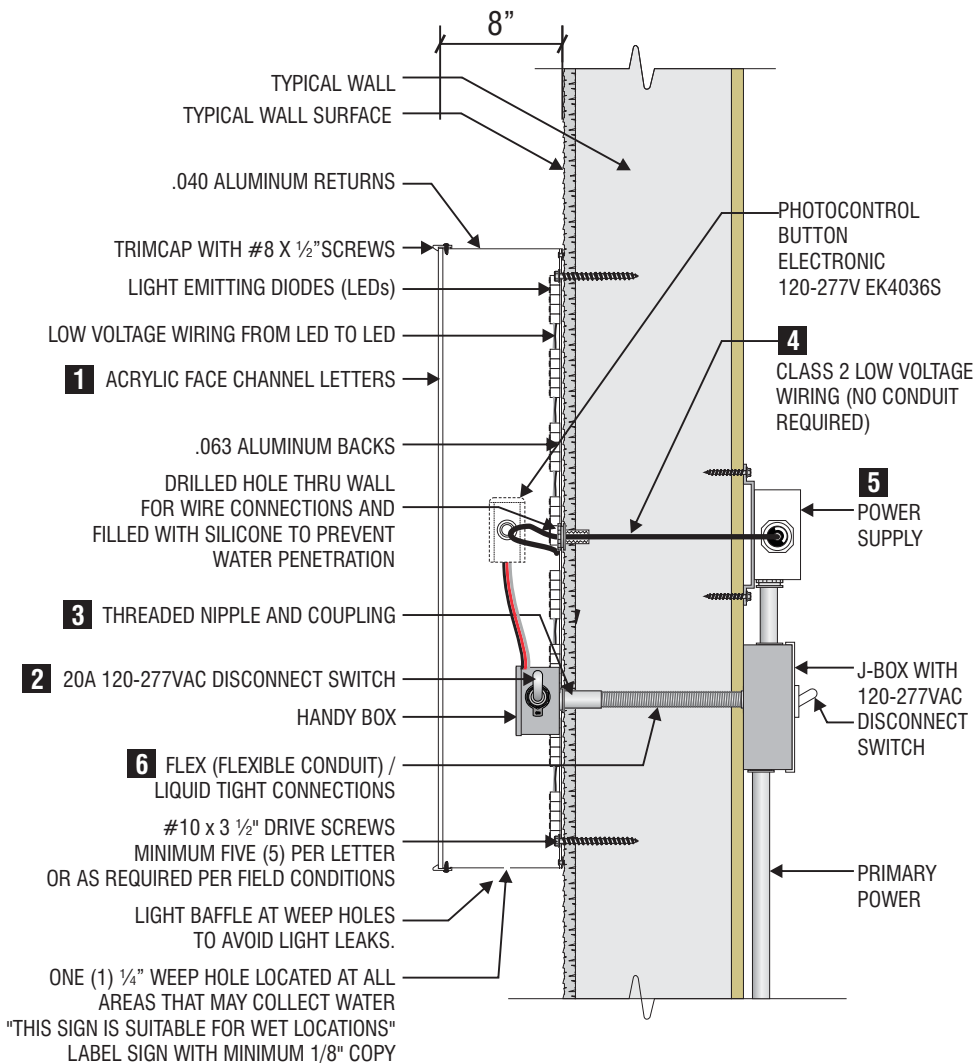
2

LETTER LAYOUT - PLAN VIEW
NOT TO SCALE

3

SIDE VIEW

SCALE: 1/2" = 1'-0"



1

TYPICAL SECTION DETAIL
SCALE: NTS



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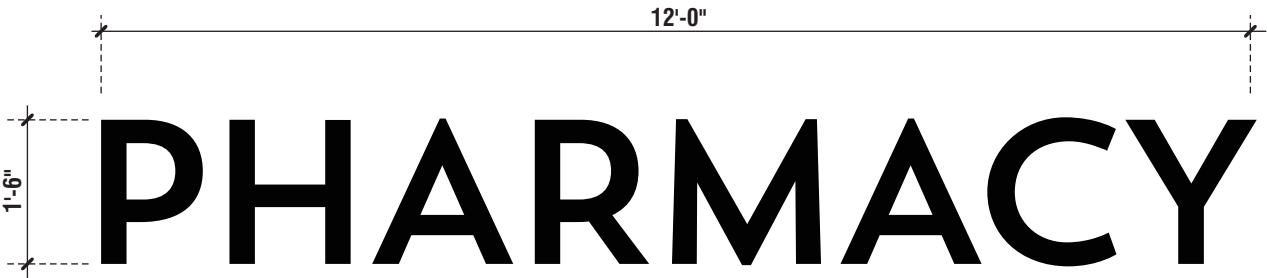
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1/4" RIV-NUTS FOR
ALL THREAD BOLTS

SWY-20PERF-PHAR

C CUSTOM FABRICATED ALUMINUM FACE LIT CHANNEL LETTERS 18.0 SQ. FT.
QUANTITY: ONE (1) REQUIRED SCALE: 1/2" = 1'-0"

SPECIFICATIONS:

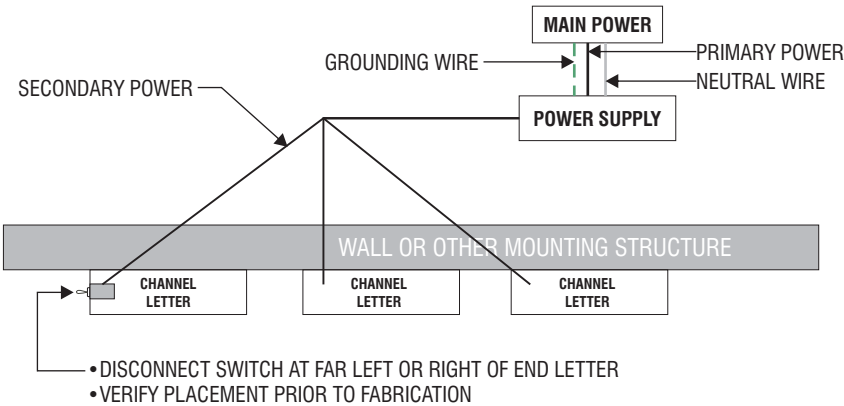
LETTERS: INTERNALLY ILLUMINATED CHANNEL LETTERS
FACES: WHITE TRANSLUCENT ACRYLIC WITH OVERLAY OF
3M DUAL FILM #3635-222 - PERFORATED BLACK VINYL
TRIMCAPS: 1" BLACK TRIMCAPS
RETURNS: 5" DEEP BLACK PRECOAT RETURNS
ILLUMINATION: WHITE INSEM SS LIGHT KPL LED 6500 OR APPROVED EQUAL
ILLUMINATION WITH REMOTE POWER SUPPLIES

PLEASE REFER TO THE NUMBERED ITEMS BELOW FOR INCORPORATED INSTALL INSTRUCTIONS. LISTED INSTRUCTIONS TO BE FOUND WITH ACTUAL SIGNAGE (NUMBERED ITEMS CORRESPOND TO SECTION DETAIL)	
ITEM #	DESCRIPTION
1	CHANNEL LETTERS
2	DISCONNECT SWITCH
3	THREADED NIPPLE AND COUPLING (FLEX CONNECTOR)
4	CLASS 2 LOW VOLTAGE WIRING (NO CONDUIT REQUIRED)
5	POWER SUPPLY
6	FLEX (FLEXIBLE CONDUIT) / LIQUID TIGHT CONNECTIONS

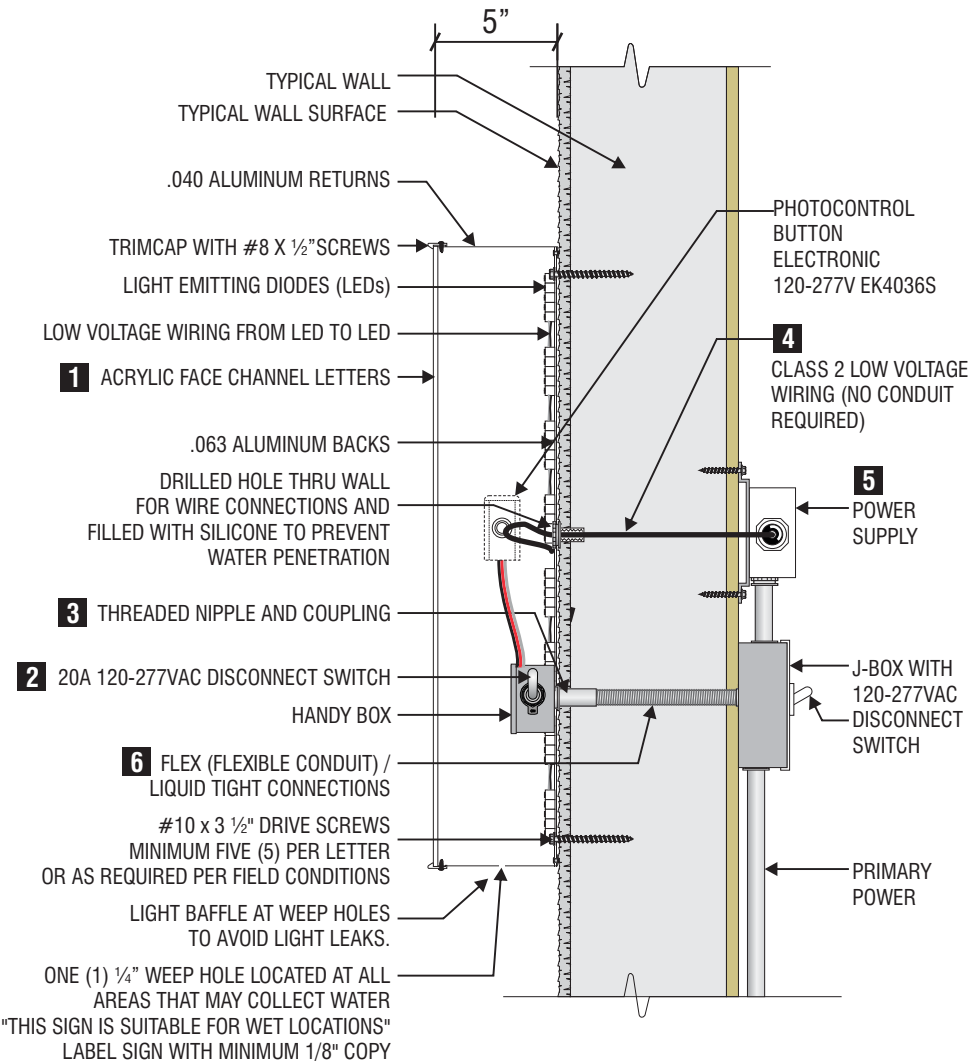
Note to All Contractors

120 Sign Voltage

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2 LETTER LAYOUT - PLAN VIEW
NOT TO SCALE



1 TYPICAL SECTION DETAIL
SCALE: NTS



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R11 3/4/21 **mdm** (.5) square feet



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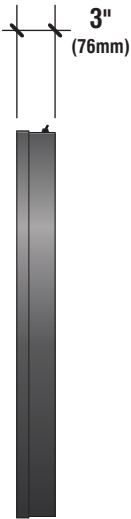
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COLOR SPECIFICATIONS	
	#7328 WHITE ACRYLIC
	3M # 3630-76 HOLLY GREEN VINYL
	PRE-PAINTED BLACK RETURN (GLOSSY) BLACK TRIMCAP



E	SELF-CONTAINED SINGLE FACE ILLUMINATED WALL MOUNT LOGO DISK	12.5 SQ FT
	QUANTITY: ONE (1) REQUIRED	SCALE: ¾" = 1'-0"

Design ID #13163

SPECIFICATIONS:

Logo: 48" diameter Single faced internally illuminated wall mounted logo disk.
Cabinet: 3" (76mm) deep, fabricated aluminum returns and back.
Returns: Painted cabinet black polyurethane.
Faces: 3/16" (5mm) #7328 white with 3M #3630-76 Holly Green vinyl overlay.
Siren to show thru White.
Trimcap: 1" black trimcap edge
Illumination: Disk illuminated with White Lumifecient LED's installed to back of disk.
Power with self-contained Lumifecient power supply contained with a U.L. enclosure covered in white vinyl film. Fasten to wall with required fasteners.

NOTES: Field verify all measurements and conditions prior to any fabrication.

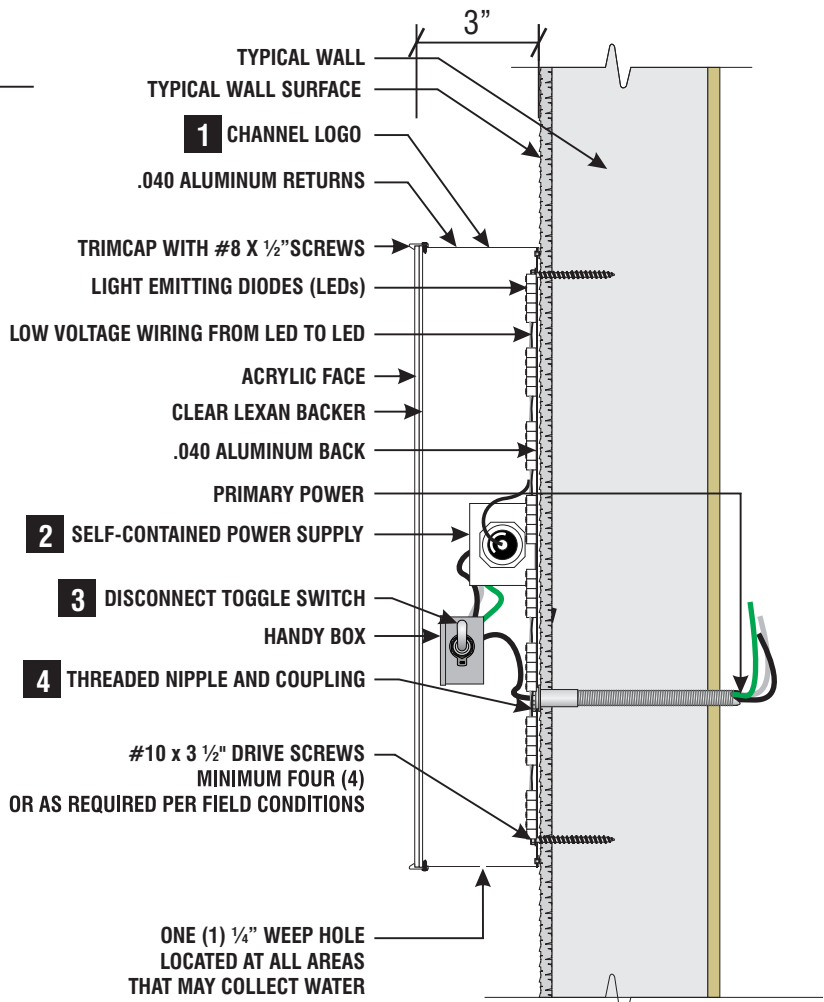
Sign must be approved by the National Electrical Code, Underwriters Laboratory, CUL, and all applicable local codes. Disconnect switch in primary to be within sight of sign (sign includes power supply enclosure) REF: NEC 110-3[B] 600-2, 600-4. Primary electrical source 1/2"(13mm) conduit minimum) REF: NEC 600-6, 600-21(provided by installer).



Disk 48in S/F Illuminated wall mount EVOLVED			
Size	Sq.Ft.	Sq.M.	Volts
48" (1219mm)	12.56	1.17	120

PLEASE REFER TO THE NUMBERED ITEMS BELOW FOR INCORPORATED INSTALL INSTRUCTIONS. LISTED INSTRUCTIONS TO BE FOUND WITH ACTUAL SIGNAGE (NUMBERED ITEMS CORRESPOND TO SECTION DETAIL)	
ITEM NUMBER	DESCRIPTION
1	CHANNEL LOGO
2	SELF CONTAINED POWER SUPPLY
3	DISCONNECT SWITCH
4	THREADED NIPPLE AND COUPLING (FLEX CONNECTOR)

1 SIDE VIEW
SCALE: ¾" = 1'-0"



3 TYPICAL SECTION DETAIL
SCALE: NTS



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R10 2/24/21 **mdm** (1.0) changes for city
R11 3/4/21 **mdm** (.5) square feet



ELECTRIC SIGN

This sign is intended to be installed in accordance with the requirements of Article 600 of the National Electrical Code and/or other applicable local codes. This includes proper grounding and bonding of the sign.

• CONSTRUCTION APPROVALS •

Acct. Mgr: Date:

Design: Date:

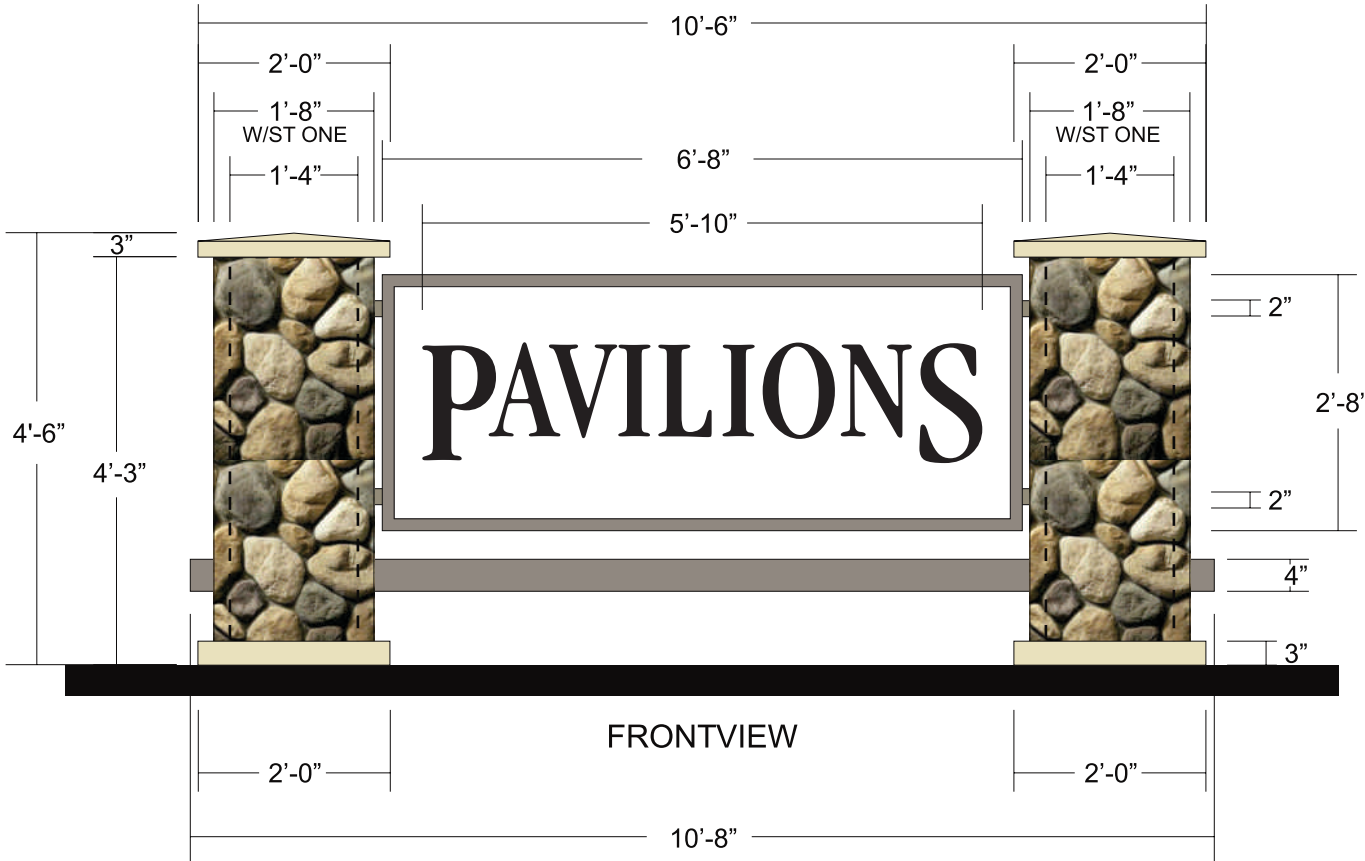
Mfg/QC: Date:

Page: 11 of 11

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EXISTING CONDITIONS

F

SIGN ELEVATION / DOUBLE FACED ILLUMINATED MONUMENT SIGN

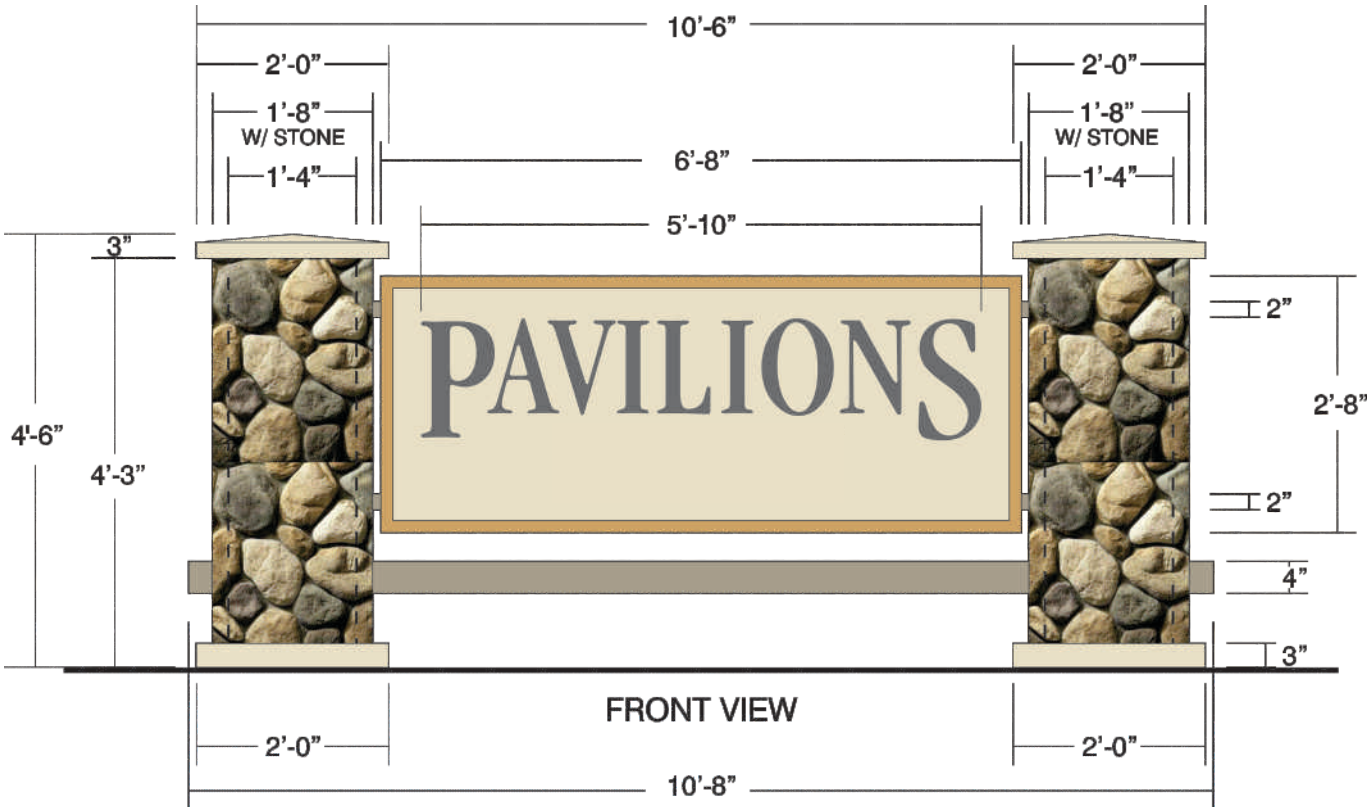
17.7 SQ FT

QUANTITY: ONE (1) SIGN REQUIRED

SCALE: 1/2" = 1'-0"

SPECIFICATIONS:

CABINET:	EXISTING TEX-COTE ALUMINUM DOUBLE FACE CABINET TO BE PAINTED GREY TO MATCH BUILDING
FACE:	ROUTED OUT ALUMINUM PAINTED WHITE (SEMI-GLOSS FINISH) WITH 3/4" PUSH THRU WHITE ACRYLIC COPY WITH BLACK PERFORATED VINYL OVERLAY
ILLUMINATION:	EXISTING TO REMAIN AS IS
CORNICE:	EXISTING TO REMAIN AS IS
BASE:	EXISTING TO REMAIN AS IS
COLUMN COVER:	EXISTING TO REMAIN AS IS
HORIZONTAL BEAM:	EXISTING ALUMINUM SQUARE TUBE TO BE PAINTED GREY TO MATCH BUILDING
NOTE:	FIELD VERIFY ALL MEASUREMENTS AND CONDITIONS PRIOR TO ANY FABRICATION



FRONT VIEW

1 EXISTING CONDITIONS
2-22



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Facsimile: 562.435.1867
www.superiorsigns.com

Project:
Pavilions #2228

Address:
**1213 N. Fair Oaks Ave
South Pasadena, CA 91030**

Account Manager:
Tim Pitts

Scale: T.A.:
AS NOTED 3.50

Design No.:
19-02-5421-12

Reg. No.:

Revision History:
R1 2/13/19 bk (1.5) revise per comments
R2 2/18/19 bk (.25) revise per comments
R3 2/19/19 bk add filler
R4 7/27/19 bk update elevation
R5 7/27/19 bk revise per comments
R6 10/1/20 bk add monument & DUG
R7 10/2/20 mdm (1.5) changes for city
R8 1/11/21 mdm (1.0) changes for city
R9 2/11/21 mdm (1.0) changes for city
R10 2/24/21 mdm (1.0) changes for city
R11 3/4/21 mdm (.5) square feet
R12 3/5/21 mdm (.5) reduce sign A



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• CONSTRUCTION APPROVALS •
Acct. Mgr: Date:

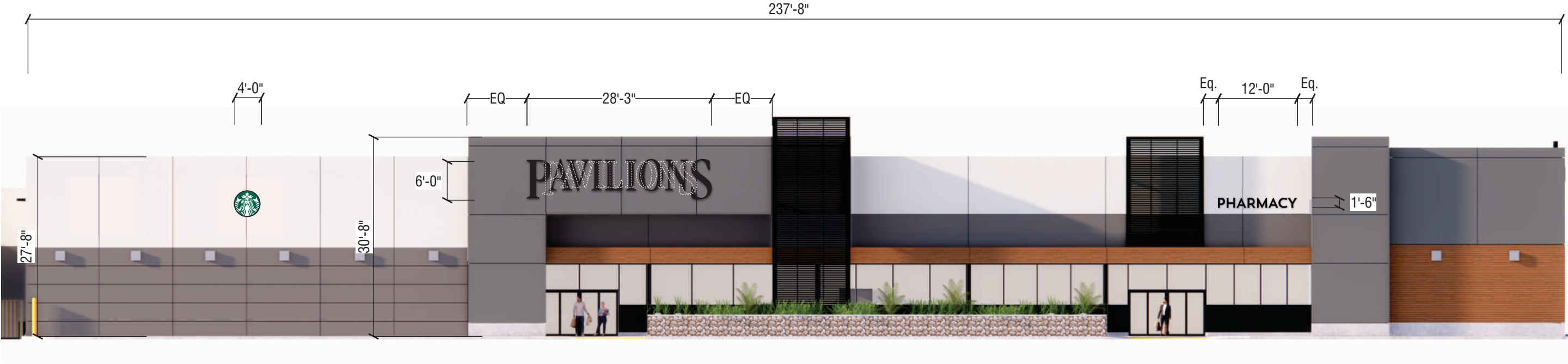
Design: Date:

Mfg/QC: Date:

Page: 12 of 12

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1 FRONT - EAST ELEVATION
SCALE: 1/16" = 1'-0"



6'-0" PAVILIONS CHANNEL LETTERS = 145.6 SQ FT



5'-0" PAVILIONS CHANNEL LETTERS = 119.2 SQ FT

ATTACHMENT 3

Staff Report from March 4, 2021

Design Review Board Meeting

[\(Click Here\)](#)

ITEM NO. 2

ATTACHMENT 4
Reduced Sign Plan

PAVILIONS



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AS NOTED	3.50

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• CONSTRUCTION APPROVALS •

Acct. Mgr:	Date:
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Design:	Date:
---------	-------

Mfg/QC:	Date:
---------	-------

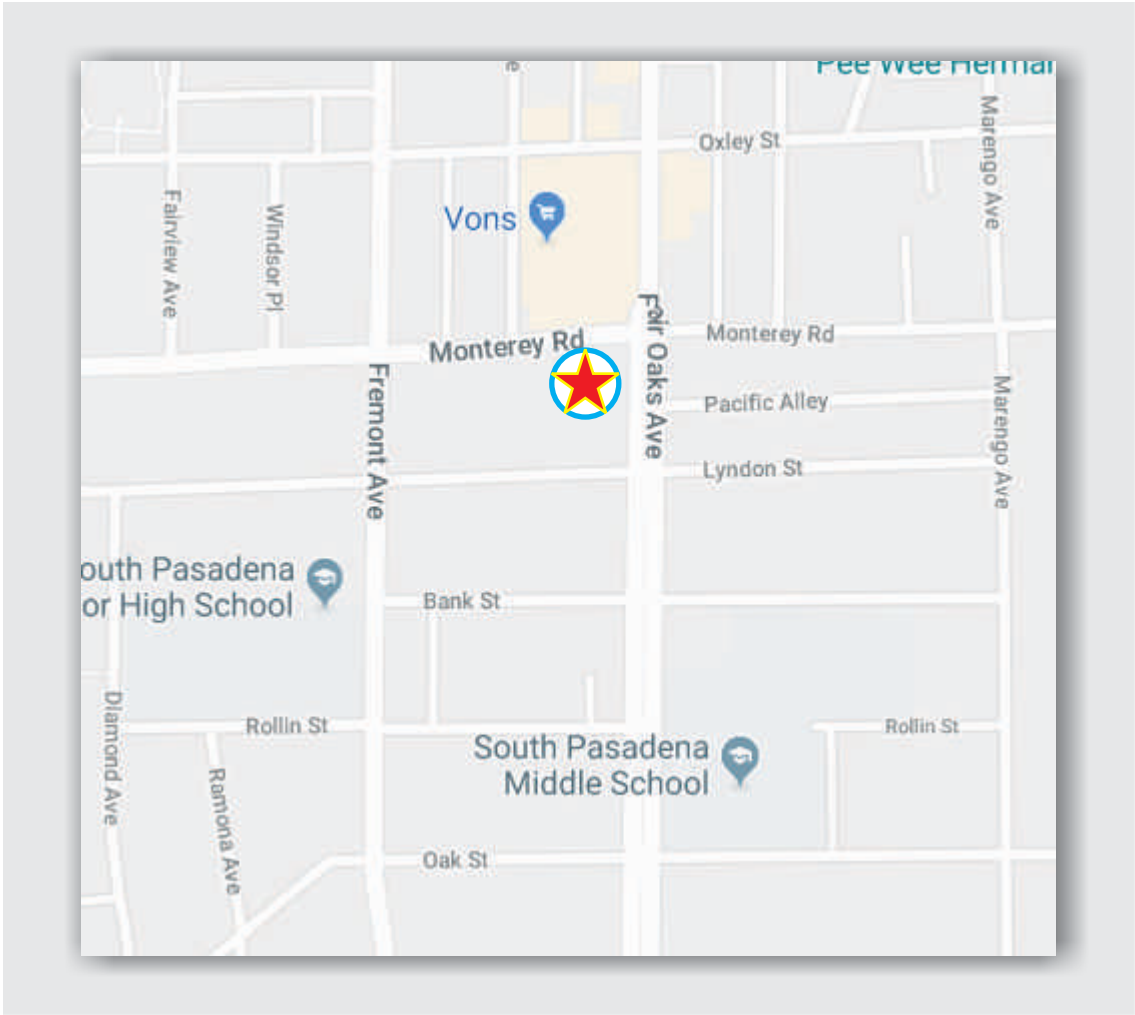
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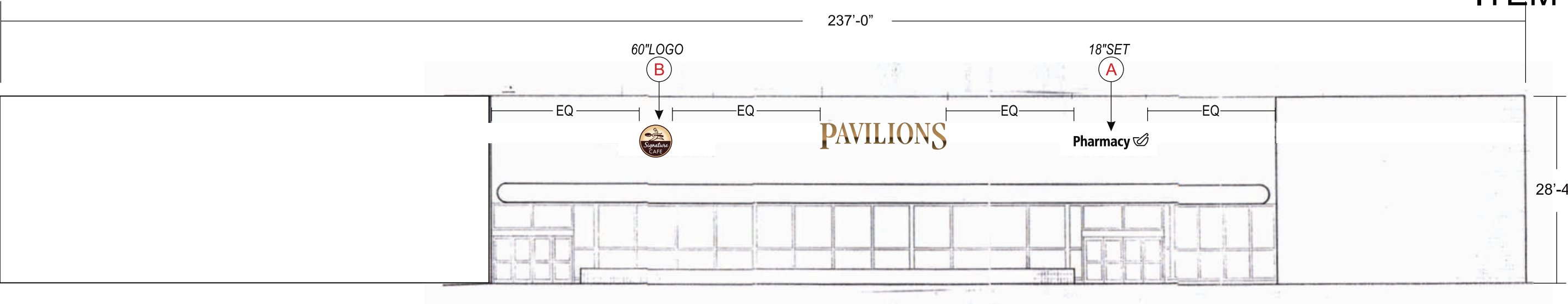
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1213 N. FAIR OAKS AVE, SOUTH PASADENA CA, 91030



1 VICINITY MAP
SCALE: NTS





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PHOTO VIEW OF EXISTING BUILDING SIGNS ON FRONT/ EAST ELEVATION



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1 FRONT - EAST ELEVATION
SCALE: 1/16" = 1'-0"

ALLOWED SQUARE FEET = 200.0 SQ FT

PROPOSED SQUARE FEET = 149.7 SQ FT

Commercial and industrial [zoning district](#) sign standards. [Signs](#) in the commercial and industrial [zoning districts](#) established by Section 36.200.020 (Zoning Map and [Zoning Districts](#)) shall comply with the requirements in Table 3-9.

NOTE: New signs square footages determined by Table 3-9 of the Sign Standards for Commercial Zones

TABLE 3-9. SIGN STANDARDS FOR COMMERCIAL ZONES			
Allowed Sign Types	Maximum Sign Height	Maximum Number of Signs Allowed per Parcel	Maximum Sign Area Allowed per Parcel
Outdoor Signs Visible from a Street			
Awning	Below roof (1)	Single tenant site: 3 of any combination of allowed sign types per primary building frontage. 1 of any allowed sign type per secondary frontage. Multi-Tenant Site: For a site or building with 2 or more tenants, 1 of any allowed sign type per business frontage.	Interior and/or corner parcel: 1 sf for each linear ft of primary building frontage (for buildings with multiple frontages, or a corner frontage such as within a shopping center, 1 sf for each linear foot of primary frontage plus 0.5 sf for each foot of one additional secondary frontage (i.e., rear, alley, or driveway frontage)). The total area of all signs on a single building frontage shall not exceed the total linear feet in that frontage. No more than 200 sf is allowed for each use.
Freestanding	3 ft; 6 ft with DRB approval (see Section 36.320.080.C)		
Projecting, Wall	Below roof (1)		
Suspended	Below eave/canopy; with lowest point of sign at least 8 ft above grade.		
Temporary/ Portable	See Sections 36.320.080.E and 36.320.080.H.		

PROPOSED NEW SIGN SQUARE FOOTAGES:

PER CODE: 1 SQUARE FOOT PER LINEAR FOOT OF BUILDING FRONTAGE = 237.00 SQ. FT.
NO MORE THAN 200 S.F. ON A SINGLE BUILDING FRONTAGE

FRONT - EAST ELEVATION

PAVILIONS CHANNEL LETTERS = 119.2 SQ FT
PHARMACY CHANNEL LETTERS = 18.0 SQ FT
STARBUCKS LOGO = 12.5 SQ FT

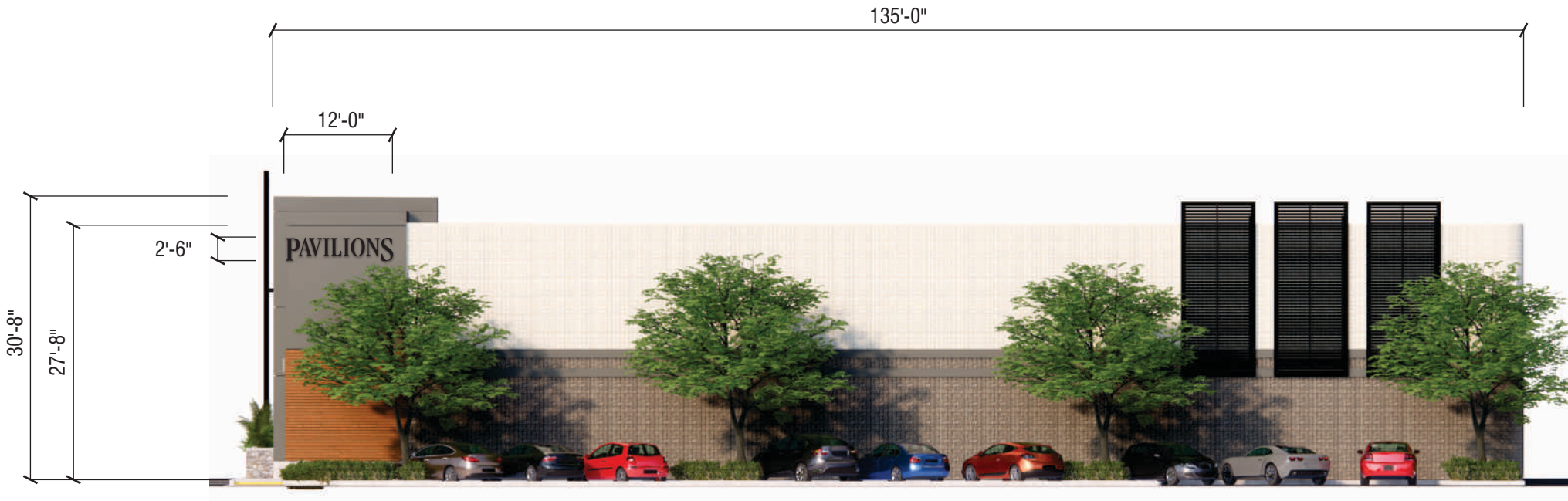
SIDE - NORTH ELEVATION

PAVILIONS CHANNEL LETTERS = 30.0 SQ FT

TOTAL SQUARE FEET FOR NEW SIGNS = 179.7 SQ FT

MONUMENT SIGN = 17.7 SQ FT

TOTAL PARCEL SQUARE FEET = 197.4 SQ FT



1 SIDE - NORTH ELEVATION
SCALE: 1/16" = 1'-0"

ALLOWED SQUARE FEET = 67.5 SQ FT
PROPOSED SQUARE FEET = 25.10 SQ FT



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Scale: T.A.:
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Design No.:
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Reg. No.:

Revision History:
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R11 3/4/21 mdm (.5) square feet
R12 3/5/21 mdm (.5) reduce sign A



ELECTRIC SIGN

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Design: Date:

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3 EAST ELEVATION
SCALE: NTS



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3/8" RIV-NUTS FOR ALL THREAD BOLTS

A

SIGN ELEVATION / FACE LIT CHANNEL LETTERS

QUANTITY: ONE (1) SET REQUIRED

119.2 SQ FT

SCALE: 1/4" = 1'-0"

SPECIFICATIONS:

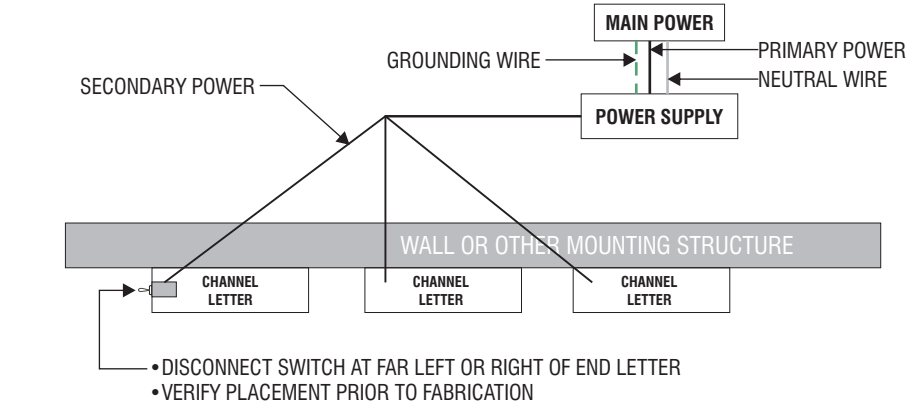
LETTERS: INTERNALLY ILLUMINATED CHANNEL LETTERS
FACES: WHITE TRANSLUCENT ACRYLIC WITH OVERLAY OF 3M DUAL FILM #3635-222 - PERFORATED BLACK VINYL
TRIMCAPS: 1" BLACK TRIMCAPS
RETURNS: 8" DEEP BLACK PRECOAT RETURNS
ILLUMINATION: WHITE INSEM SS LIGHT KPL LED 6500 OR APPROVED EQUAL ILLUMINATION WITH REMOTE POWER SUPPLIES

PLEASE REFER TO THE NUMBERED ITEMS BELOW FOR INCORPORATED INSTALL INSTRUCTIONS. LISTED INSTRUCTIONS TO BE FOUND WITH ACTUAL SIGNAGE (NUMBERED ITEMS CORRESPOND TO SECTION DETAIL)	
ITEM #	DESCRIPTION
1	CHANNEL LETTERS
2	DISCONNECT SWITCH
3	THREADED NIPPLE AND COUPLING (FLEX CONNECTOR)
4	CLASS 2 LOW VOLTAGE WIRING (NO CONDUIT REQUIRED)
5	POWER SUPPLY
6	FLEX (FLEXIBLE CONDUIT) / LIQUID TIGHT CONNECTIONS

Note to All Contractors

120 Sign Voltage

This sign is intended to be installed in accordance with the requirements of Article 600 of the National Electrical Code and/or other applicable local codes. This includes proper grounding and bonding of the sign. All wall penetrations to be sealed with UL Listed silicone sealant.



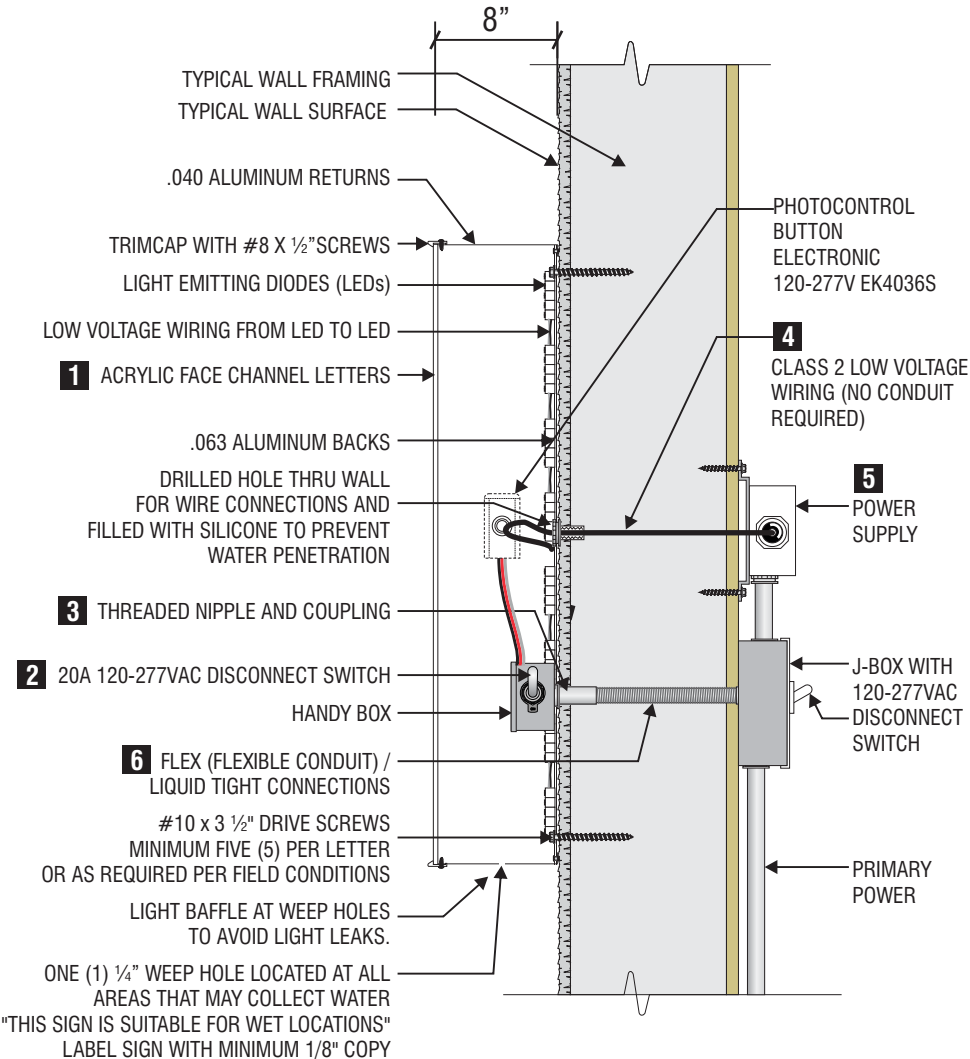
2

LETTER LAYOUT - PLAN VIEW
NOT TO SCALE

3

SIDE VIEW

SCALE: 1/2" = 1'-0"



1

TYPICAL SECTION DETAIL
SCALE: NTS



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3/8" RIV-NUTS FOR
ALL THREAD BOLTS



B SIGN ELEVATION / FACE LIT CHANNEL LETTERS 30.0 SQ FT
QUANTITY: ONE (1) SET REQUIRED SCALE: 1/2" = 1'-0"

SPECIFICATIONS:

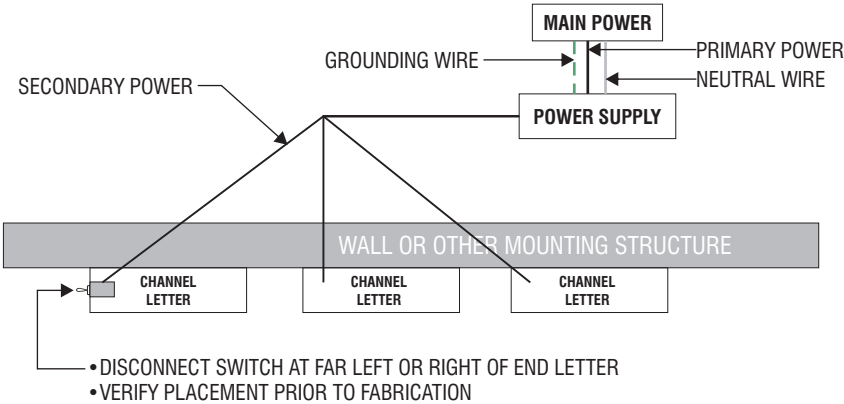
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FACES: WHITE TRANSLUCENT ACRYLIC WITH OVERLAY OF 3M DUAL FILM #3635-222 - PERFORATED BLACK VINYL
TRIMCAPS: 1" BLACK TRIMCAPS
RETURNS: 8" DEEP BLACK PRECOAT RETURNS
ILLUMINATION: WHITE INSEM SS LIGHT KPL LED 6500 OR APPROVED EQUAL ILLUMINATION WITH REMOTE POWER SUPPLIES

PLEASE REFER TO THE NUMBERED ITEMS BELOW FOR INCORPORATED INSTALL INSTRUCTIONS. LISTED INSTRUCTIONS TO BE FOUND WITH ACTUAL SIGNAGE (NUMBERED ITEMS CORRESPOND TO SECTION DETAIL)	
ITEM #	DESCRIPTION
1	CHANNEL LETTERS
2	DISCONNECT SWITCH
3	THREADED NIPPLE AND COUPLING (FLEX CONNECTOR)
4	CLASS 2 LOW VOLTAGE WIRING (NO CONDUIT REQUIRED)
5	POWER SUPPLY
6	FLEX (FLEXIBLE CONDUIT) / LIQUID TIGHT CONNECTIONS

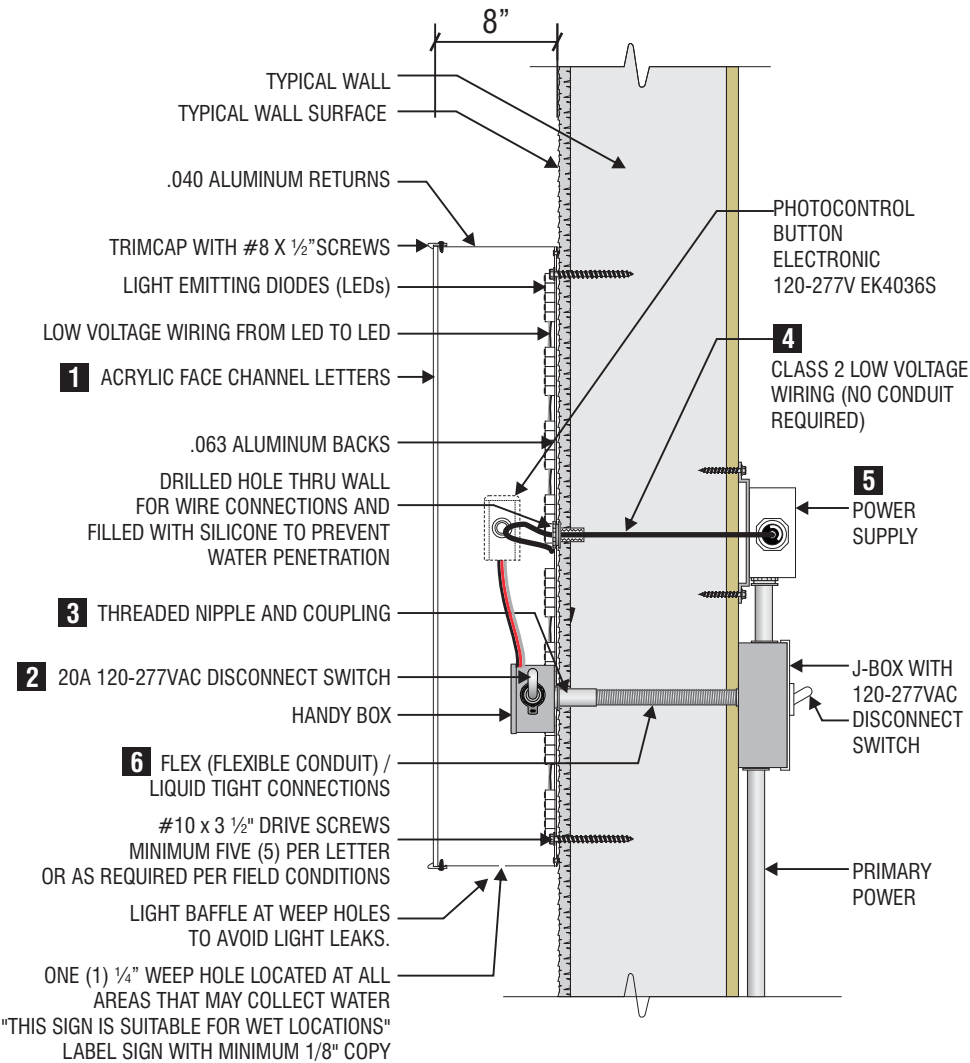
Note to All Contractors

120 Sign Voltage

This sign is intended to be installed in accordance with the requirements of Article 600 of the National Electrical Code and/or other applicable local codes. This includes proper grounding and bonding of the sign. All wall penetrations to be sealed with UL Listed silicone sealant.



2 LETTER LAYOUT - PLAN VIEW
NOT TO SCALE



1 TYPICAL SECTION DETAIL
SCALE: NTS



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electrical advertising

1700 West Anaheim Street
Long Beach, California
90813-1195
Phone: 562.495.3808
Facsimile: 562.435.1867

www.superiorsigns.com

Project:
Pavilions #2228

Address:
1213 N. Fair Oaks Ave
South Pasadena, CA 91030

Account Manager:
Tim Pitts

Scale: T.A.:
AS NOTED 3.50

Design No.:
19-02-5421-12

Reg. No.:

Revision History:
R1 2/13/19 bk (1.5) revise per comments
R2 2/18/19 bk (.25) revise per comments
R3 2/19/19 bk add filler
R4 7/27/19 bk update elevation
R5 7/27/19 bk revise per comments
R6 10/1/20 bk add monument & DUG
R7 10/2/20 mdm (1.5) changes for city
R8 1/11/21 mdm (1.0) changes for city
R9 2/11/21 mdm (1.0) changes for city
R10 2/24/21 mdm (1.0) changes for city
R11 3/4/21 mdm (.5) square feet
R12 3/5/21 mdm (.5) reduce sign A



ELECTRIC SIGN

This sign is intended to be installed in accordance with the requirements of Article 600 of the National Electrical Code and/or other applicable local codes. This includes proper grounding and bonding of the sign.

CONSTRUCTION APPROVALS
Acct. Mgr: Date:

Design: Date:

Mfg/QC: Date:

Page: 9 of 11

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1/4" RIV-NUTS FOR
ALL THREAD BOLTS

SWY-20PERF-PHAR

C CUSTOM FABRICATED ALUMINUM FACE LIT CHANNEL LETTERS 18.0 SQ. FT.
QUANTITY: ONE (1) REQUIRED SCALE: 1/2" = 1'-0"

SPECIFICATIONS:

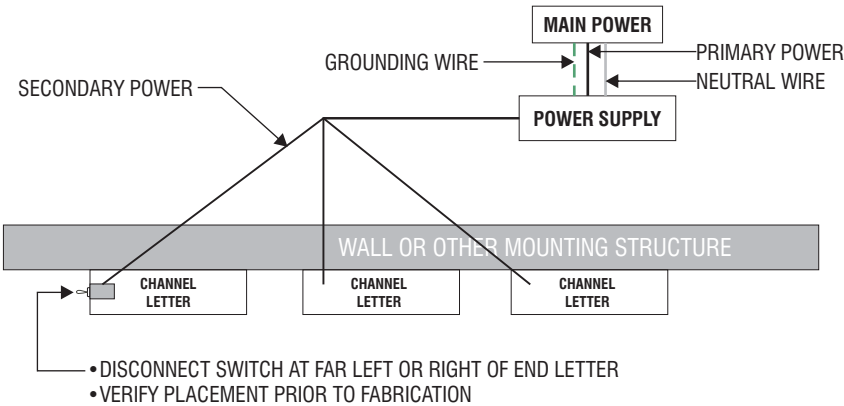
LETTERS: INTERNALLY ILLUMINATED CHANNEL LETTERS
FACES: WHITE TRANSLUCENT ACRYLIC WITH OVERLAY OF
3M DUAL FILM #3635-222 - PERFORATED BLACK VINYL
TRIMCAPS: 1" BLACK TRIMCAPS
RETURNS: 5" DEEP BLACK PRECOAT RETURNS
ILLUMINATION: WHITE INSEM SS LIGHT KPL LED 6500 OR APPROVED EQUAL
ILLUMINATION WITH REMOTE POWER SUPPLIES

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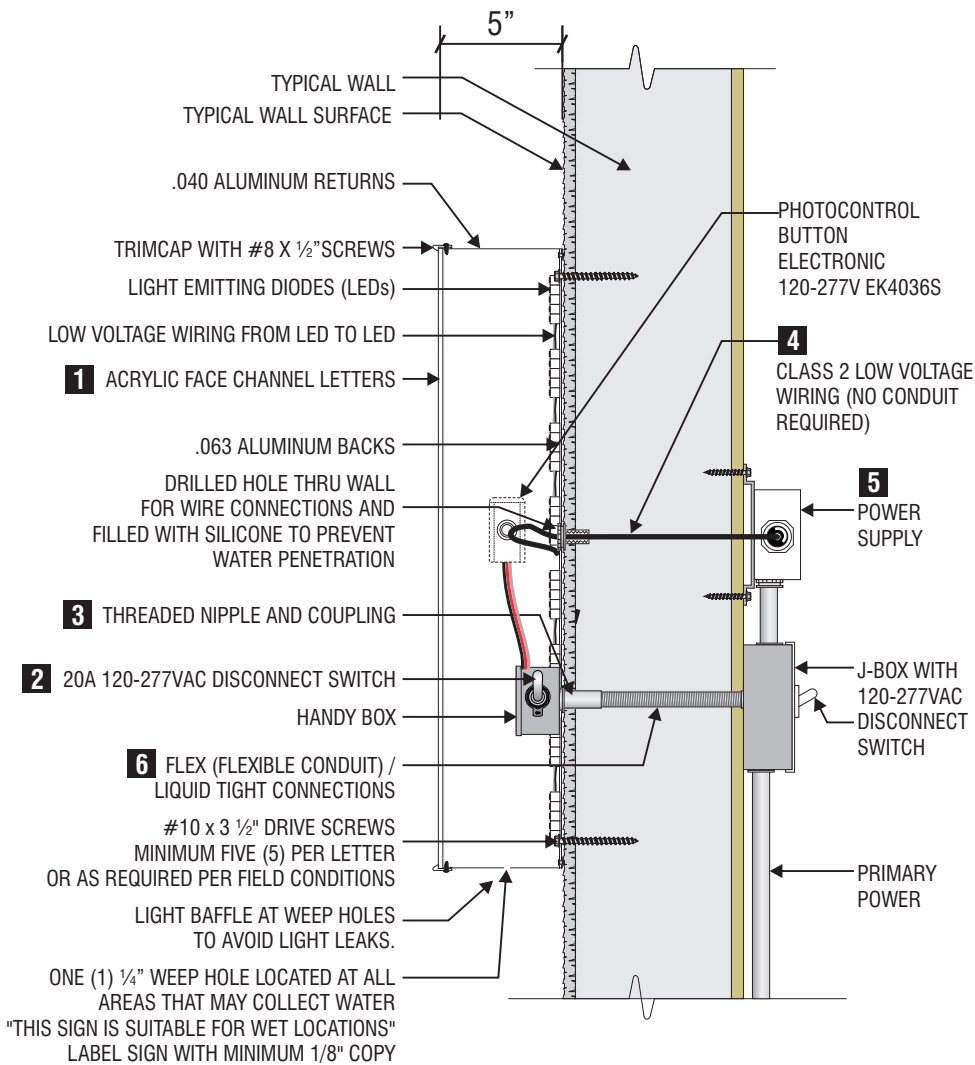
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2 LETTER LAYOUT - PLAN VIEW
NOT TO SCALE



1 TYPICAL SECTION DETAIL
SCALE: NTS



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R11 3/4/21 **mdm** (.5) square feet
R12 3/5/21 **mdm** (.5) reduce sign A



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• CONSTRUCTION APPROVALS •
Acct. Mgr: Date:

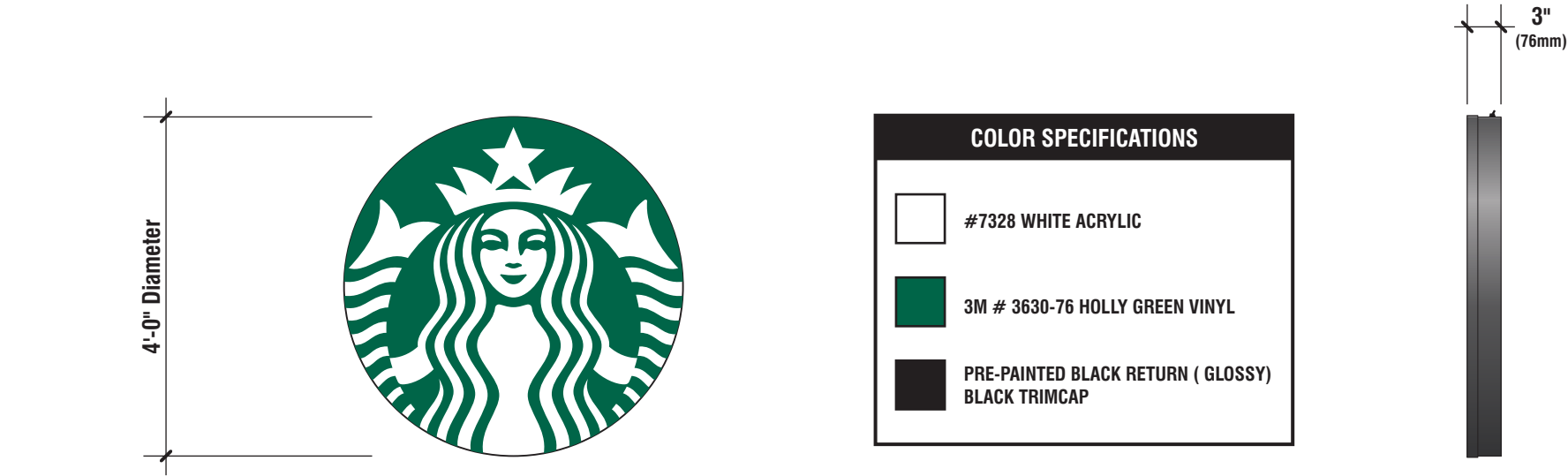
Design: Date:

Mfg/QC: Date:

Page: 10 of 11

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E SELF-CONTAINED SINGLE FACE ILLUMINATED WALL MOUNT LOGO DISK 12.5 SQ FT
QUANTITY: ONE (1) REQUIRED SCALE: ¾" = 1'-0"

Design ID #13163

SPECIFICATIONS:

- Logo: 48" diameter Single faced internally illuminated wall mounted logo disk.
Cabinet: 3" (76mm) deep, fabricated aluminum returns and back.
Returns: Painted cabinet black polyurethane.
Faces: 3/16" (5mm) #7328 white with 3M #3630-76 Holly Green vinyl overlay.
Siren to show thru White.
Trimcap: 1" black trimcap edge
Illumination: Disk illuminated with White Lumifecient LED's installed to back of disk.
Power with self-contained Lumifecient power supply contained with a U.L. enclosure covered in white vinyl film. Fasten to wall with required fasteners.

NOTES: Field verify all measurements and conditions prior to any fabrication.

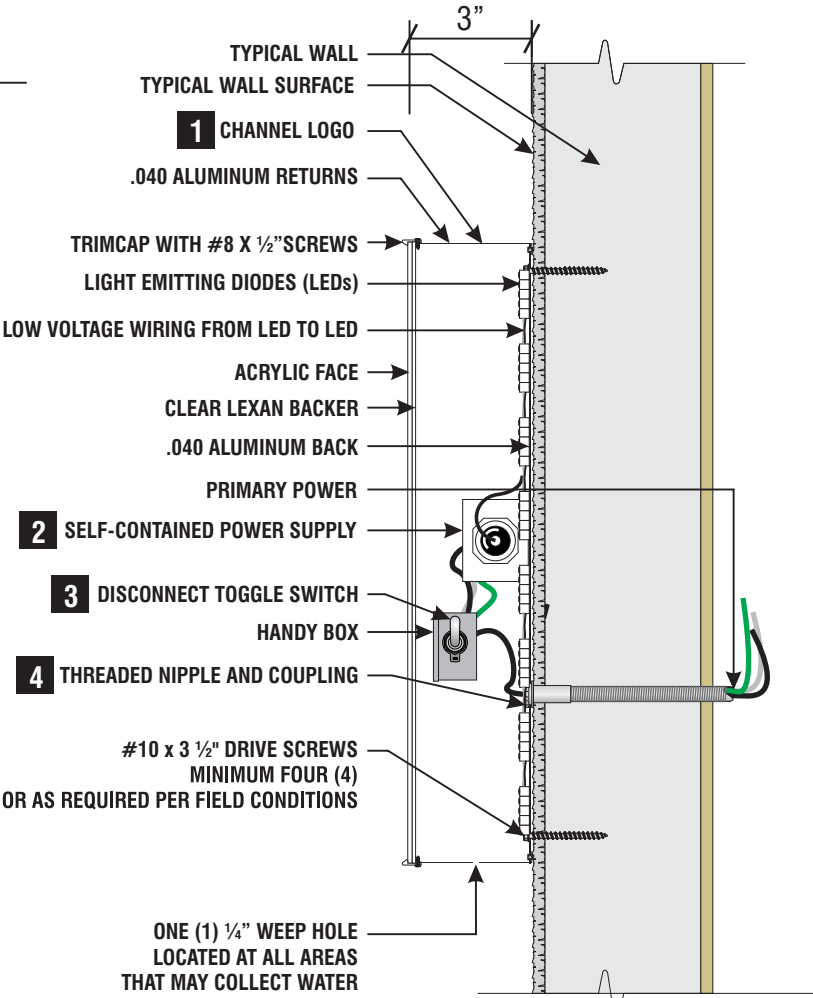
Sign must be approved by the National Electrical Code, Underwriters Laboratory, CUL, and all applicable local codes. Disconnect switch in primary to be within sight of sign (sign includes power supply enclosure) REF: NEC 110-3[B] 600-2, 600-4. Primary electrical source 1/2"(13mm) conduit minimum) REF: NEC 600-6, 600-21(provided by installer).



Disk 48in S/F Illuminated wall mount EVOLVED			
Size	Sq.Ft.	Sq.M.	Volts
48" (1219mm)	12.56	1.17	120

1 SIDE VIEW
SCALE: ¾" = 1'-0"

PLEASE REFER TO THE NUMBERED ITEMS BELOW FOR INCORPORATED INSTALL INSTRUCTIONS. LISTED INSTRUCTIONS TO BE FOUND WITH ACTUAL SIGNAGE (NUMBERED ITEMS CORRESPOND TO SECTION DETAIL)	
ITEM NUMBER	DESCRIPTION
1	CHANNEL LOGO
2	SELF CONTAINED POWER SUPPLY
3	DISCONNECT SWITCH
4	THREADED NIPPLE AND COUPLING (FLEX CONNECTOR)



3 TYPICAL SECTION DETAIL
SCALE: NTS



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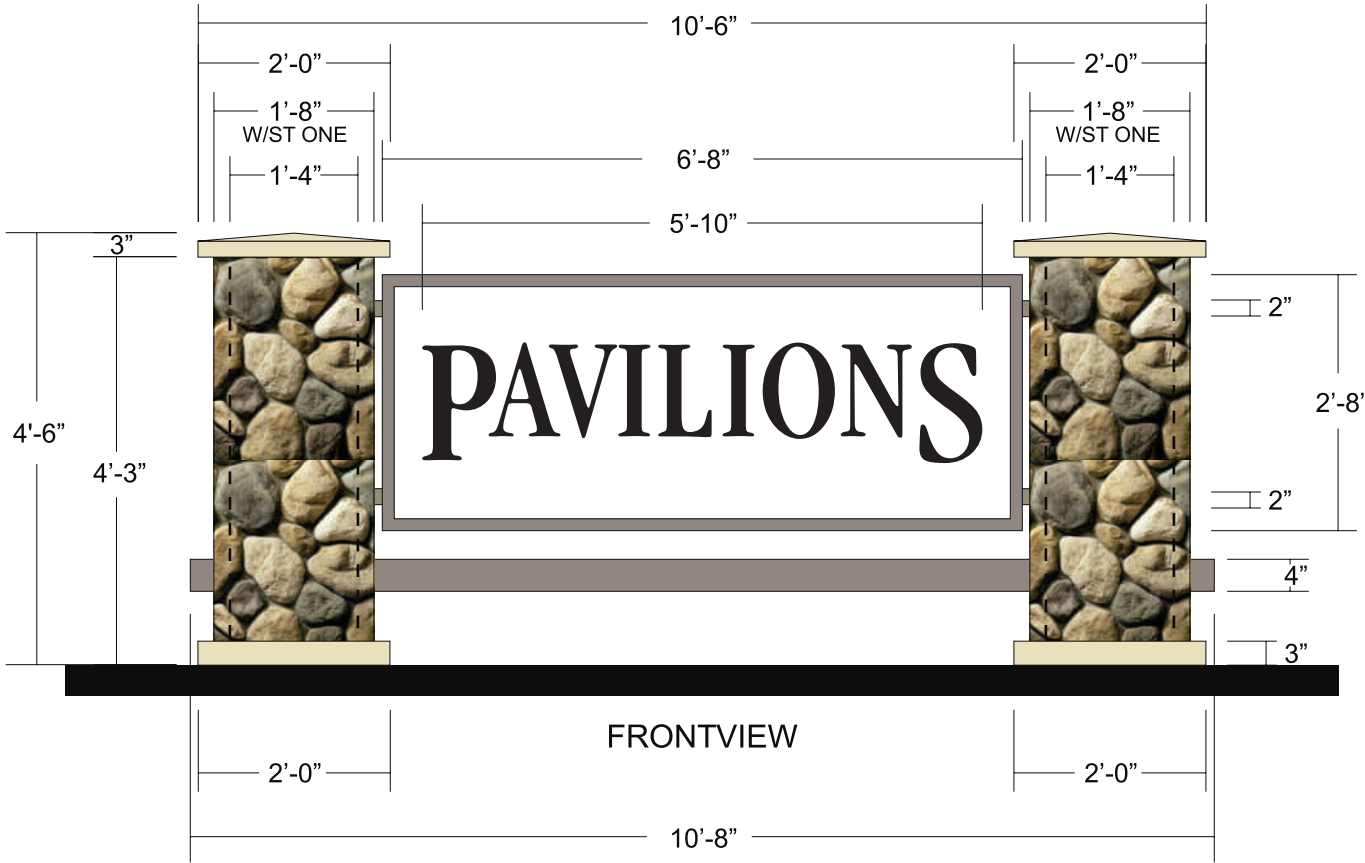
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Mfg/QC: Date:

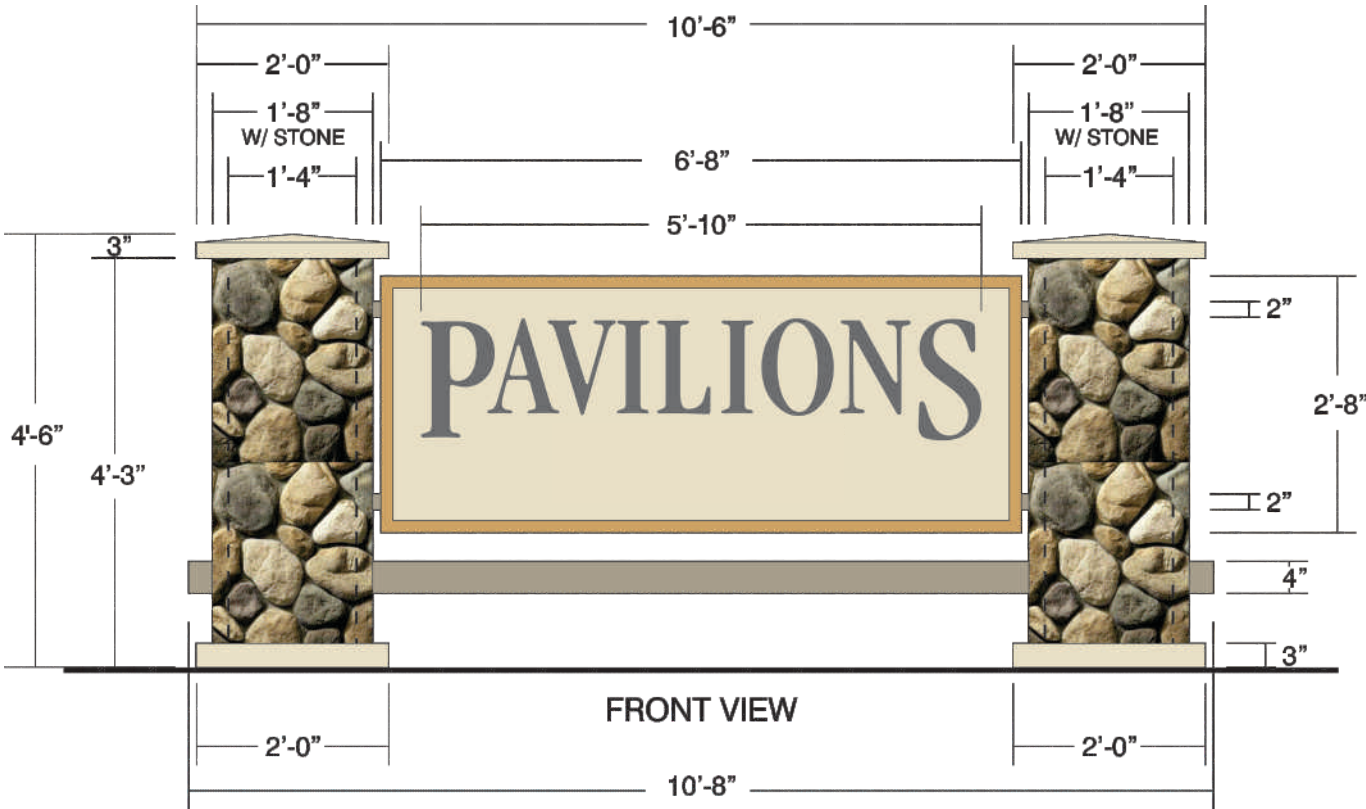
Page: 11 of 11

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EXISTING CONDITIONS



FRONT VIEW

1 EXISTING CONDITIONS
2-36 SIGNMENTS

F

SIGN ELEVATION / DOUBLE FACED ILLUMINATED MONUMENT SIGN

17.7 SQ FT

QUANTITY: ONE (1) SIGN REQUIRED

SCALE: 1/2" = 1'-0"

SPECIFICATIONS:

CABINET: EXISTING TEX-COTE ALUMINUM DOUBLE FACE CABINET TO BE PAINTED GREY TO MATCH BUILDING
FACE: ROUTED OUT ALUMINUM PAINTED WHITE (SEMI-GLOSS FINISH) WITH 3/4" PUSH THRU WHITE ACRYLIC COPY WITH BLACK PERFORATED VINYL OVERLAY
ILLUMINATION: EXISTING TO REMAIN AS IS
CORNICE: EXISTING TO REMAIN AS IS
BASE: EXISTING TO REMAIN AS IS
COLUMN COVER: EXISTING TO REMAIN AS IS
HORIZONTAL BEAM: EXISTING ALUMINUM SQUARE TUBE TO BE PAINTED GREY TO MATCH BUILDING
NOTE: FIELD VERIFY ALL MEASUREMENTS AND CONDITIONS PRIOR TO ANY FABRICATION



Design Review Board Agenda Report

ITEM NO. 3

DATE: April 1, 2021

TO: Chair and Members of the Design Review Board

FROM: Kanika Kith, Planning Manager

PREPARED BY: Lisa Krause, Contract Planner
Malinda Lim, Associate Planner

SUBJECT: Project No. 2379-NID/DRX/TRP – Notice of Intent to Demolish a single-story home and detached garage, Design Review for a new 3,467 sq. ft. two-story residence with an attached garage, and Tree Removal Permit for three non-native trees, located at 822 Orange Grove Place (APN: 5315-019-043).

Recommendation

Staff recommends that the Design Review Board form a subcommittee to work with the applicant to refine the design and scale of the proposed residence.

Background

The existing one-story, single-family home was built in 1922 and is not located in an eligible or designated historic district. An Historic Resources Evaluation (HRE) report was prepared in accordance with the City's Preservation Ordinance, 2.64(a)(4). On August 20, 2020, the Cultural Heritage Committee (CHC) recommended the City Council approve the Certificate of Appropriateness (CoA) to remove the subject property from the City's Inventory of Cultural Resources (Inventory).

Project Description

The proposed project consists of the following applications:

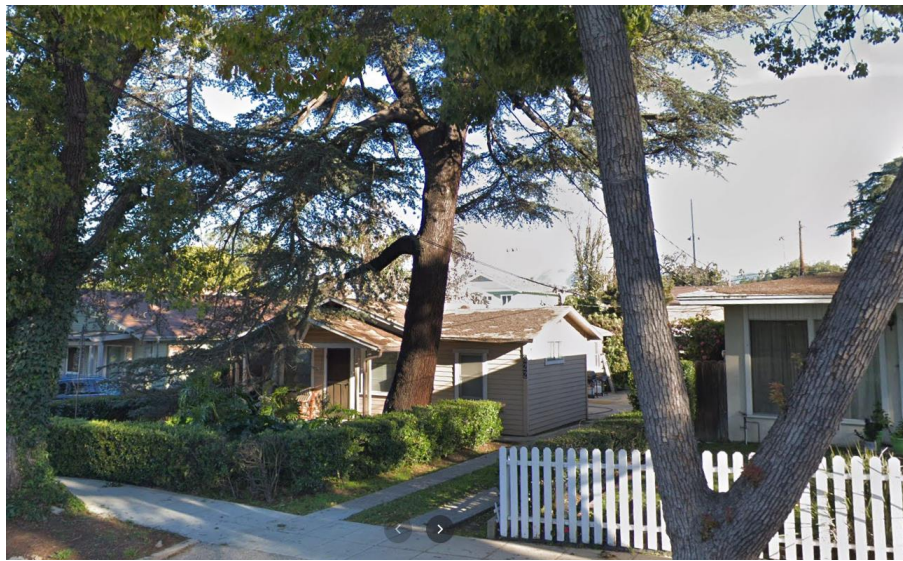
- **Notice of Intent to Demolish** the existing 1,154 square-foot single-family home and detached 1-car garage built in 1922;
- **Design Review Permit** to allow the construction of a new two-story 3,467 square-foot single-family residence with a 13 square-foot front porch, a 218 square foot balcony, and an attached 475 square feet garage on a 7,074 square foot lot; and
- **Tree Removal Permit** for the removal of three, non-native trees.

The project site is located on the north side of Orange Grove Place and is surrounded by duplexes and single-family homes. **Figure 1** below is an aerial view of the project site and **Figure 2** is a street view of the residence.

Figure 1: Aerial View of Project Site



Figure 2: Street View



PROJECT ANALYSIS

Notice of Intent to Demolish

The applicant is proposing to demolish the existing single-family home and detached garage that was built in 1922. According to the HRE report that was prepared for the site, the property does not meet the eligibility criteria for national, state, or local landmark criteria, either individually or as part of a historic district. Furthermore, the property is not considered a historical resource pursuant to CEQA. The CHC reviewed the HRE report and recommended removing the property from the Inventory; therefore, the Notice of Intent to Demolish permit does not need to go back to the CHC for consideration.

General Plan Consistency

The General Plan land use designation for the site is Medium Density Residential, which allows for the construction of detached single-family units at a density of 6 to 14 units per acre. The project is located on a 0.16-acre lot, which would allow a density of up to 2 units. This designation is intended to maintain the character of medium density neighborhoods and invites flexibility in site design and unit type. The designation allows the development of duplexes, triplexes, and fourplexes not exceeding two stories on this property. Since the proposed project involves the construction of a single-family residence it is consistent with the General Plan.

With a reduction in the scale and building form from the currently proposed design, and additional architectural details as discussed in the Design Review section below, the project would be considered consistent with the applicable General Plan goals and policies as identified below:

- Quality New Developments Goal 8: To harmonize physical change to preserve South Pasadena’s historic character, scale, and “small town atmosphere;” and
- Policy 8.1 (Require contextual, compatible and responsible design); and
- Neighborhood Protection Goal 10: To preserve the scale, architectural character, infrastructure and landscape assets of South Pasadena’s established residential neighborhoods); and
- Policy 10.1 (Prevent mansionization). Ensure that remodeling or infill development in established residential neighborhoods is harmonious in scale and building form with its context and that “mansionization” is both avoided and prevented.

Zoning Code Compliance

The zoning for the site is Residential Medium Density (RM), which applies to areas appropriate for a variety of housing types, such as single-family bungalow courts, duplexes, triplexes, or other attached or detached single-family dwellings. The allowable residential density ranges from 6.1 to 14 dwelling units per acre. The project site is 7,074 square feet and is a nonconforming parcel since it is less than the required 10,000 square feet in the RM Zone. This project is subject to Section 36.220.050 (Development of Small Nonconforming Residential Parcels) in addition to the applicable provisions of Section 36.220.040 (Residential Zoning District General Development Standards). Table 1 lists the project’s conformance with applicable development standards.

Table 1: RM Zone Parcel Standards

	Allowed/Required	Proposed
Front and Rear Setbacks	Front & Rear: 20 feet, or 15 feet in front for houses with a front porch A second story shall be set back an additional five feet from the front of the house 36.220.050 (B)(2)	Front: 30 feet Second-story: 7 feet Rear: 50 feet
Side Setbacks	Side: 10% of lot width, 4 feet, 7 inches minimum Second-story step back: 3 feet from first-floor	Side (east): 5 feet Second-Story: between 5 feet and 8 feet Side (west): 5 feet, 6 inches Second-Story: 8 feet, six inches
Building separation	10 feet between structures on the same site.	Single structure
Garage Setbacks	10 feet from the front of the main structure	10 feet
Off-Street Parking	2 covered spaces per unit	2 covered parking spaces
Maximum Height	35 feet	26 feet, 4 inches
Lot Coverage	50% (3,537 square feet)	33.4% (2,360 square feet)
Floor Area Ratio	0.50 (3,537 square feet)	49% (3,467 square feet)

In general, the proposed project meets most of the development standards in the Zoning Code, including but not limited to building height, lot coverage, floor area ratio (FAR), and first-floor level setbacks. However, it does not meet second-story setback standards and hardscaping standards. According to section 36.220.050(B)(2) of the Zoning Code, the second story is to be set back a minimum of three feet from the side of the house. For this property, the second-story setback is 7 feet, seven inches (4 feet, 7 inches for the first-floor setback, plus 3 feet for second story) from the property line. Portions of the east elevation second story (stairway) and the southwest corner wall do not meet this standard. However, this standard can be waived if the DRB determines that the architectural style requires a zero side second-story setback. Lastly, a reduction in front setback hardscaping is needed to assure that no more than 45 percent of the area (within 20-feet) will be pavement or other decorative hardscape material (SPMC 36.300.030.E.3.c).

Residential Design Review

The purpose of Design Review is to encourage high-quality design and construction in the City. The Residential Design Guidelines, Part IV for New Residential Buildings – Single-Family in Established Neighborhoods applies to this property. To approve the project, the Design Review Board must find that the project is consistent with City’s Residential Design Guidelines and must make the findings for

approval. These guidelines and findings require projects to be compatible within the neighborhood context and surrounding architectural characteristics so as not to adversely impact the character of the City. The purpose of the Residential Design Review process is to ensure that the proposed site layout and building design are suitable and compatible with the City's design standards and guidelines.

Neighborhood Compatibility

Section 36.220.050(A) is a development standard that requires the project's design to have exterior colors, forms, and materials that are consistent throughout and visually compatible with adjacent structures and the surrounding neighborhood. The size, mass, and scale of new dwellings shall also be visually compatible with adjacent structures and the surrounding neighborhood.

The character of the neighborhood on Orange Grove Place consists of both single- and multi-family residential buildings in various architectural styles and periods of development. **Figure 3** below depicts the proposed street view and the residential buildings directly adjacent to the project site. **Figure 4** shows the variety of house types (existing and proposed) on the street. While most residences on the street are single story, newer development (801 Orange Grove Place) and future developments (819, 830-832 Orange Grove Place) are two stories.

Figure 3: Proposed Street View



Scale

The scale of the proposed residence appears much greater than the adjoining properties. Although the proposed design incorporates a greater front setback, and the second story setbacks reduce the impact of the two-story structure and its massing, the west and east elevation's scale appears outsized in comparison to existing residence and similar adjoining houses (see **Figure 3**). The existing house measures just over 11-feet in height and is 1,154 square feet (see **Figure 4**), whereas the proposed residence will be 3,467 square-feet and 26-feet in height as allowed by the zoning regulations.

Figure 4: Existing Scale

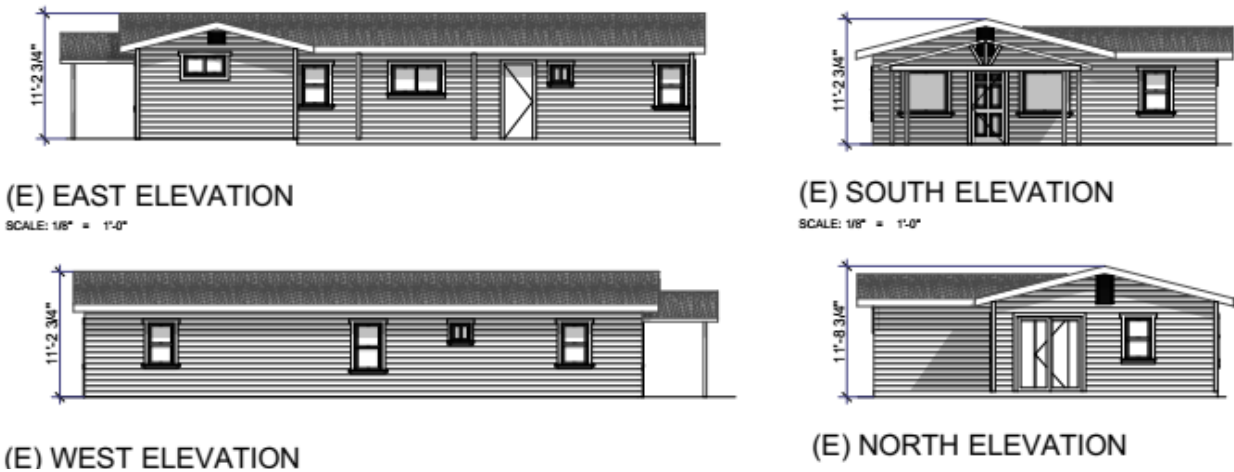


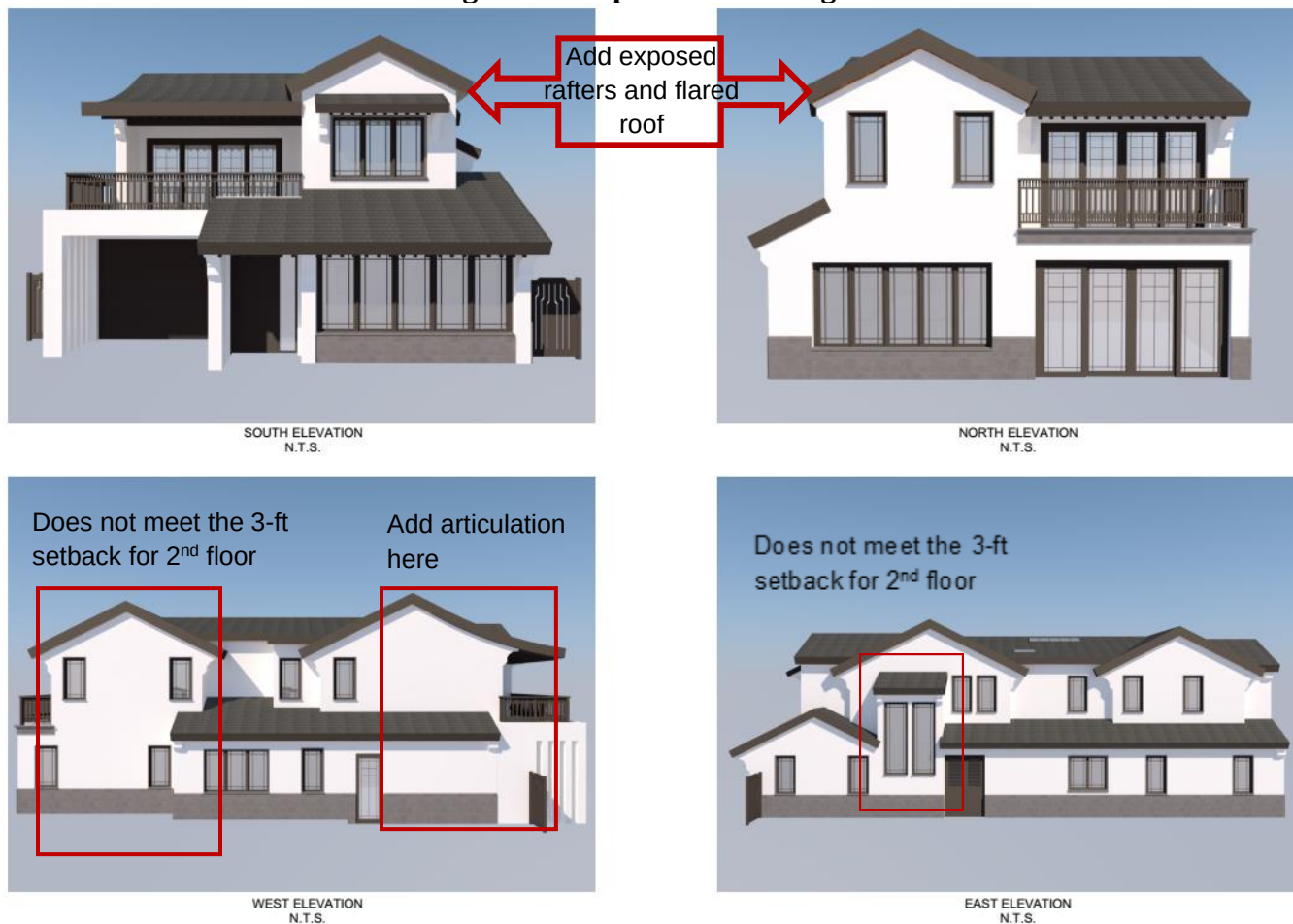
Figure 5: Nearby Residences



Contemporary East Asian Craftsman Style

The proposed residence consists of a new two-story, single-family residential structure in an eclectic style that predominantly incorporates contemporary east Asian craftsman elements (**Attachment 2**). Embellishments typically found in a traditional craftsman with Asian influences include peaked or flared rooflines, multiple roof planes, trellised porches, and transom windows. The proposed design incorporates a side-gabled roof with a flared second story roofline in the front. The walls are finished in smooth white stucco with gray granite tiles at the base and tall Prairie style casement windows throughout. Additional details include a wooden balcony and gate that is patterned to complement the style (see **Figure 6**).

As shown in **Figure 5** above, the architectural style in the neighborhood varies greatly. This is due in large part to the differing time periods of development, ranging from the 1920s era bungalows to the garage-forward homes built in the 1950s and 60s. The addition of a new Asian influenced craftsman style adds to the growing variation found in this neighborhood.

Figure 6: Proposed Renderings*Parking*

According to the Design Guidelines (p. 65), front entries to buildings are predominantly center set with a walkway leading from the sidewalk, driveways are usually located at the side yards with separate garages

set behind the residences in the rear yards, and garage doors are not predominant features along the street front except in hillside locations. Staff recommended that the project use the existing side driveway with parking toward the rear of the property. This design would reduce the volume of the proposed residence from street view. The applicant prefers the use of a front-facing garage. To reduce the visual impact of a two-car garage to the streetscape, the applicant proposes a parking platform within the garage to move a vehicle into the exit position from a one-car garage door, thereby minimizing the garage view (see **Attachment 3**, Sheet 5).

Landscaping

There are three (3) trees proposed for removal to accommodate the new development; one 48-inch diameter Camphor tree in the right-of-way (**Figure 7**) along with a 12-inch diameter Black Pine and a multi-trunk Australian Umbrella tree located toward the rear of the property (see **Figures 8 and 9**). If the applicant uses the existing driveway, the Camphor tree would not need to be removed. At the March 23, 2021, Natural Resources and Environmental Commission (NREC) hearing, the Commission reviewed the requested tree removals and made a recommendation to approve the removal of the two trees toward the rear of the property and requested the applicant to move the driveway to preserve the parkway tree. The existing large Deodar tree shown below in the front setback will remain.

Figure 7: Proposed Tree Removal in Right-of-Way

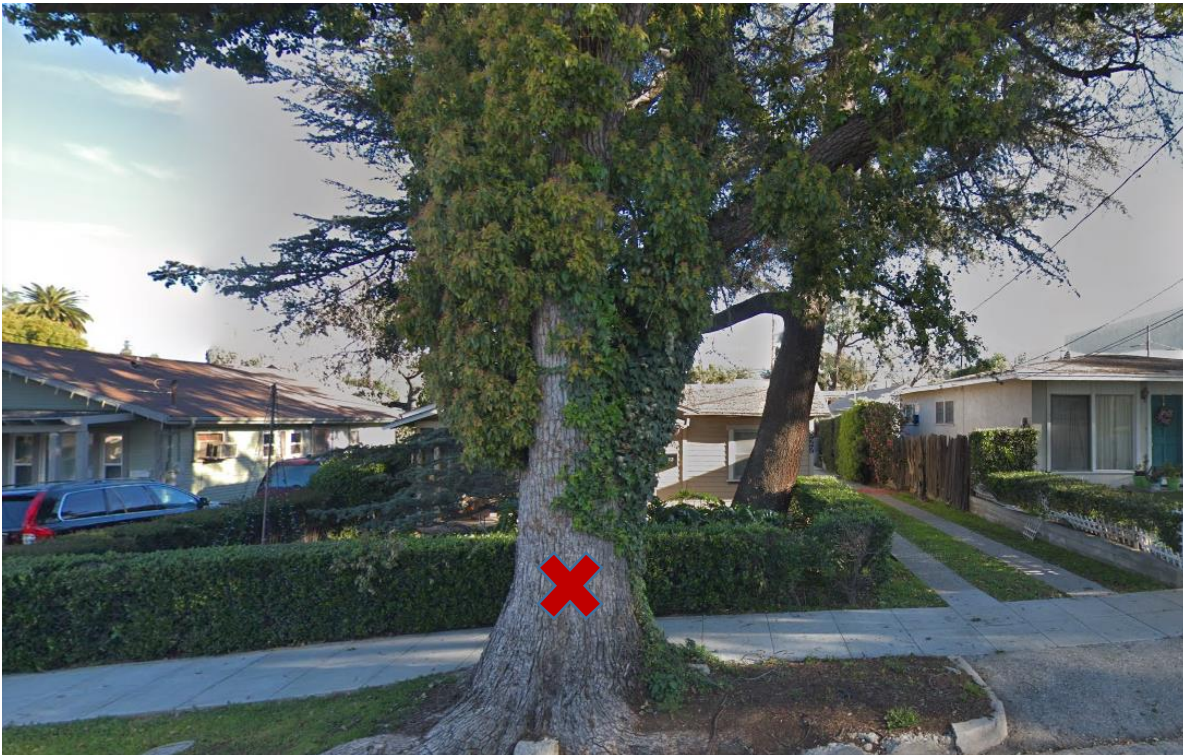


Figure 8: Existing Site Plan

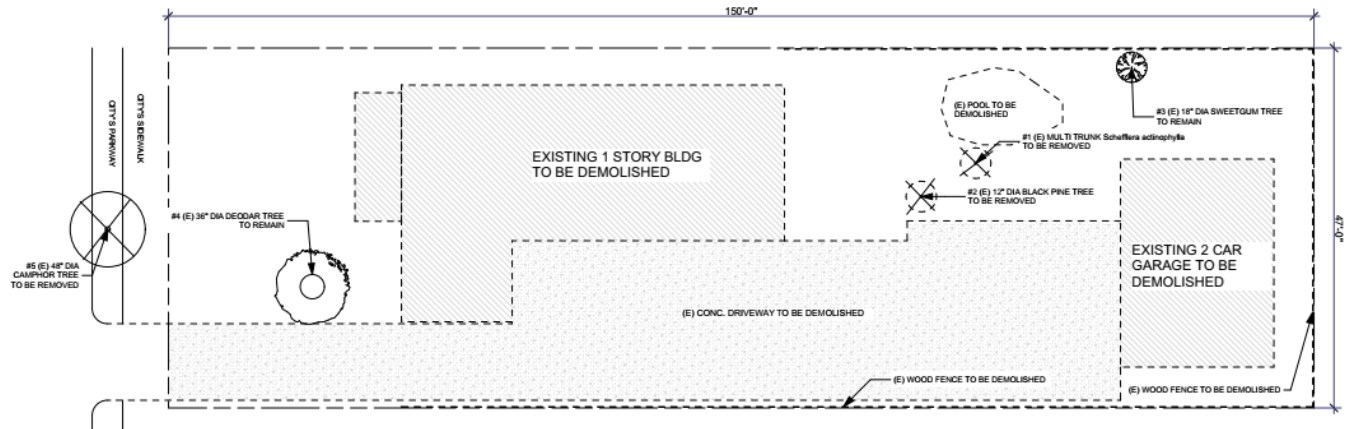
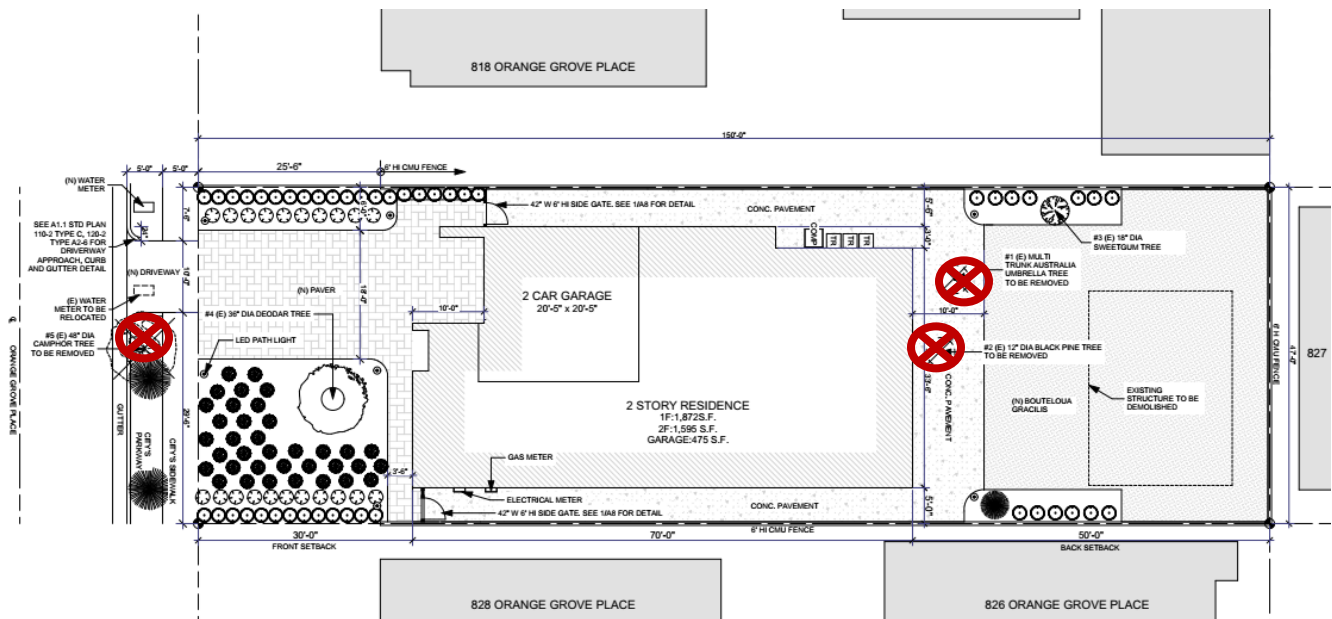


Figure 9: Proposed Site Plan with Tree Removals



Conclusion

According to the City's Design Guidelines, new design in the traditional styles should be comprehensive in massing, forms, details, and materials, with quality design work and craftsmanship (p.61). As such, staff recommends the applicant consider the following changes in addition to forming a DRB subcommittee to bring the project closer to compliance with the City's Design Guidelines and zoning standards:

ITEM NO. 3

DRB Agenda
April 1, 2021

822 Orange Grove Place
Project No. 2379-NID/DRX/TRP

- Modify the front elevation so that the front entry is more prominent than the second floor and reduce the appearance of the second floor above the front entrance



- Reduce appearance of the second floor from the sides (east/west elevation).
- Add additional flared gable roofline on the front elevation (south).
- Provide additional exposed rafter tails on the north and south elevations.
- Further articulate the front half of the west elevation.
- Reduce total hardscaping to 45% in front setback area.
- Incorporate a complementary traditional-style entry door.
- Relocate the driveway to preserve the parkway tree.

Fiscal Impact

The fees associated with processing the application is covered by the applicant.

Environmental Analysis

In accordance with the California Environmental Quality Act (CEQA), the project qualifies for a Categorical Exemption under Section 15301, Class 1 Existing Facilities and Section 15303, Class 3, New Construction or Conversion of Small Structures. Class 1 exemption includes demolition and removal of individual small structures such as a single-family residence. Class 3 includes construction of one-single family residence, or a second dwelling in a residential zone. In urbanized areas, up to three single family residences may be constructed or converted under this exemption. The proposed project involves the demolition of a single-family residence and construction of a new single-family residence in an established residential neighborhood; therefore, the project is categorically exempt.

Public Notification of Agenda Item

The public was made aware that this item was to be considered this evening by virtue of its inclusion in the publicly noticed agenda and posting of the same agenda and reports on the City's website. A notice

ITEM NO. 3

DRB Agenda
April 1, 2021

822 Orange Grove Place
Project No. 2379-NID/DRX/TRP

was published in the *South Pasadena Review* on March 19, 2021, and said notice was mailed to property owners within a 300-foot radius of the project site on March 22, 2021.

Attachments

1. Project Narrative
2. HRE Report - August 20, 2020
3. Development Plans and Material Board

ITEM NO. 3

ATTACHMENT 1
Project Narrative

Project Narrative for 822 Orange Grove Place

This is a 2 story, 4 bedrooms, 4.5-bathroom, 3467 SF new custom home that was inspired by the east Asian architectural style with a modern interpretation. This project is in the RM-zone neighborhood with diverse architecture styles like craftsman, modern and mission style. The elements we incorporated in this project include row windows which can be found in craftsman style houses; white smooth stucco wall and dark gray roof tiles which can be found in traditional southern Chinese gardens and exposed decorated roof rafters, a concave roof and wainscot which can be found in all east Asian architecture like Japan, China and Korea.

ATTACHMENT 2

HRE Report – August 20, 2020

[\(Click Here\)](#)

ATTACHMENT 3
Development Plans and Material Board

A detailed map of Raymond Hill, South Pasadena, California. The map shows the intersection of I-5, I-10, and I-405. Key locations marked include Arroyo Park, South Pasadena Dog Park, Arroyo Vista Elementary, and 22 Orange Grove Place (highlighted in red). Other notable features include the United States Postal Service, McDonald's, Trader Joe's, and various schools and churches. The map also shows the surrounding areas of Raymond Hill and Oak Knoll.

2019 CALIFORNIA BUILDING CODE (CBC), THE 2019 CALIFORNIA RESIDENTIAL CODE (CRC), THE 2019 CALIFORNIA MECHANICAL CODE (CMC), THE 2019 CALIFORNIA PLUMBING CODE (CPC), THE 2019 CALIFORNIA ELECTRICAL CODE, (CEC), THE 2019 CALIFORNIA ENERGY CODE (T24 - 6), THE 2019 CALIFORNIA GREEN BUILDING CODE, (GBC) AND THE 2019 CALIFORNIA FIRE CODE, (CFC), ALL WITH REFERENCED STANDARDS

CONSULTANT

#1		1 REMOVE	Schefflera actinophylla Austrialla umbrella tree
#2		1 REMOVE	Pinus thunbergii Japanese black pine
#3		1 EXISTING	Liquidambar styraciflua Sweetgum
#4		1 EXISTING	Cedrus deodara Deodar Tree
#5		1 REMOVE	Cinnamomum camphora Camphor
		3 24"BOX	Ginkgo Biloba Maidenhair tree
		46 5 GAL.	Prunus caroliniana Carolina cherry laurel @ 24" O.C.
		21 5 GAL.	Furman's Red Autumn Sage Salvia greggii 'Furman's Red' @ 30" O.C.
		36 5 GAL.	Lomandra longifolia Breeze Dwarf Mat Rush
		XX	BOUTELOUA GRACILIS UC VERDE BUFFALO GRASS

	7	Hinkley Atlantis Bronze Linear LED Path Light
	-	15" high x 6 1/2" wide x 1 3/4" deep.



A-1

CONDITIONS OF APPROVAL
822 Orange Grove Place

December 18, 2020

Public Works Department Conditions:

- 1) The applicant shall obtain City approval for any modifications or revisions to the approval of this project. Deviations not identified on the plans may not be approved by the City, potentially resulting in the need for the project to be redesigned.
- 2) The applicant shall pay all applicable City and LA County fees, including Public Works Department plan review fee \$515 for two (2) reviews and an additional fee of \$153 for each additional review) and permit fees per the current adopted Master Fee Schedule which can be found on the City's website. The applicant shall provide receipts of all applicable fees paid prior to submitting plans for review.
- 3) The applicant shall be responsible for all costs incurred by the City and the Public Works Department for the use of professional services or consultants in the review, investigation, and/or plan check of the public improvement plans. The applicant shall deposit monies into an approved project account from which the City shall draw funds to pay for said professional services.
- 4) Orange Grove Place shall be videotaped before the start of construction and after construction for assessing the damage caused to the street by construction related traffic. The applicant will be responsible to restore the road to its original condition before the start of construction. These video tapes shall be submitted to the City before start of the project and immediately upon completion of the project.
- 5) Prior to issuance of a permit, the applicant shall perform a video inspection of the existing sewer lateral for obstructions and remove any obstructions observed. Provide a copy of the inspection video of the cleared pipe for review.
- 6) Show the location of all existing utilities on adjacent street(s), as well as location and size of all existing or proposed services serving the property. Show all utility points of connection (POC).
- 7) Show the location and area of trench sections for the proposed sewer and water lines connection within the public right-of-way. Provide a trench restoration detail per City standards.
- 8) The applicant shall contact the City of South Pasadena Water Division to verify the existing water meter connection is adequate for the proposed structure and fire sprinkler system. Coordinate the size, location, and associated fee for a new water meter connection, as applicable. Please contact the Water Operations Manager at (626) 460-6393 for additional information.
- 9) The applicant shall replace all broken, damaged, or out-of-grade curb and gutter, sidewalk, and driveway and repaint all curb markings fronting the property on Orange Grove Place to

Updated: 10/14/20

CONDITIONS OF APPROVAL
822 Orange Grove Place

December 18, 2020

- the satisfaction of the City Engineer per SPMC Section 31.54. All improvements within the public right-of-way shall conform to the current editions of the Standard Specifications for Public Works Construction (SSPWC) and Standard Plans for Public Works Construction (SPPWC).
- 10) The applicant shall bring the existing parkway on Orange Grove Place up to current standards per SPMC Section 31.48.
- 11) Show all existing and proposed trees, including size and species, and indicate their disposition. If any trees (12" in diameter or greater and/or native trees) are to be removed, apply for a tree removal permit with the Public Works Department per City Ordinance No. 2328 amending Section 34.10 of SPMC. See SPMC Section 34.12 for the required information and process for the trees that are proposed to be removed and/or impacted during construction. Replacement trees shall be planted per SPMC Section 34.12-5. If existing trees are to remain on site, the applicant shall note on the plans methods of protecting existing trees during construction.
- 12) The proposed building structure shall not be constructed within critical root zone area of any trees. For native and protected species, use the tree trunk's diameter measured at breast height (DBH) (X5) as the minimum critical root mass. For non-native and protected species, use the tree's DBH (X3) as the minimum critical root mass.
- 13) The applicant shall provide a construction schedule for each stage of any major activities (i.e. demolition, grading, material delivery, etc.) and the timing of special access if necessary, as it relates to site staging, traffic, and access. If there are any changes to the construction schedule, the applicant shall submit a revised schedule to the Public Works Department.
- 14) The applicant shall provide a haul route map, on-site staging plan, and indicate a contractor parking location to the Public Works Department for review and approval prior to issuance of permits. All vehicles including workers' vehicles shall not be parked near the construction site. Provide a shuttle service if necessary.
- 15) The applicant shall post temporary "No Parking" signs along the entire length of the property prior to the start of any construction. The temporary "No Parking" signs shall be covered at the end of each working day and uncovered at the start of the following working day prior to any construction activity. If two-way traffic cannot be accommodated, a traffic control plan prepared by a CA licensed civil or traffic engineer or a C-31 licensed contractor depicting the use of flagmen and/or detouring shall be submitted for review.
- 16) No overnight storage of materials or equipment within the public right-of-way shall be permitted.
- 17) Temporary bins (low boy), if used, shall be "roll off" style to be provided by Athens Services. Athens Services has an exclusive agreement with the City for the provision of trash

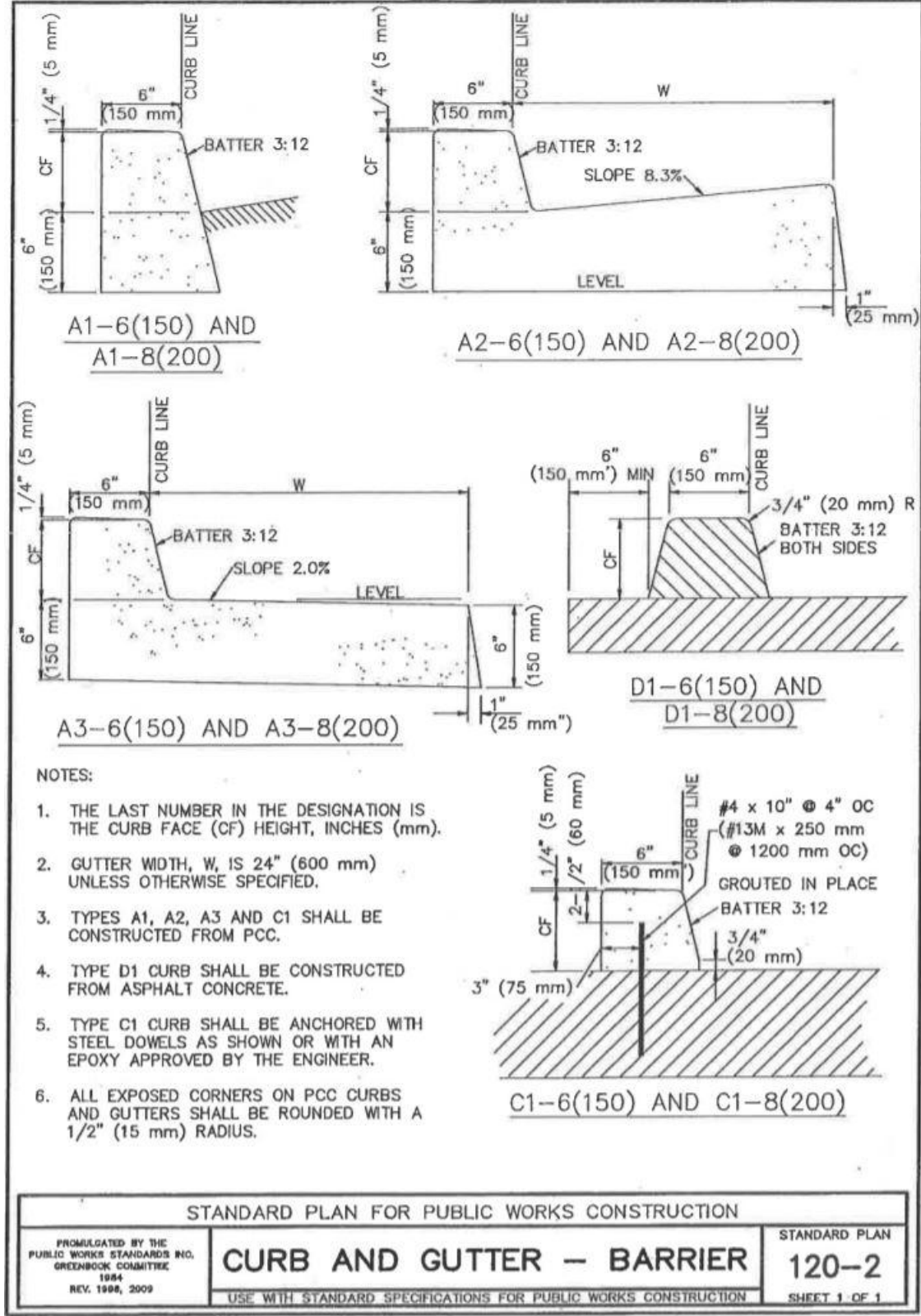
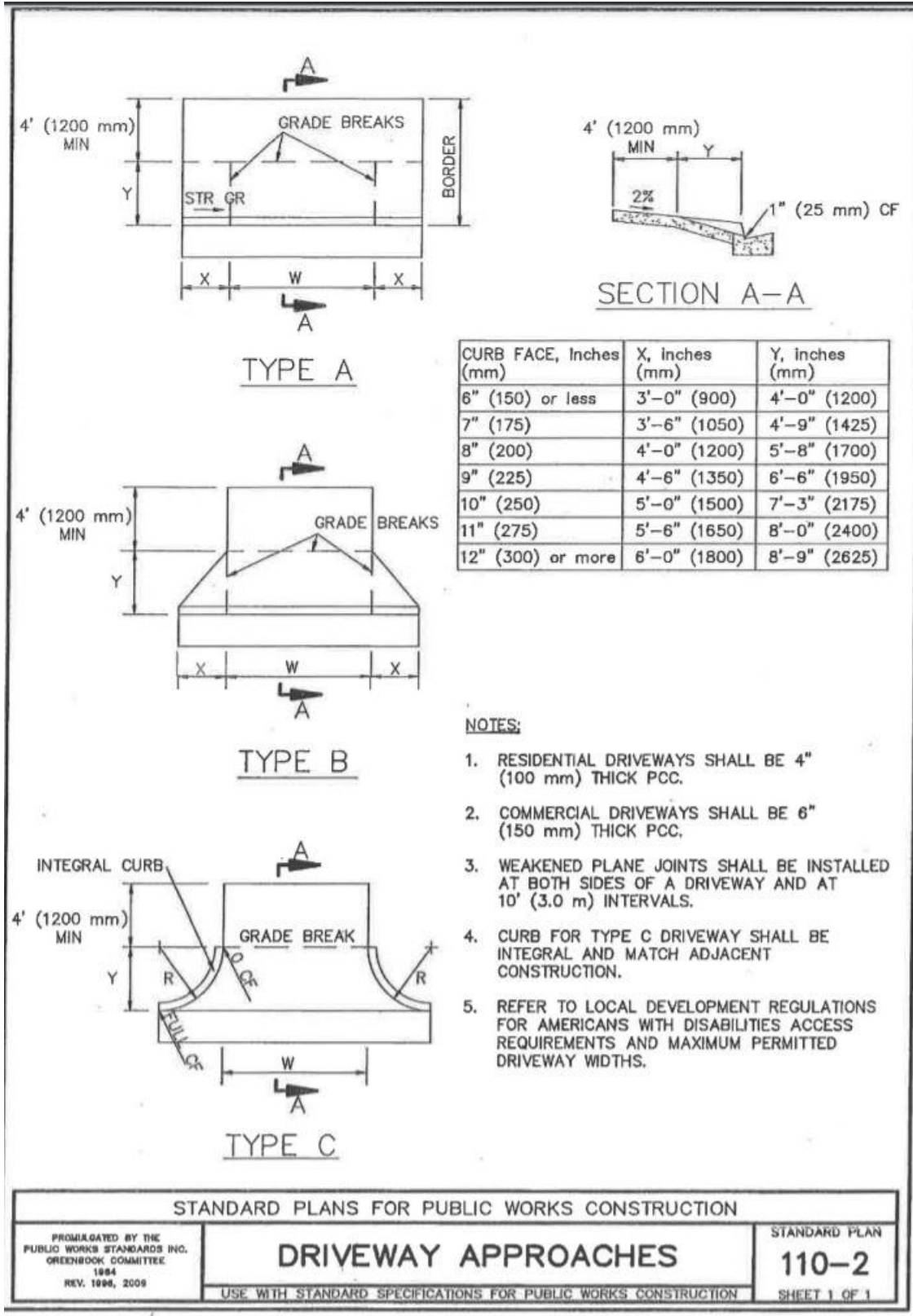
Updated: 10/14/20

CONDITIONS OF APPROVAL
822 Orange Grove Place

December 18, 2020

- removal services: only Athens dumpsters can be used. Any dumpsters placed on the roadway shall require a protective barrier underneath (such as plywood) to protect the pavement. The applicant shall obtain dumpster permit from the Public Works Department.
- 18) The applicant shall obtain oversize/overload permits from the Public Works Department for any oversized equipment used during the stages of construction, including, but not limited to: demolition; clearing and grubbing; grading; material disposal; drilling for piles and/or caissons; trenching for footings; excavation for retaining walls; core sampling of soils; etc.
- 19) The applicant shall be responsible for posting a project sign at the entrance to the project site displaying the City's construction hours per SPMC Section 19A.13. The project sign shall be 24" x 36" and made of durable weather-resistant material. The applicant shall provide a 24-hour emergency contact number for the designated contact who will be responsible for maintaining the public right-of-way during the all stages of construction until the project is complete.
- 20) The applicant shall obtain an encroachment permit from the Public Works Department for any work proposed within the public right-of-way.
- 21) ☒ The applicant shall remove and replace the existing driveway approach with a new driveway approach conforming to the 2012 edition of the Standard Plans for Public Works Construction (SPPWC) Std Plan 110-2, Type C. Concrete shall be class 520-C-2500 and shall conform to the 2018 edition of the Standard Specifications for Public Works Construction (SSPWC). The applicant shall verify the width with the Planning Department and the actual limits of concrete removal with the Public Works Department depending on the condition of the existing concrete pavement adjacent to the property.
- 22) ☒ The applicant shall remove and replace the existing curb and gutter with new curb and gutter conforming to the 2012 edition of the Standard Plans for Public Works Construction (SPPWC) Std Plan 120-2, Type A2-6. Concrete shall be class 520-C-2500 and shall conform to the 2018 edition of the Standard Specifications for Public Works Construction (SSPWC). The applicant shall verify the width with the Planning Department and the actual limits of concrete removal with the Public Works Department depending on the condition of the existing concrete pavement adjacent to the property.

Updated: 10/14/20



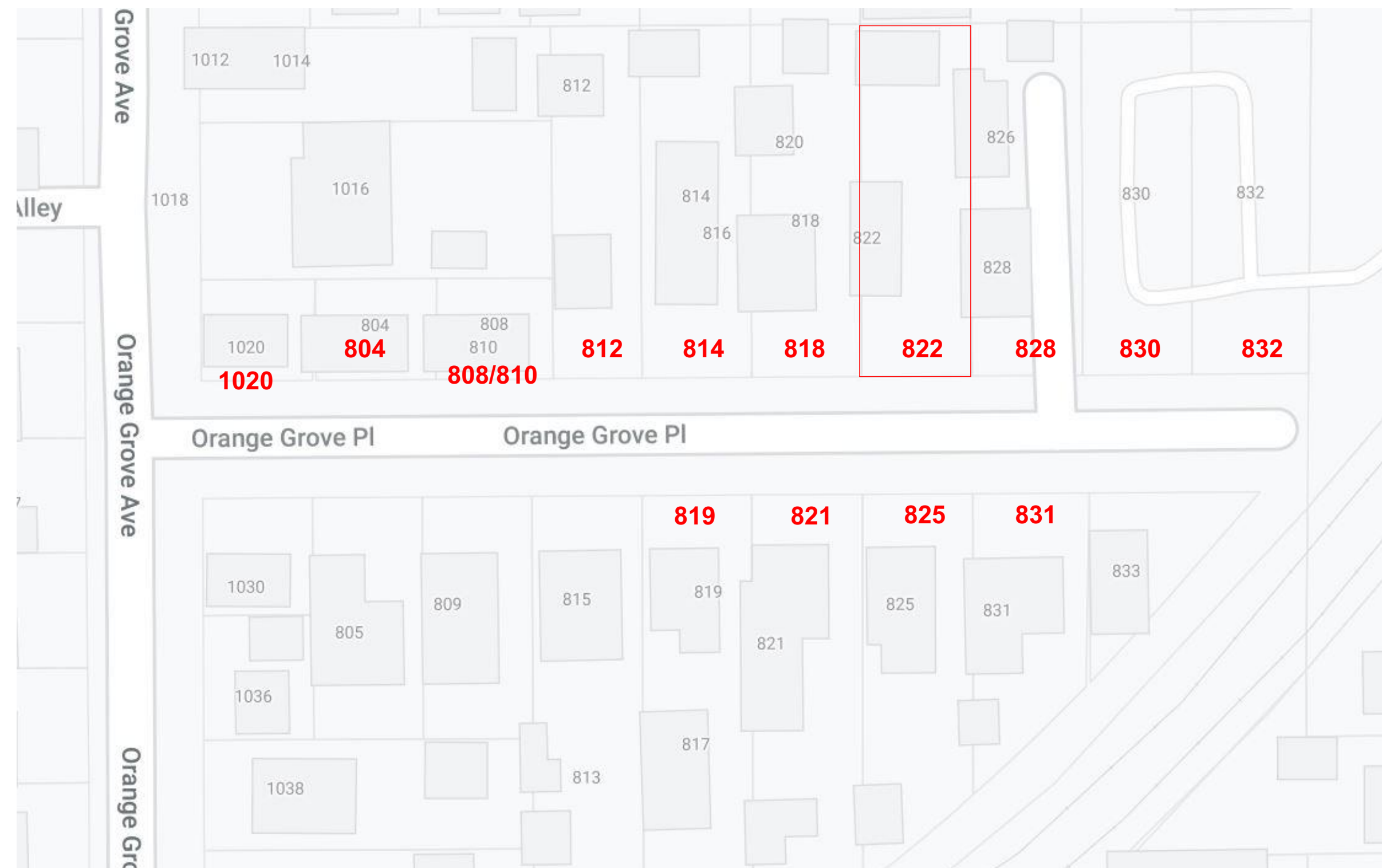
NEW CUSTOM HOME
ANGUS WONG AND KATIE CHIU
822 ORANGE GROVE PLACE,
SOUTH PASADENA, CA 91030

REV	DATE	DESCRIPTION	BY	CHK

SHEET TITLE

PUBLIC WORK
CONDITIONAL OF
APPROVAL

A-1.1



ANGUS WONG AND KATIE CHIU
822 ORANGE GROVE PLACE,
SOUTH PASADENA, CA 91030

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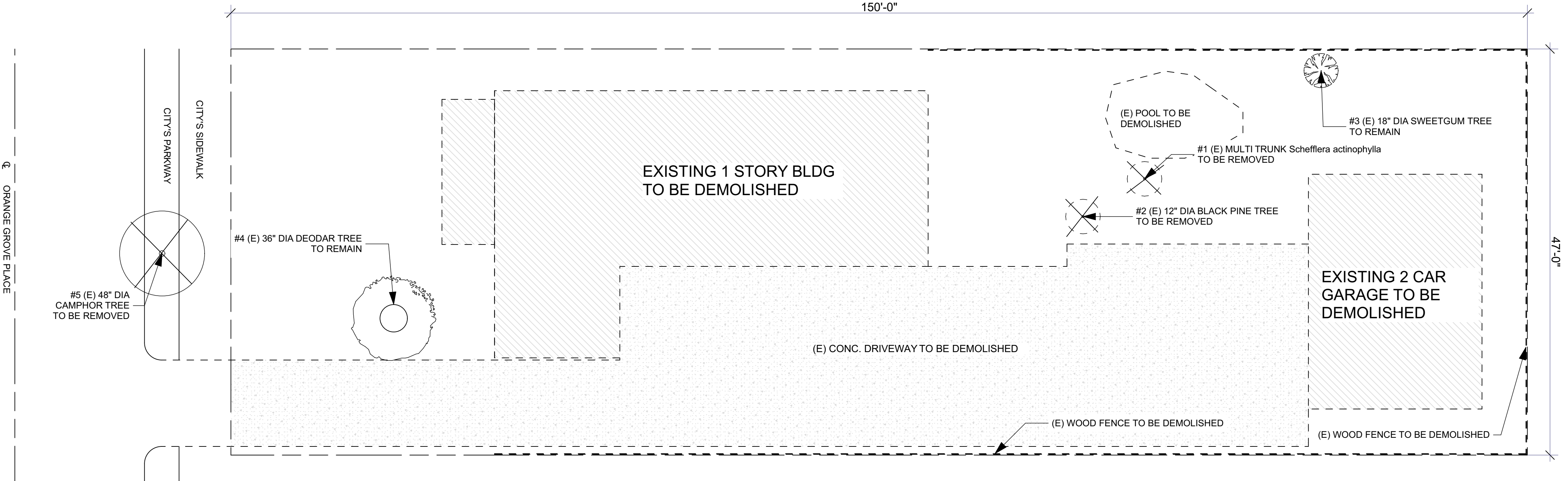
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**NEIGHBORHOOD STREET
VIEW**

A-1.2

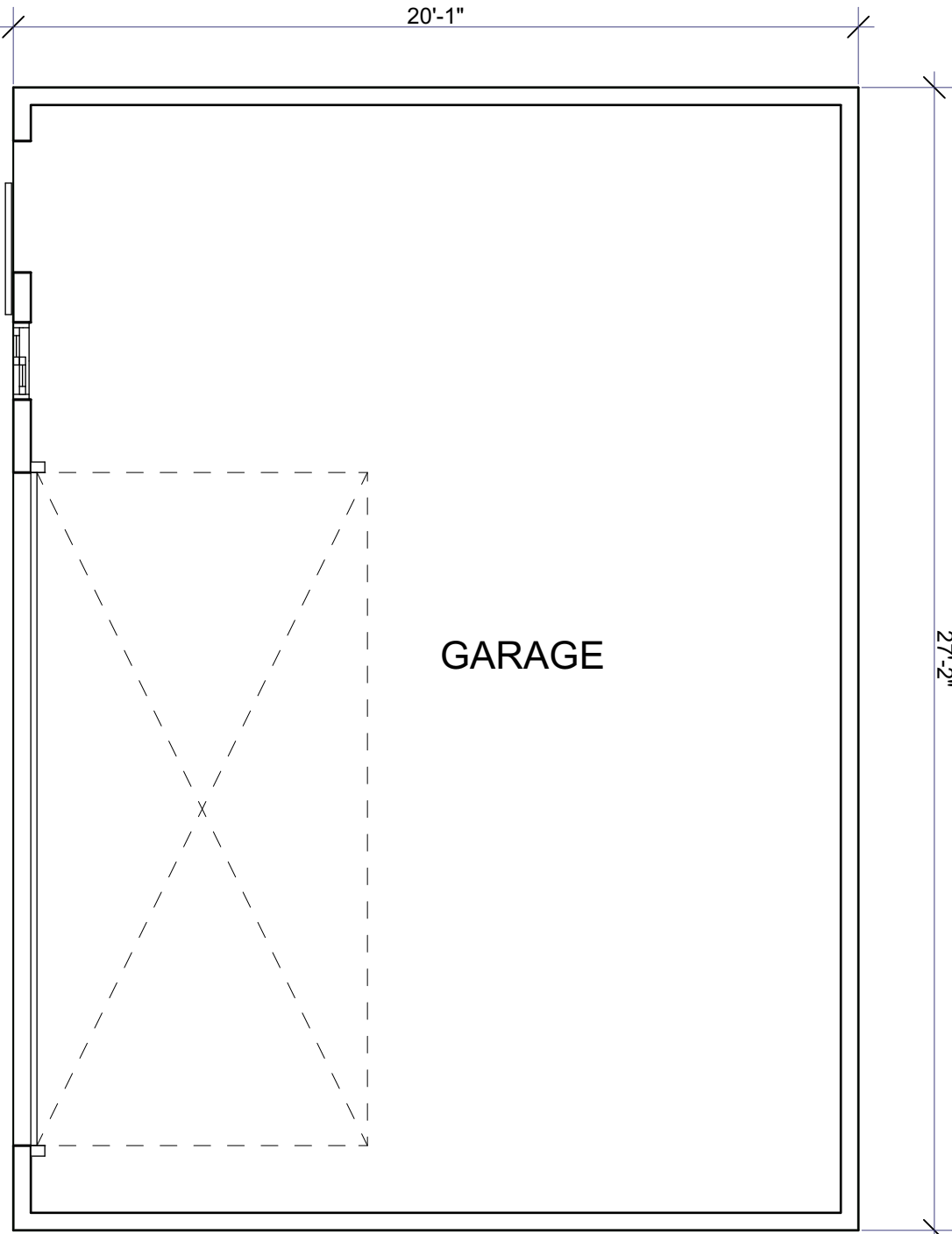
DEMOLITION PLAN

SCALE: 1/8" = 1'-0"



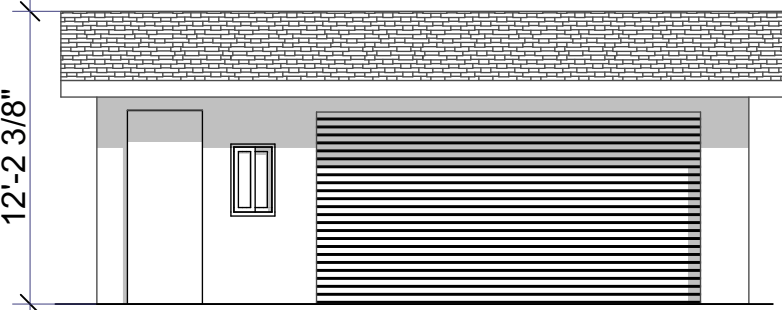
EXISTING FLOOR PLAN (TO BE DEMOLISHED)

SCALE: 1/4" = 1'-0"



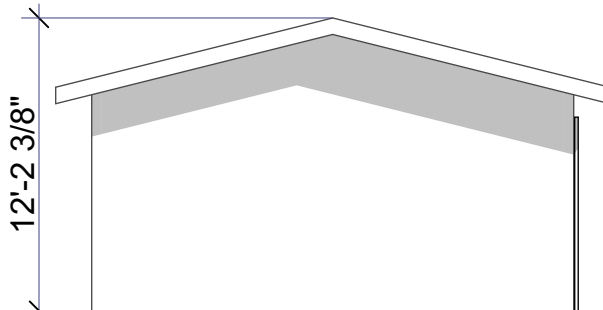
EXISTING GARAGE (TO BE DEMOLISHED)

SCALE: 1/4" = 1'-0"



(E) GARAGE SOUTH ELEVATION

SCALE: 1/8" = 1'-0"



(E) GARAGE NORTH ELEVATION

SCALE: 1/8" = 1'-0"



(E) EAST ELEVATION

SCALE: 1/8" = 1'-0"



(E) SOUTH ELEVATION

SCALE: 1/8" = 1'-0"



(E) WEST ELEVATION

SCALE: 1/8" = 1'-0"



(E) NORTH ELEVATION

SCALE: 1/8" = 1'-0"

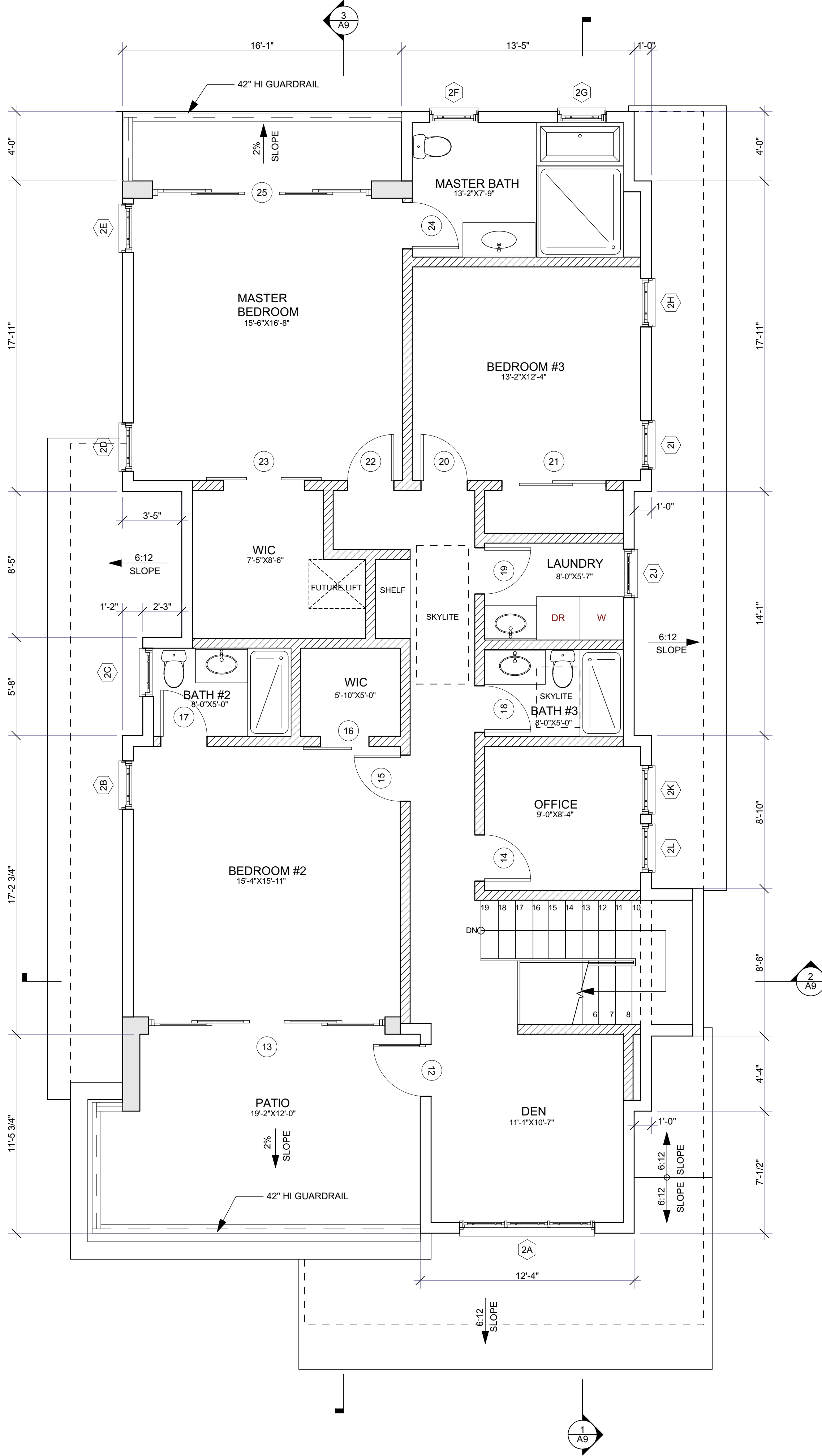
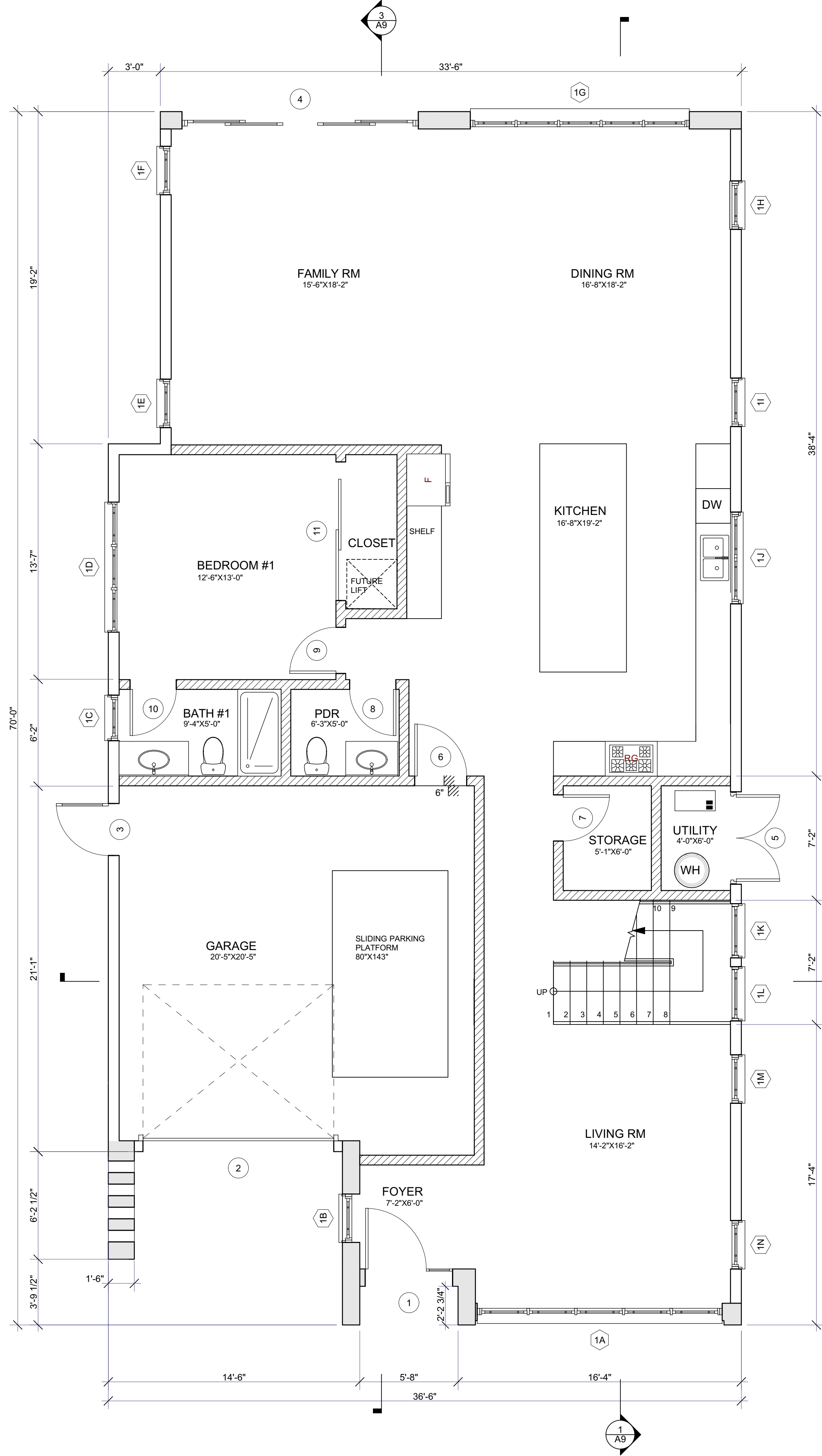
NEW CUSTOM HOME
ANGUS WONG AND KATIE CHIU
822 ORANGE GROVE PLACE,
SOUTH PASADENA, CA 91030

REV	DATE	DESCRIPTION	BY	CHK

SHEET TITLE

DEMOLITION PLAN

A-2



- WALL TYPE:**
- NEW EXTERIOR WALL, 2X6 STUD + 5/8"GWB @ INTERIOR + EXTERIOR PLASTER OVER METAL LATH W/ 2 #15 ASPHALT-SATURATE FELT OVER PLYWD SHTG @ EXTERIOR
 - NEW EXTERIOR WALL, 2-2X6 STUD + 1" GAP BETWEEN STUDS + 5/8"GWB @ INTERIOR + EXTERIOR PLASTER OVER METAL LATH W/ 2 #15 ASPHALT-SATURATE FELT OVER PLYWD SHTG @ EXTERIOR
 - NEW INTERIOR WALL, 2X6 STUD + 5/8"GWB @ BOTH SIDE

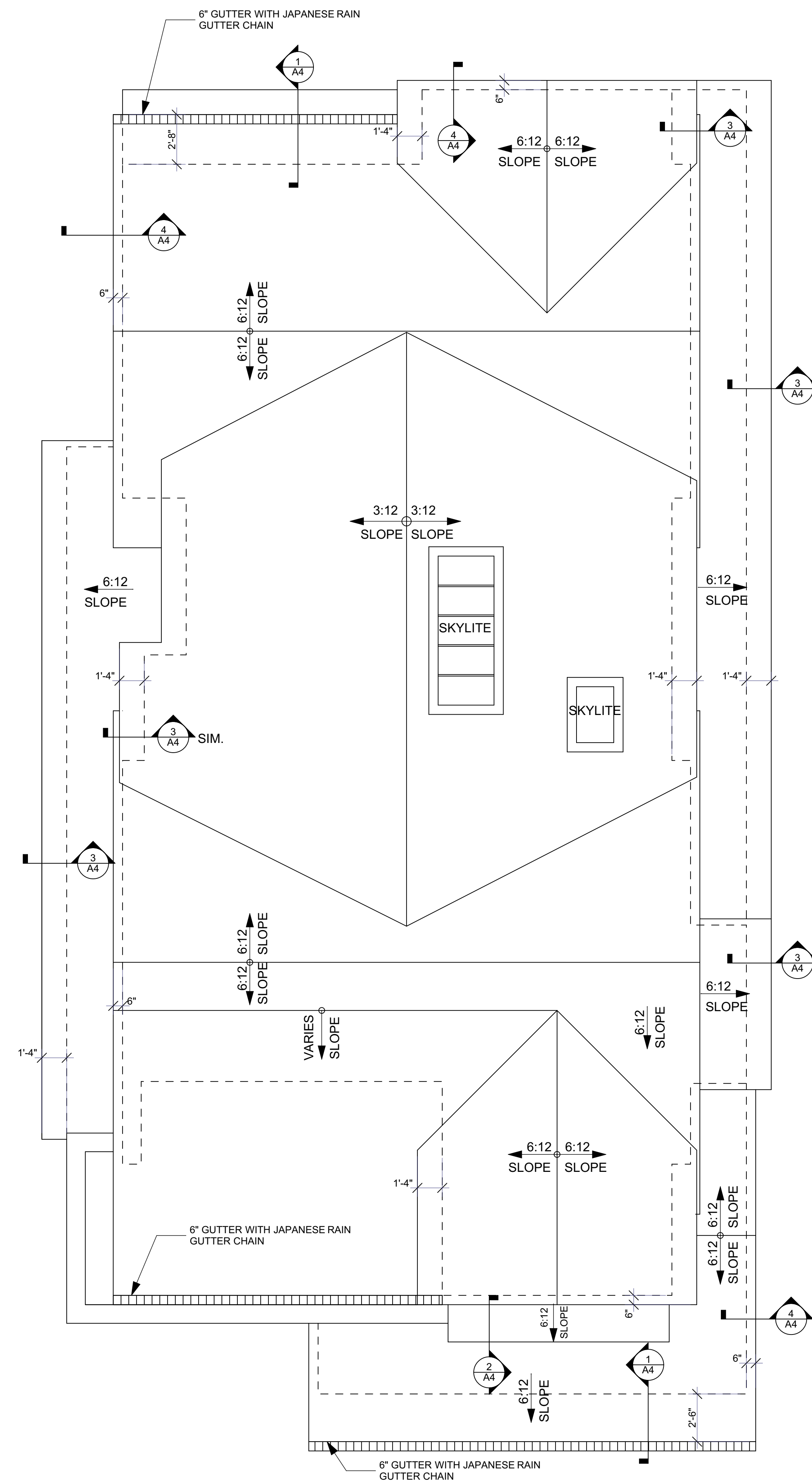
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SHEET TITLE

1ST AND 2ND FL PLAN

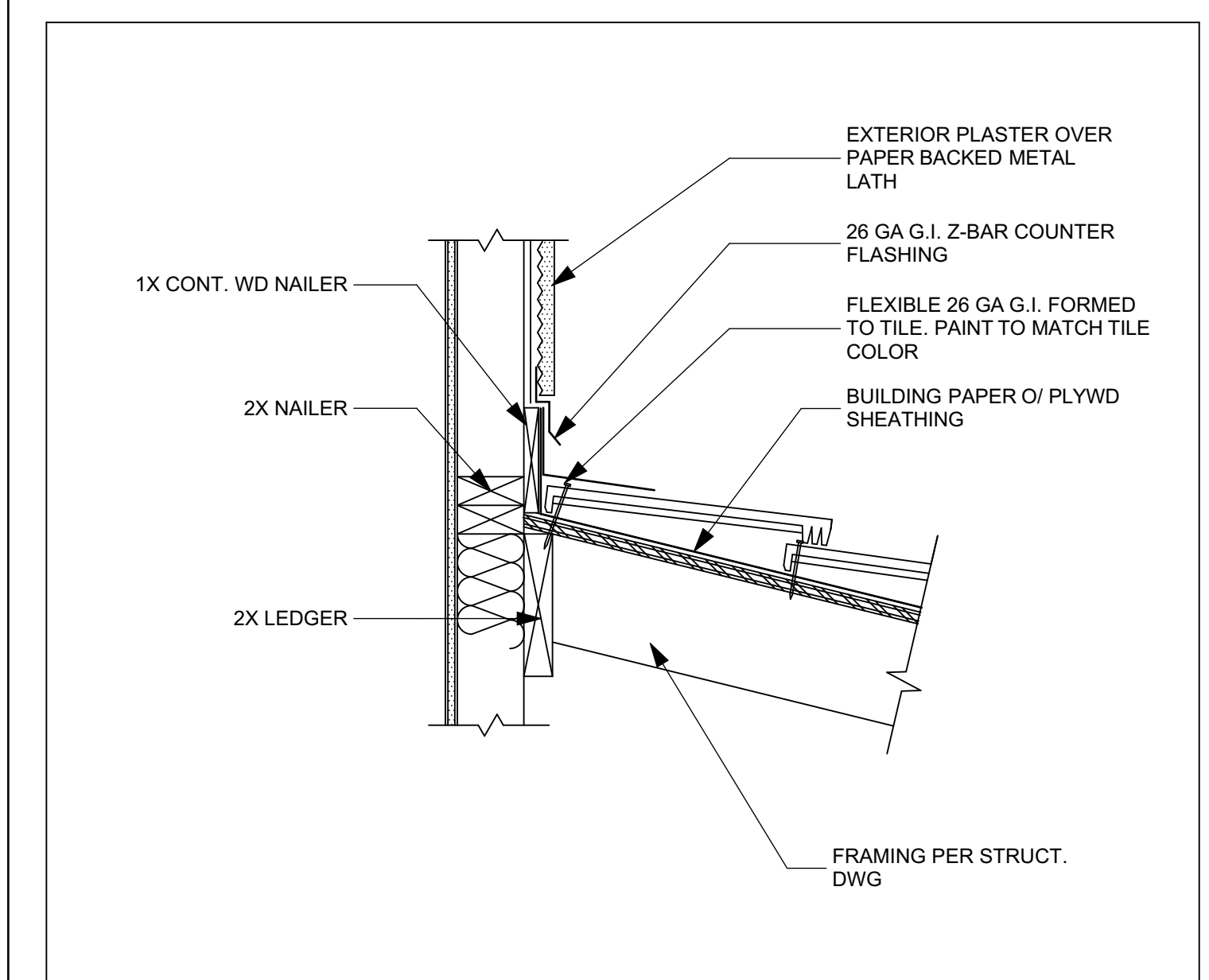
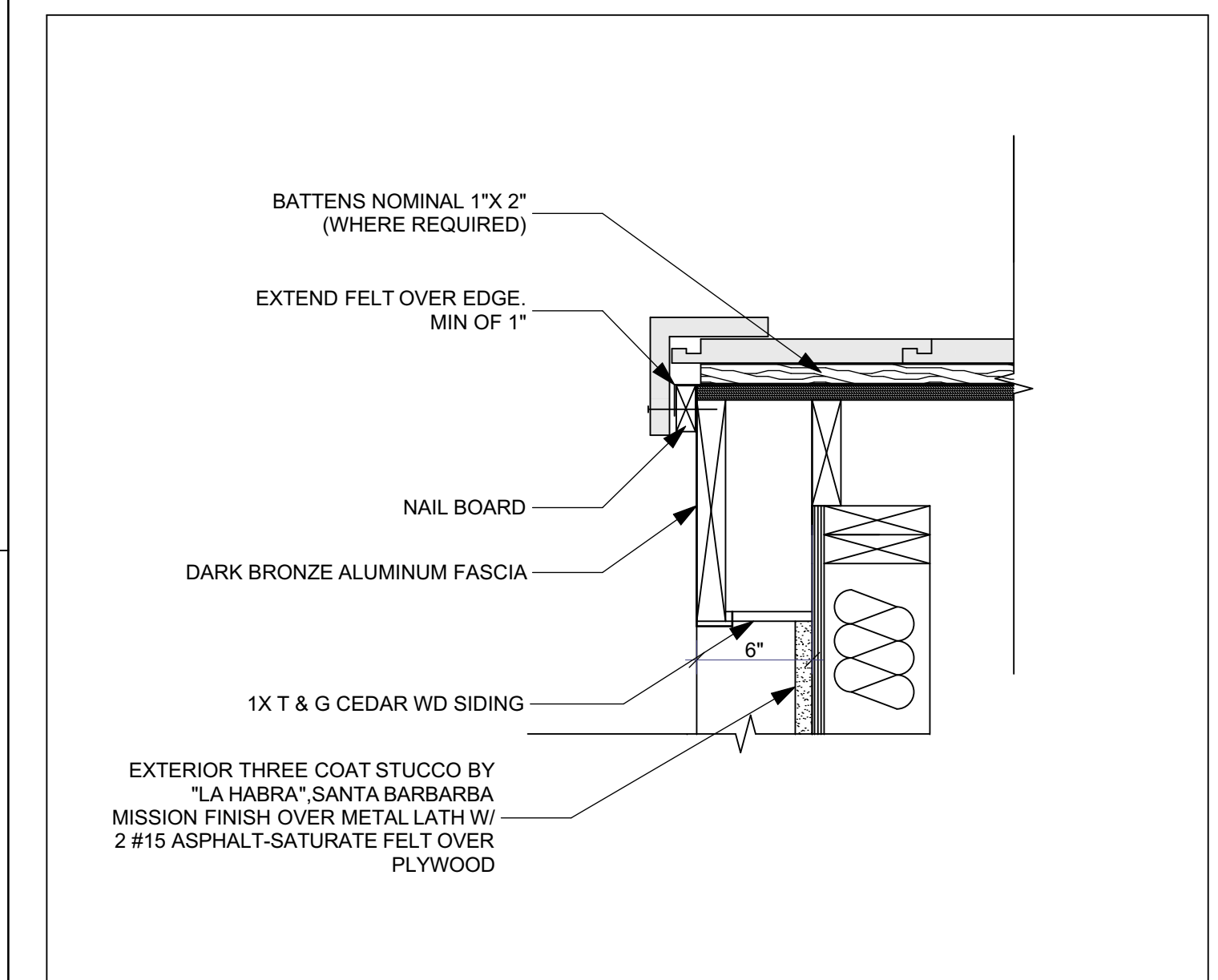
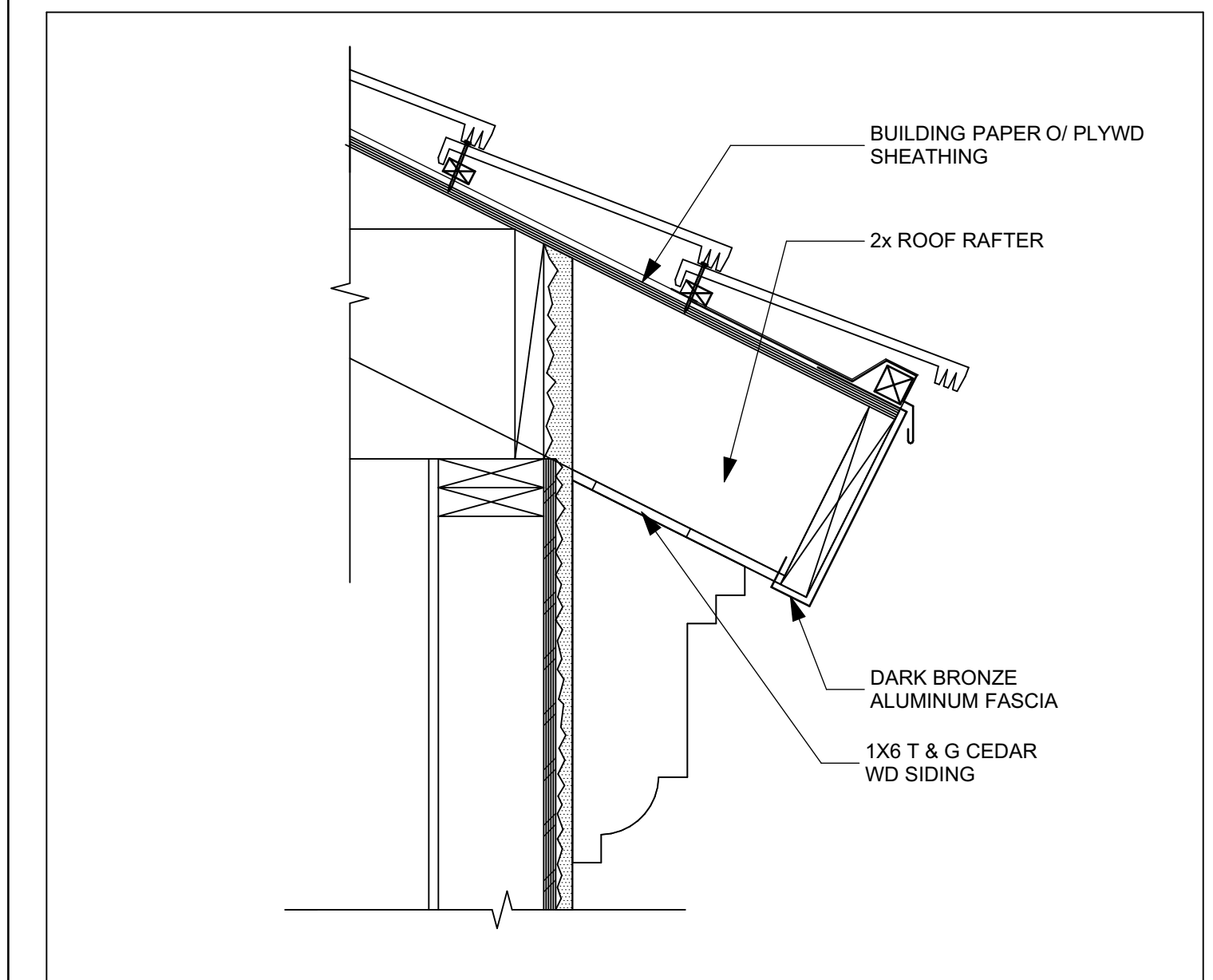
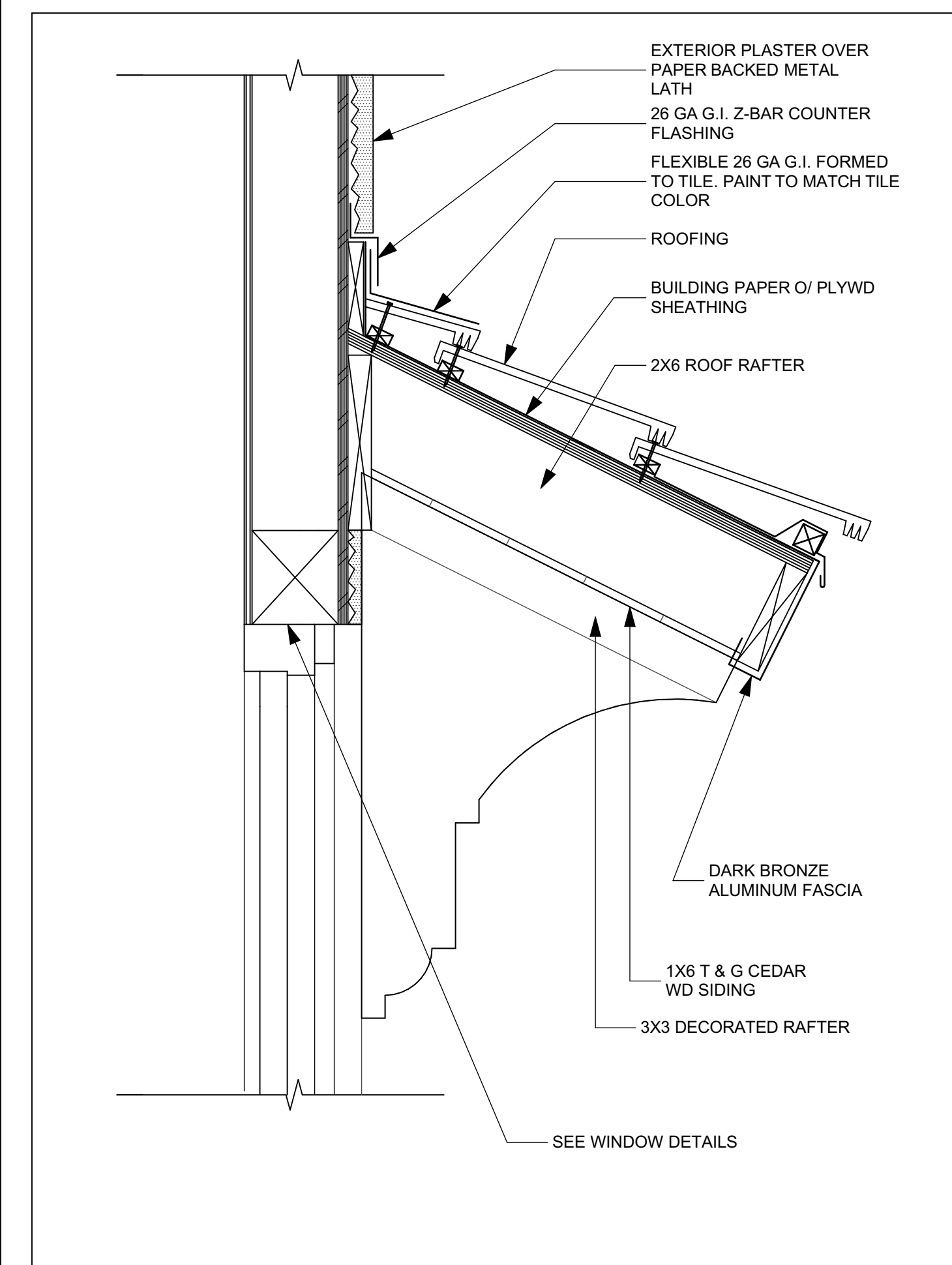
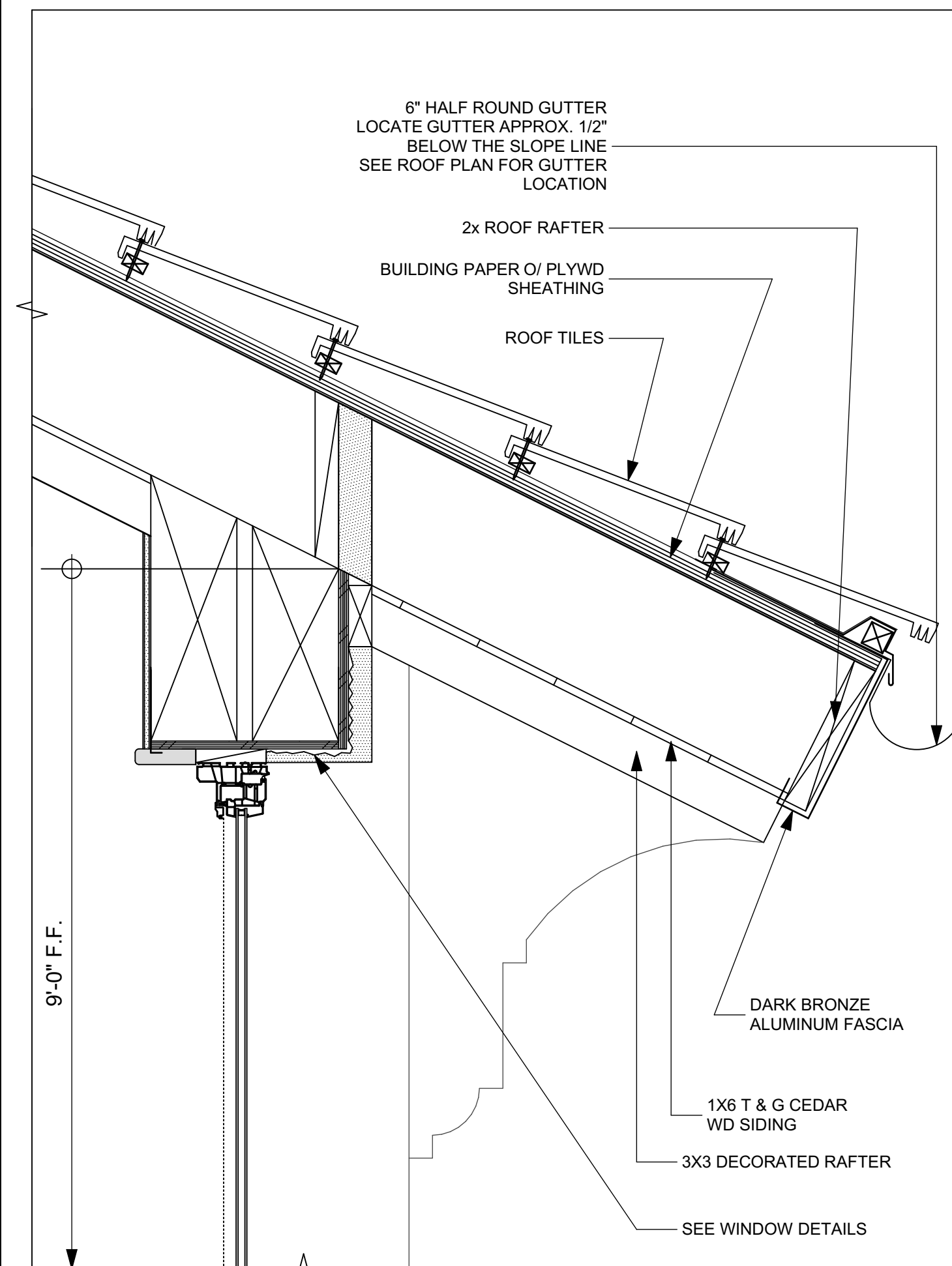
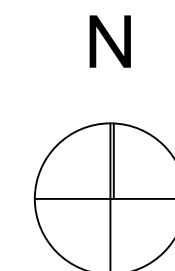
A-3

ROOF MATERIAL:

SLOPE ROOF AREA:
TESLA SOLAR ROOF TILES - SMOOTH GLASS TILE

ALTERNATIVE:
CLASS "A" EAGLE ROOFING. 5303 SIERRA MADRE
CONVENTIONAL TILE.
PROFILE: PONDERSONA.
COLOR: HUES OF CHARCOAL, BLACK STREAKS.

BALCONY AREA: DEX-O-TEX URETHANE DECKING SYSTEM



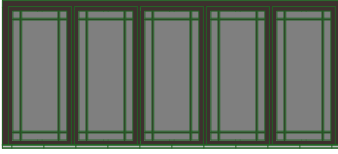
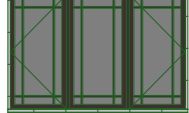
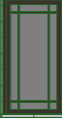
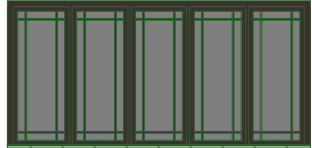
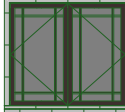
NEW CUSTOM HOME
ANGUS WONG AND KATIE CHIU
822 ORANGE GROVE PLACE,
SOUTH PASADENA, CA 91030

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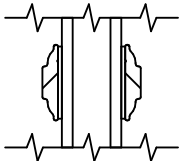
ROOF PLAN AND DETAILS

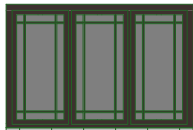
A-4

WINDOW SCHEDULE													
ID	WIDTH	HEIGHT	HEAD HEIGHT	OPERATION TYPE	FRONT VIEW	MATERIAL	COATING	PANES	TEMPERED	EXTERIOR COLOR	HEAD/SILL	JAMB	REMARKS
1A	13'-10"	6'-0"	8'-0"	CASEMENT		VINYL	Low-E	Double	☒	BRONZE	5/A6	6/A6	
1B	2'-6"	7'-6"	8'-0"	CASEMENT		VINYL	Low-E	Double	☒	BRONZE	8/A6	9/A6	
1C	2'-4"	5'-0"	8'-0"	CASEMENT		VINYL	Low-E	Double	☒	BRONZE	7/A6	9/A6	
1D	7'-6"	5'-0"	8'-0"	CASEMENT/FIX /CASEMENT		VINYL	Low-E	Double	☒	BRONZE	7/A6	9/A6	
1E	2'-6"	5'-0"	8'-0"	CASEMENT		VINYL	Low-E	Double	☒	BRONZE	7/A6	9/A6	
1F	2'-6"	5'-0"	8'-0"	CASEMENT		VINYL	Low-E	Double	☒	BRONZE	7/A6	9/A6	
1G	12'-4"	6'-0"	8'-0"	CASEMENT		VINYL	Low-E	Double	☒	BRONZE	5/A6	6/A6	
1H	2'-6"	5'-0"	8'-0"	CASEMENT		VINYL	Low-E	Double	☒	BRONZE	7/A6	9/A6	
1I	2'-6"	5'-0"	8'-0"	CASEMENT		VINYL	Low-E	Double	☒	BRONZE	7/A6	9/A6	
1J	5'-0"	4'-6"	8'-0"	CASEMENT		VINYL	Low-E	Double	☒	BRONZE	8/A6	9/A6	
1K	2'-10"	9'-6"	15'-0"	FIXED		VINYL	Low-E	Double	☒	BRONZE	8/A6	9/A6	
1L	2'-10"	9'-6"	15'-0"	FIXED		VINYL	Low-E	Double	☒	BRONZE	8/A6	9/A6	
1M	2'-6"	5'-0"	8'-0"	CASEMENT		VINYL	Low-E	Double	☒	BRONZE	7/A6	9/A6	
1N	2'-6"	5'-0"	8'-0"	CASEMENT		VINYL	Low-E	Double	☒	BRONZE	7/A6	9/A6	

WINDOW MANUFACTURER INFORMATION

1. USE JELDWEN WINDOWS OR EQUAL
2. DIVIDED LITE DETAIL BELOW



WINDOW SCHEDULE													
ID	WIDTH	HEIGHT	HEAD HEIGHT	OPERATION TYPE	FRONT VIEW	MATERIAL	COATING	PANES	TEMPERED	EXTERIOR COLOR	HEAD/SILL	JAMB	REMARKS
2A	7'-6"	5'-0"	8'-0"	CASEMENT		VINYL	Low-E	Double	☒	BRONZE	8/A6	9/A6	
2B	2'-6"	5'-0"	8'-0"	CASEMENT		VINYL	Low-E	Double	☒	BRONZE	8/A6	9/A6	
2C	2'-6"	5'-0"	8'-0"	CASEMENT		VINYL	Low-E	Double	☒	BRONZE	8/A6	9/A6	
2D	2'-6"	5'-0"	8'-0"	CASEMENT		VINYL	Low-E	Double	☒	BRONZE	8/A6	9/A6	
2E	2'-6"	5'-0"	8'-0"	CASEMENT		VINYL	Low-E	Double	☒	BRONZE	8/A6	9/A6	
2F	2'-6"	5'-0"	8'-0"	CASEMENT		VINYL	Low-E	Double	☒	BRONZE	8/A6	9/A6	
2G	2'-6"	5'-0"	8'-0"	CASEMENT		VINYL	Low-E	Double	☒	BRONZE	8/A6	9/A6	
2H	2'-6"	5'-0"	8'-0"	CASEMENT		VINYL	Low-E	Double	☒	BRONZE	8/A6	9/A6	
2I	2'-6"	5'-0"	8'-0"	CASEMENT		VINYL	Low-E	Double	☒	BRONZE	8/A6	9/A6	
2J	2'-6"	5'-0"	8'-0"	CASEMENT		VINYL	Low-E	Double	☒	BRONZE	8/A6	9/A6	
2K	2'-6"	5'-0"	8'-0"	CASEMENT		VINYL	Low-E	Double	☒	BRONZE	8/A6	9/A6	
2L	2'-6"	5'-0"	8'-0"	CASEMENT		VINYL	Low-E	Double	☒	BRONZE	8/A6	9/A6	
3A	8'-0"	3'-0"	---	---			---	---	---		---	---	---
3B	3'-0"	2'-0"	---	---			---	---	---		---	---	---

NEW CUSTOM HOME

ANGUS WONG AND KATIE CHIU

822 ORANGE GROVE PLACE,

SOUTH PASADENA, CA 91030

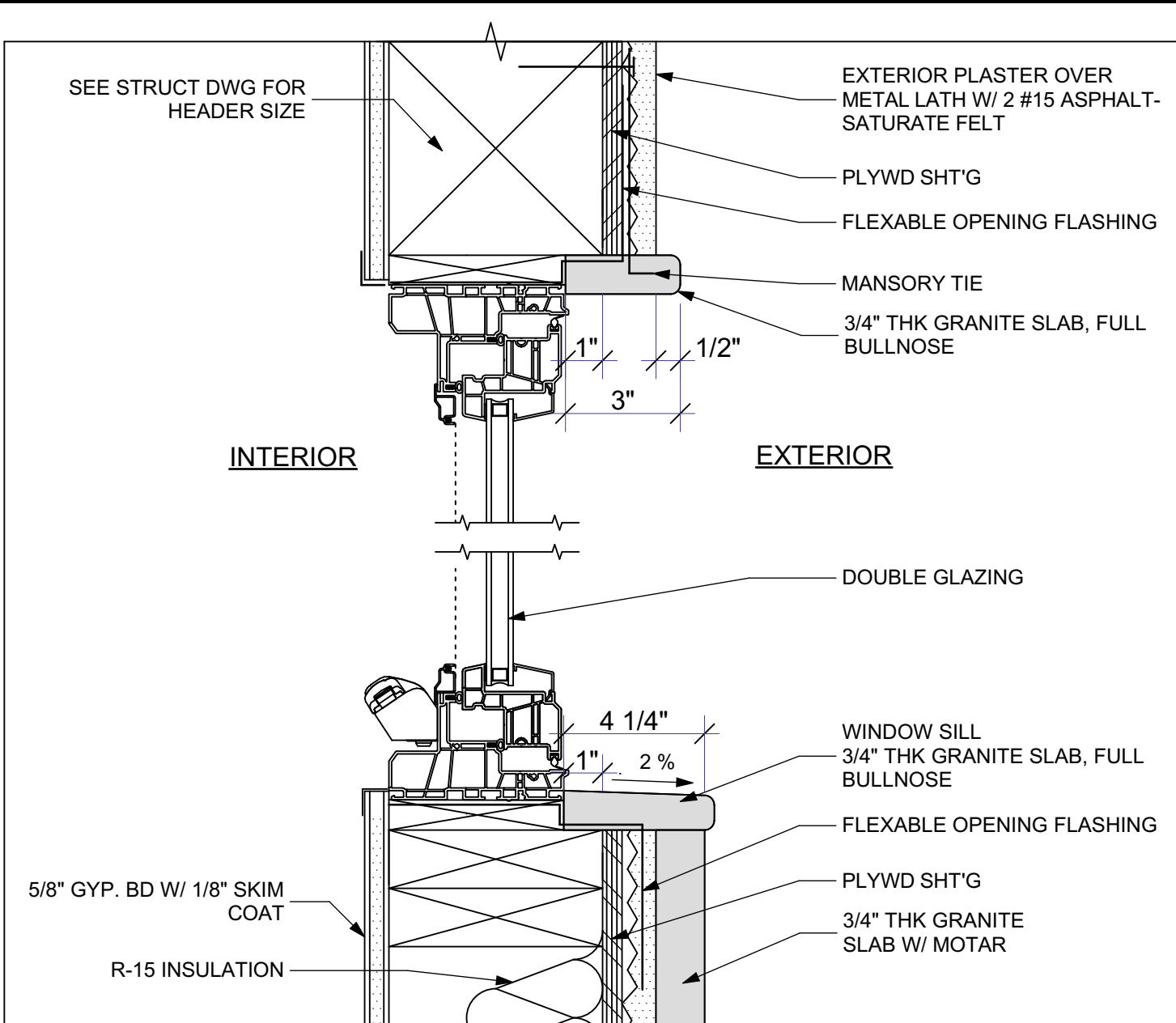
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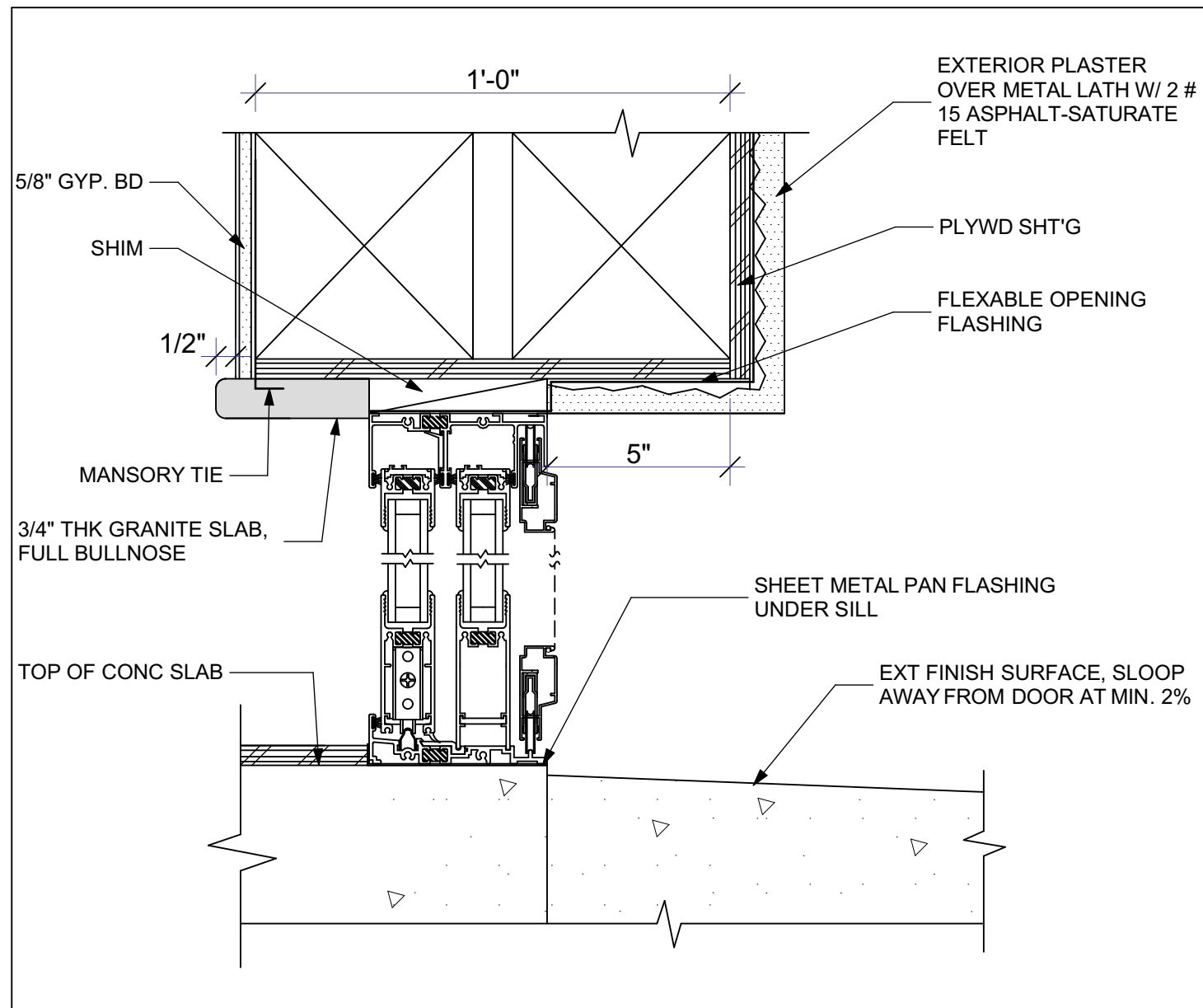
1ST AND 2ND FL WINDOW

SCHEDULE

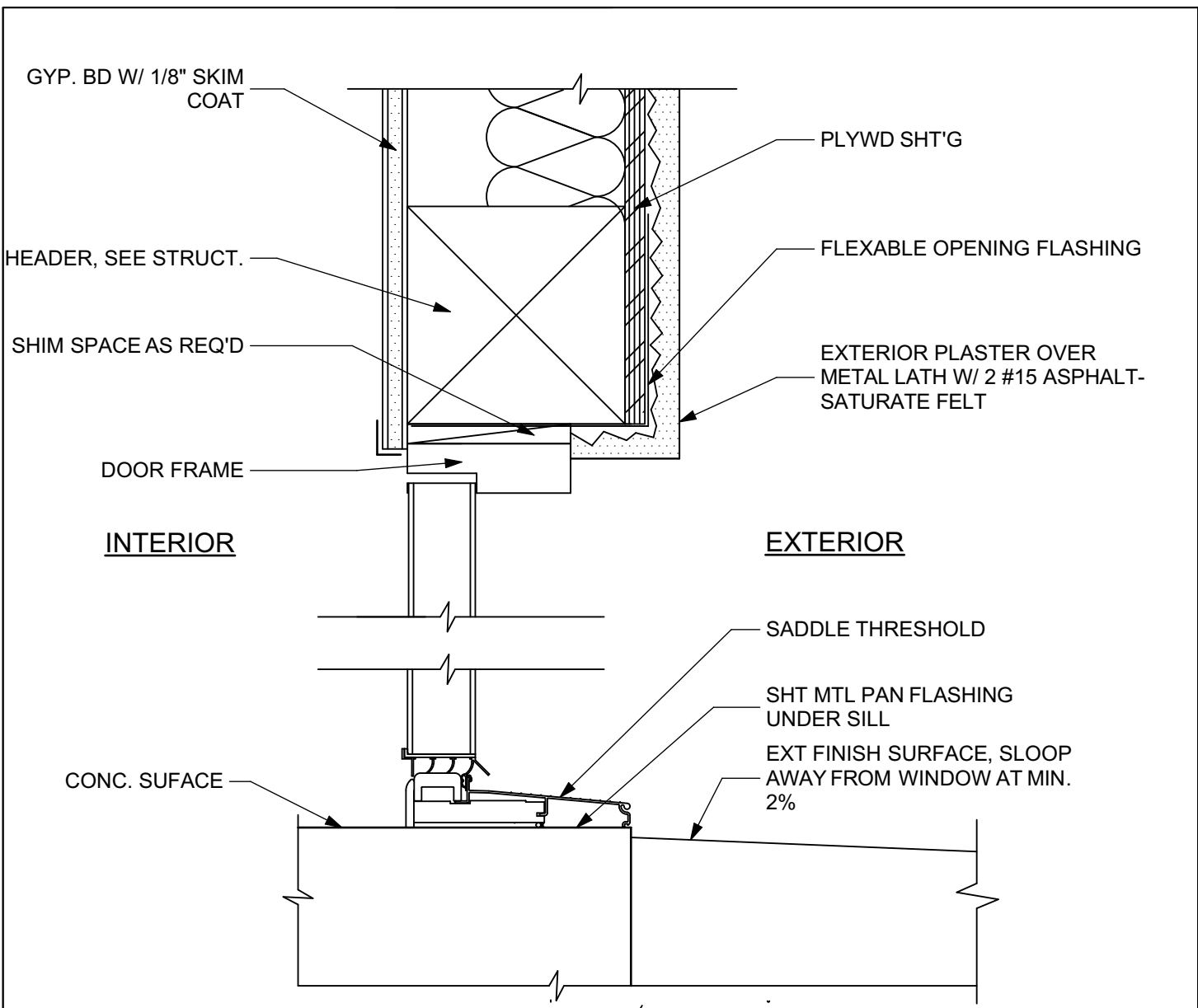
DOOR SCHEDULE								
ID	NOMINAL WIDTH	NOMINAL HEIGHT	DOOR TYPE	MATERIAL	HEAD/SILL	JAMB	HARDWARE	REMARKS
1	3'-6"	8'-0"	PREHUNG	FIBERGLASS, TEMPERED GLASS	1/A6	2/A6	WEATHER STRIP / DOOR STOP / MORTISED EXTERIOR LOCKSET W/ DEADBOLT	WITH 18" SIDELITE
2	11'-0"	9'-0"	SECTIONAL DOOR	STEEL	4/A6	4/A6 SIM.	GARAGE DOOR OPENER W/ BATTERY BACKUP	
3	3'-0"	8'-0"	PREHUNG	FIBERGLASS, TEMPERED GLASS	3/A6	3/A6 SIM.	WEATHER STRIP / DOOR STOP / MORTISED EXTERIOR LOCKSET W/ DEADBOLT	
4	13'-0"	8'-0"	SLIDING	FIBERGLASS, TEMPERED GLASS	1/A6	2/A6	PER MER	
5	5'-0"	8'-0"	PREHUNG	STEEL	3/A6	3/A6 SIM.	WEATHER STRIP / MORTISED EXTERIOR LOCKSET / LOUVERS	
6	3'-0"	8'-0"	PREHUNG	COMPOSITE			WEATHER STRIP / DOOR STOP / MORTISED EXTERIOR LOCKSET W/ DEADBOLT	20 MIN. FIRE RATED W/ SELF CLOSER
7	2'-8"	8'-0"	PREHUNG	COMPOSITE			MOTISED PASSAGE DOOR W/ PRIVACY LOCK/ DOOR STOP	
8	2'-8"	8'-0"	PREHUNG	COMPOSITE			MOTISED PASSAGE DOOR W/ PRIVACY LOCK/ DOOR STOP	
9	2'-8"	8'-0"	PREHUNG	COMPOSITE			MOTISED PASSAGE DOOR W/ PRIVACY LOCK/ DOOR STOP	
10	2'-8"	8'-0"	PREHUNG	COMPOSITE			MOTISED PASSAGE DOOR W/ PRIVACY LOCK/ DOOR STOP	
11	8'-0"	8'-0"	SLIDING	COMPOSITE			PER MER	
12	3'-0"	8'-0"	PREHUNG	FIBERGLASS, TEMPERED GLASS	3/A6	3/A6 SIM.	WEATHER STRIP / DOOR STOP / MORTISED EXTERIOR LOCKSET W/ DEADBOLT	
13	13'-0"	8'-0"	SLIDING	FIBERGLASS, TEMPERED GLASS	1/A6	2/A6	PER MER	
14	2'-8"	8'-0"	PREHUNG	COMPOSITE			MOTISED PASSAGE DOOR W/ PRIVACY LOCK/ DOOR STOP	
15	2'-8"	8'-0"	PREHUNG	COMPOSITE			MOTISED PASSAGE DOOR W/ PRIVACY LOCK/ DOOR STOP	
16	2'-8"	8'-0"	BARN DOOR	COMPOSITE			PER MER	
17	2'-8"	8'-0"	PREHUNG	COMPOSITE			MOTISED PASSAGE DOOR W/ PRIVACY LOCK/ DOOR STOP	
18	2'-8"	8'-0"	PREHUNG	COMPOSITE			MOTISED PASSAGE DOOR W/ PRIVACY LOCK/ DOOR STOP	
19	2'-8"	8'-0"	PREHUNG	COMPOSITE			MOTISED PASSAGE DOOR W/ PRIVACY LOCK/ DOOR STOP	
20	2'-8"	8'-0"	PREHUNG	COMPOSITE			MOTISED PASSAGE DOOR W/ PRIVACY LOCK/ DOOR STOP	
21	6'-0"	8'-0"	SLIDING	COMPOSITE			PER MER	
22	2'-8"	8'-0"	PREHUNG	COMPOSITE			MOTISED PASSAGE DOOR W/ PRIVACY LOCK/ DOOR STOP	
23	4'-6"	8'-0"	BARN DOOR	COMPOSITE			PER MER	
24	2'-8"	8'-0"	PREHUNG	COMPOSITE			MOTISED PASSAGE DOOR W/ PRIVACY LOCK/ DOOR STOP	
25	12'-0"	8'-0"	SLIDING	FIBERGLASS, TEMPERED GLASS	1/A6	2/A6	PER MER	



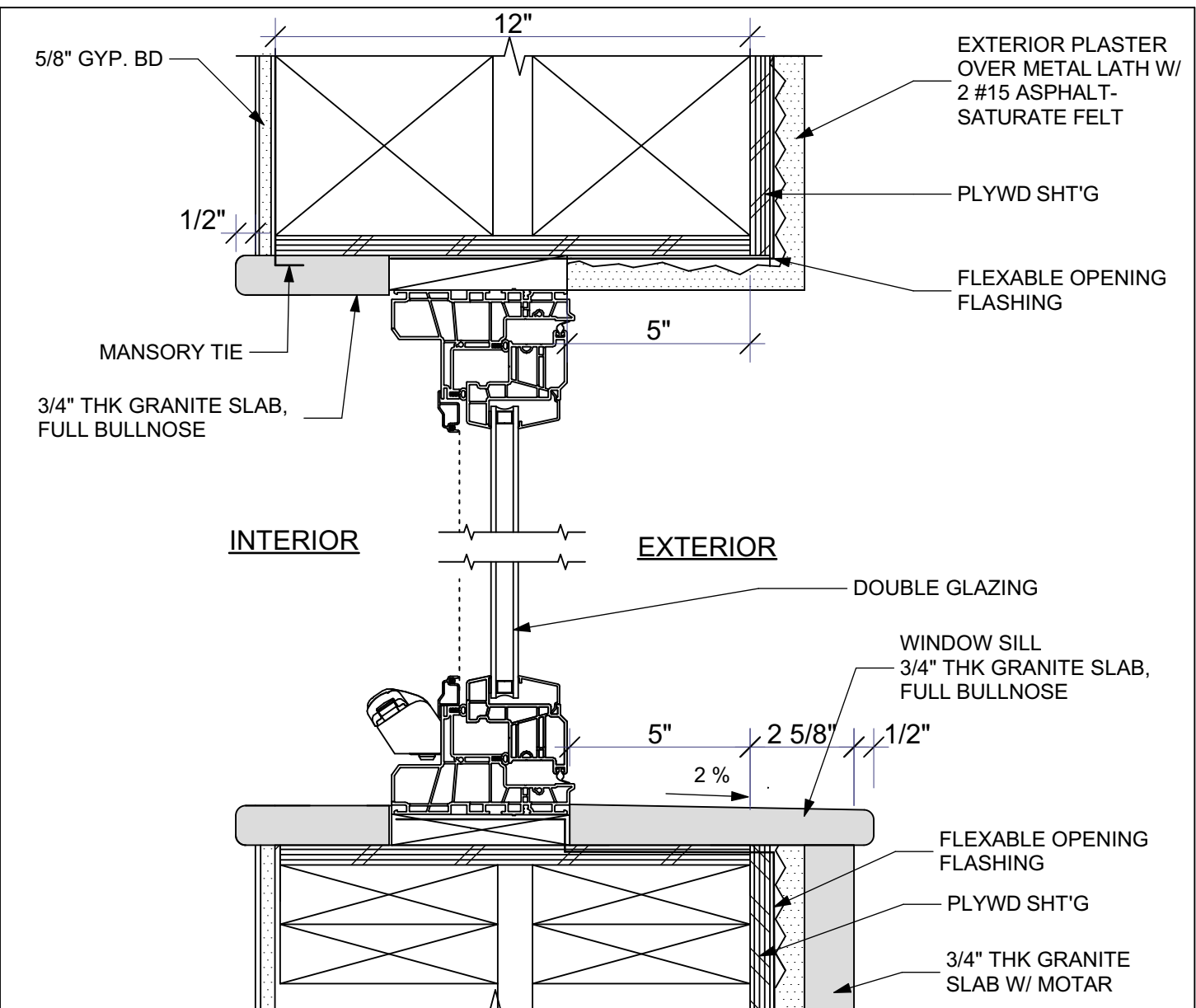
7 WINDOW HEAD / SILL WITH WAINSCOTING
SCALE 3"=1'-0"



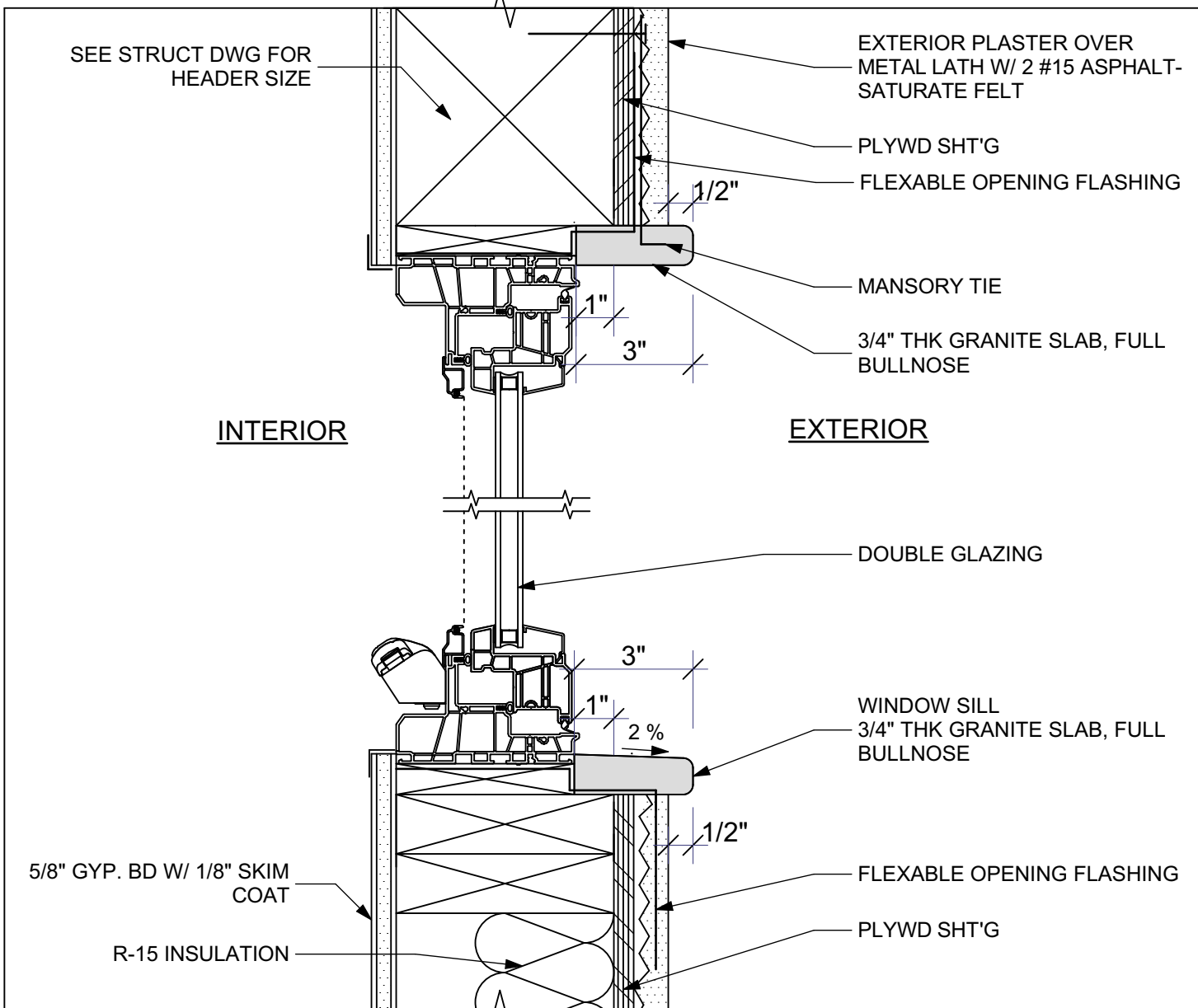
1 DOOR HEAD/SEAL @ THICK WALL
SCALE 3"=1'-0"



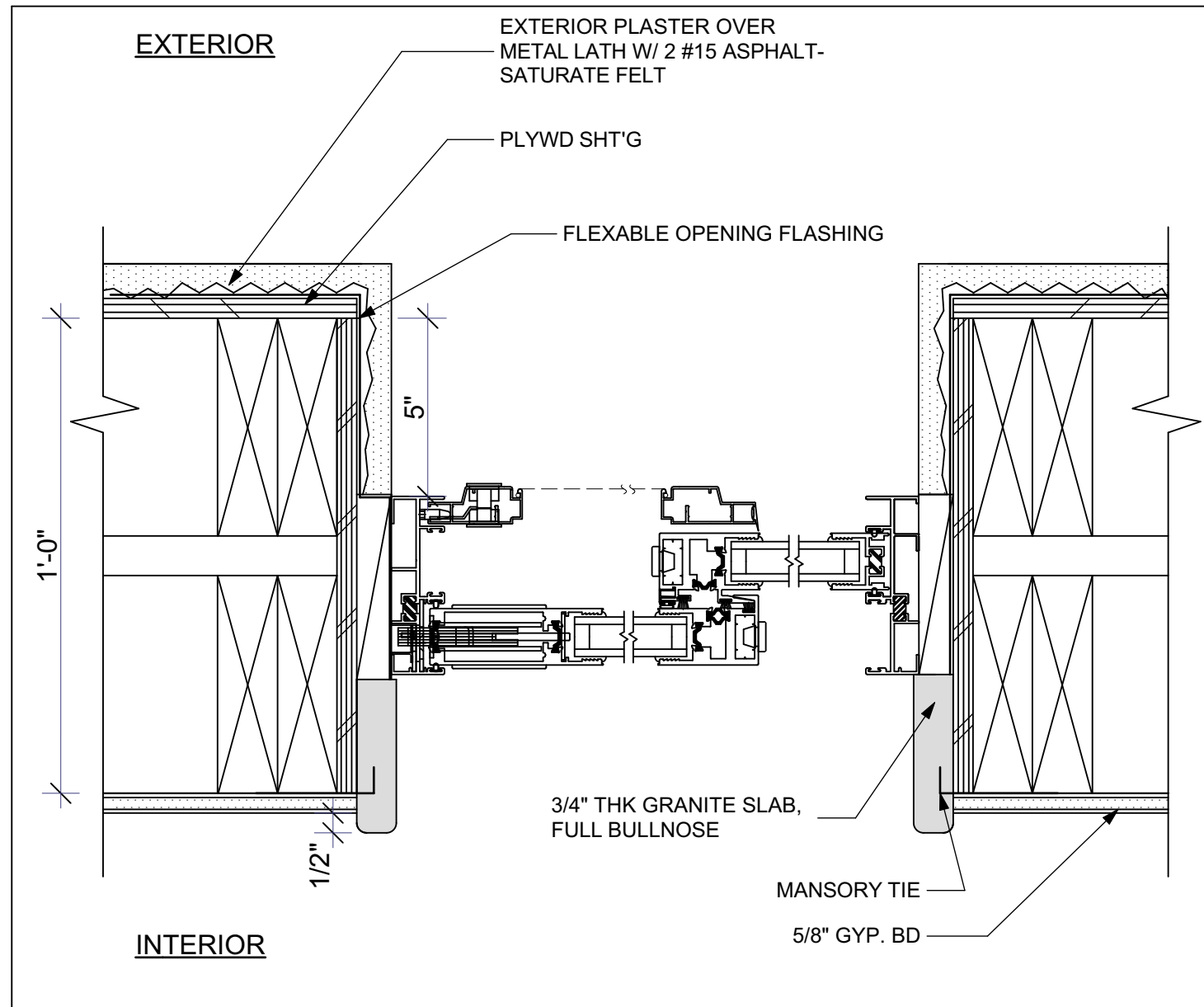
3 EXTERIOR DOOR HEAD (JAMB SIM.)
SCALE 3"=1'-0"



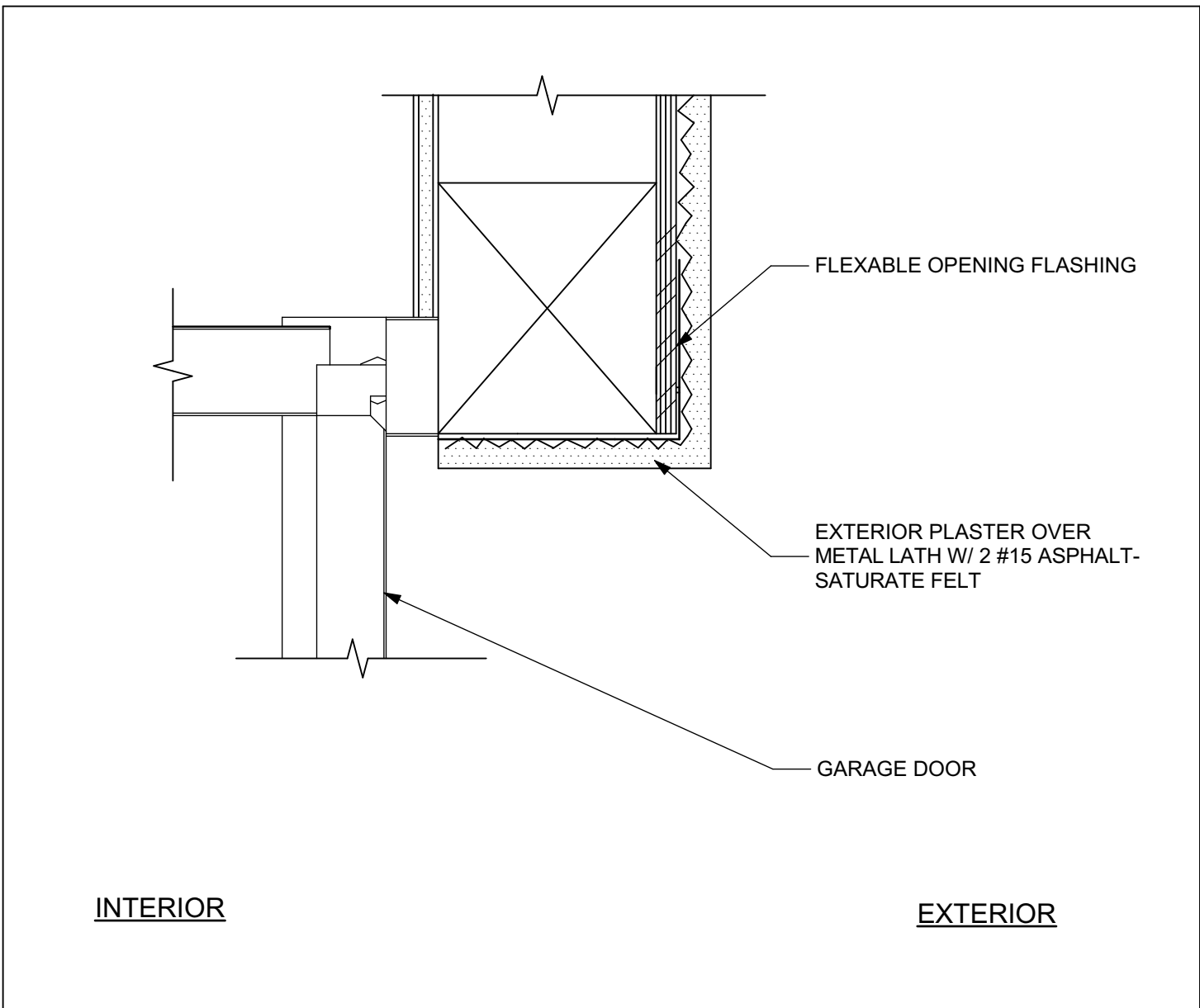
5 WINDOW HEAD / SILL @ THICK WALL
SCALE 3"=1'-0"



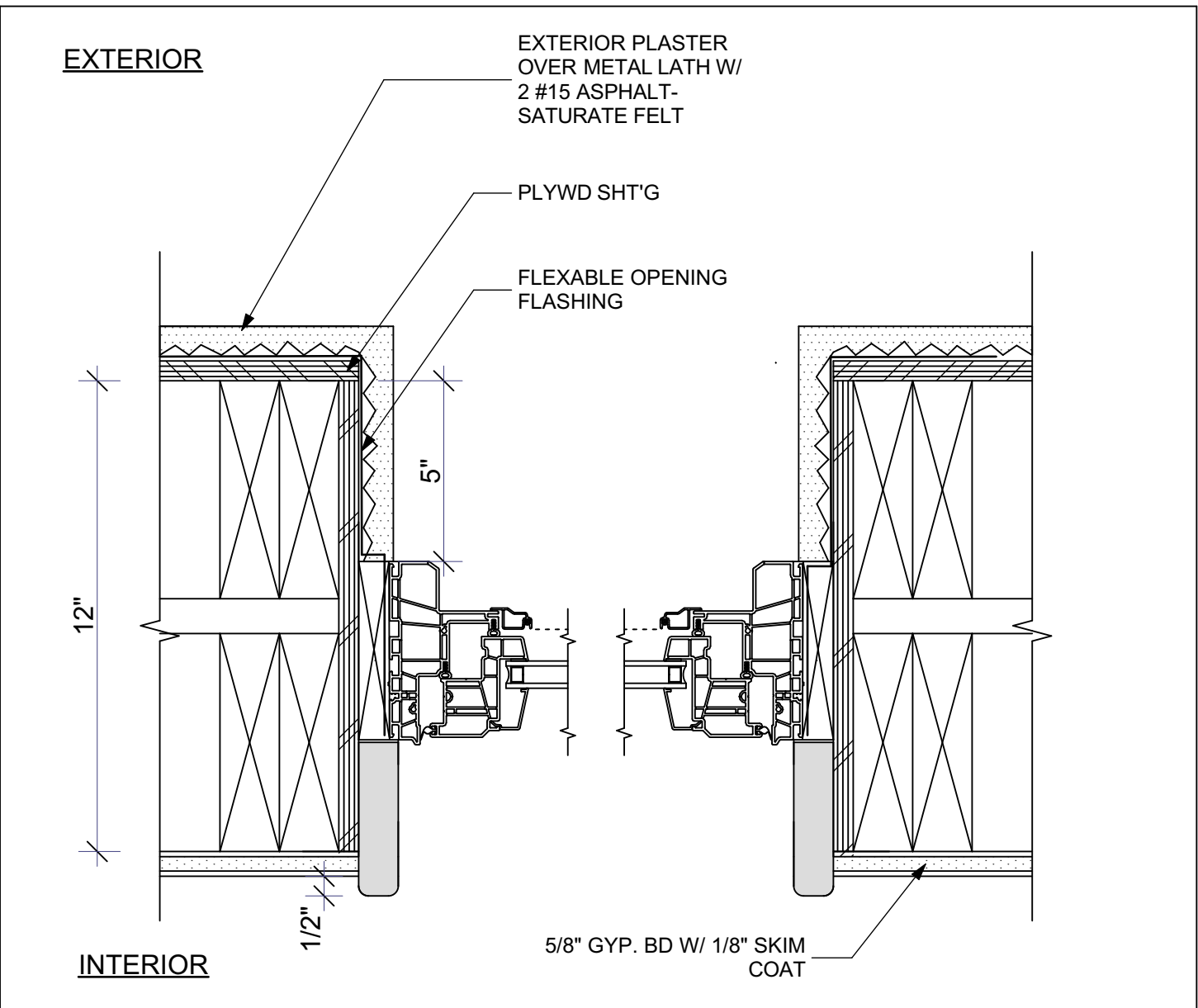
8 WINDOW HEAD / SILL WITHOUT WAINSCOTING
SCALE 3"=1'-0"



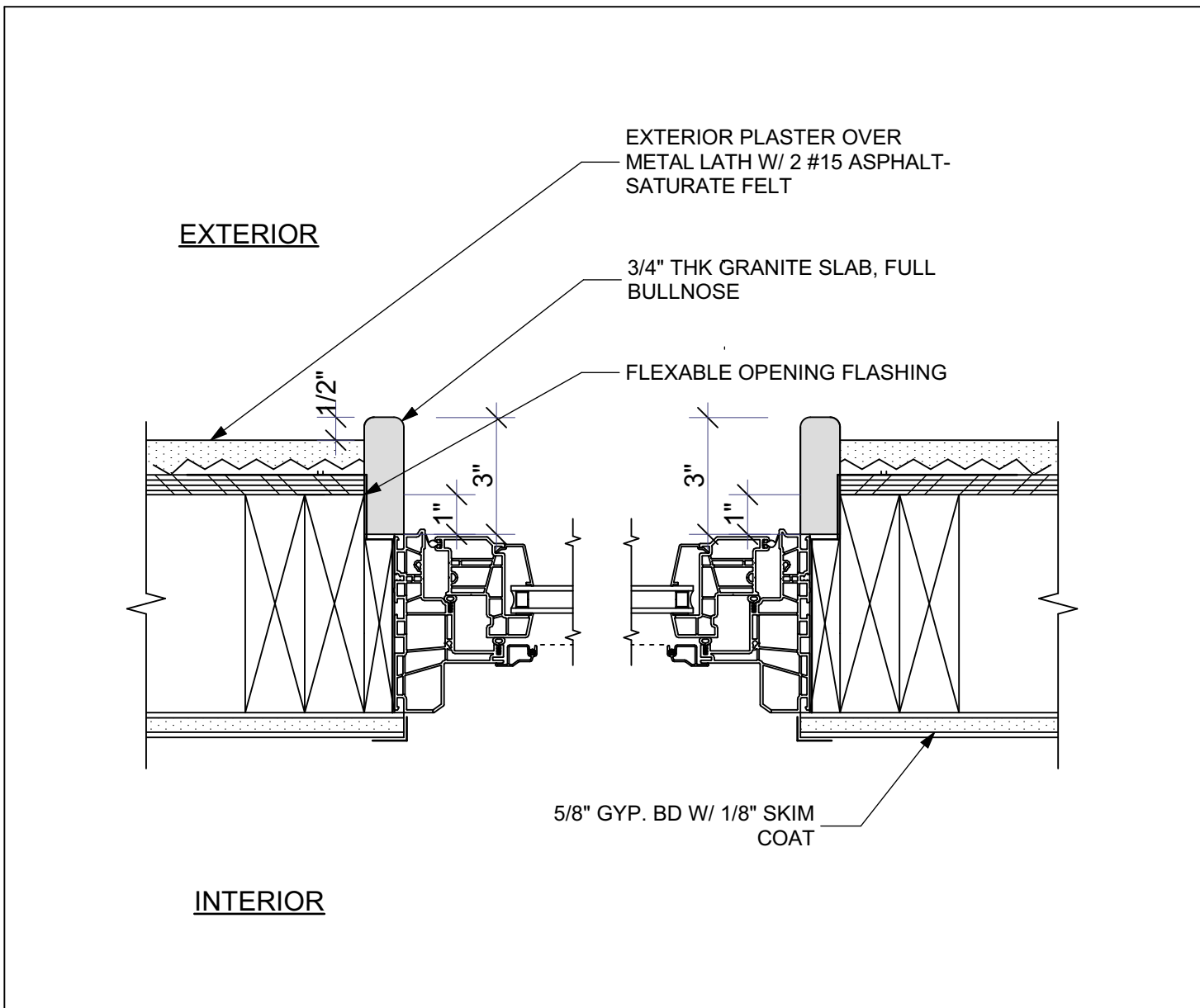
2 DOOR JAMB @ THICK WALL
SCALE 3"=1'-0"



4 GARAGE DOOR HEAD (JAM SIM.)
SCALE 3"=1'-0"



6 WINDOW JAMB @ THICK WALL
SCALE 3"=1'-0"



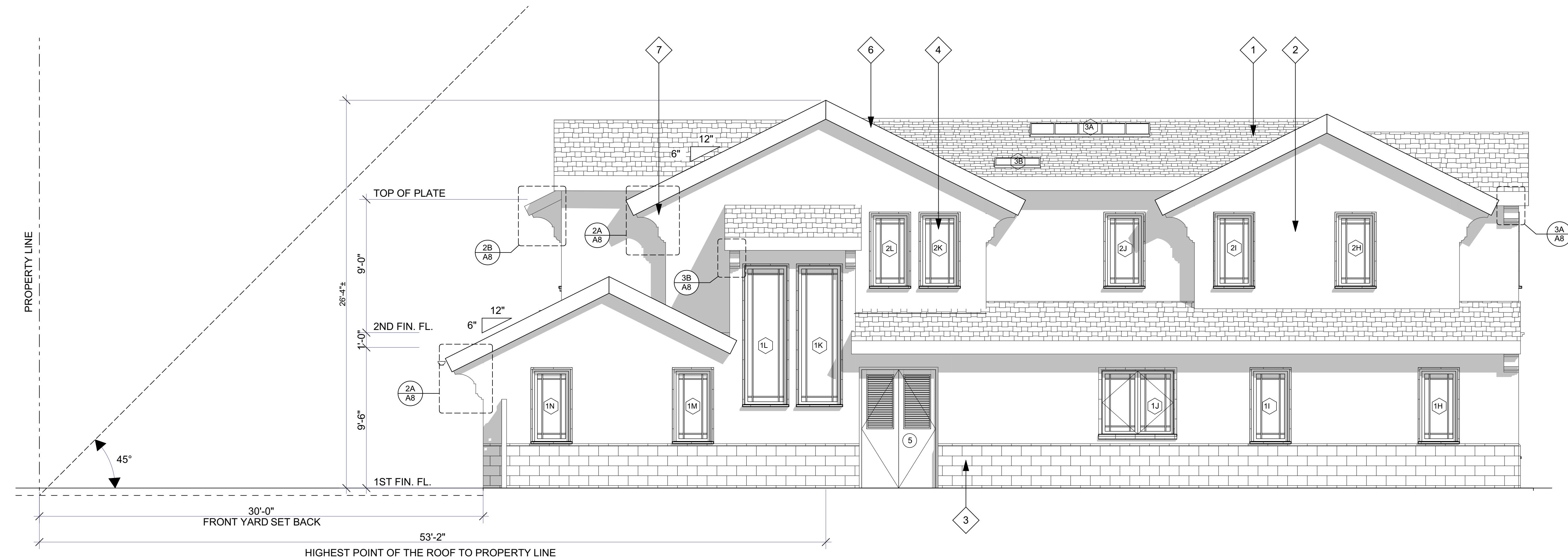
9 WINDOW JAMB DETAIL
SCALE 3"=1'-0"

NEW CUSTOM HOME
ANGUS WONG AND KATIE CHIU
822 ORANGE GROVE PLACE,
SOUTH PASADENA, CA 91030

REV	DATE	DESCRIPTION	BY	CHK

SHEET TITLE

DOOR SCHEDULE AND
DETAILS



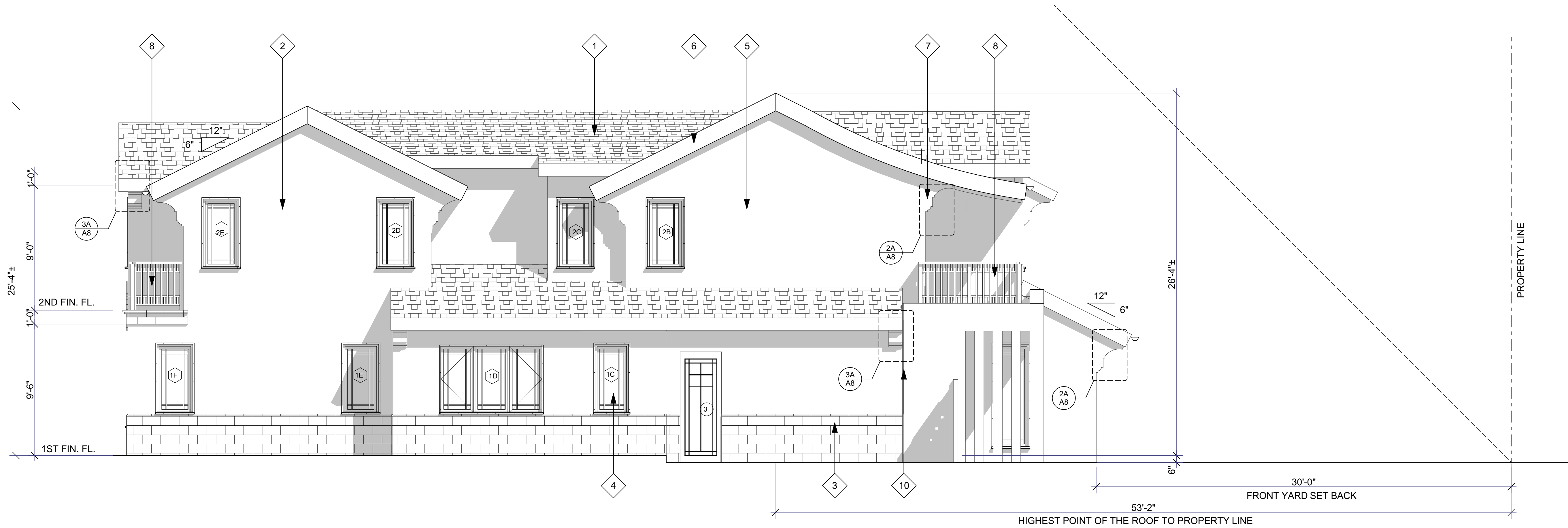
ELEVATION MATERIAL LEGEND

- 1 TESLA SOLAR ROOF TILE - SMOOTH GLASS TILE
ALTERNATIVE:
CLASS "A" EAGLE ROOFING. 5303 SIERRA MADRE CONVENTIONAL TILE.
PROFILE: PONDERSONA.
COLOR: HUES OF CHARCOAL, BLACK STREAKS.
- 2 EXTERIOR THREE COAT STUCCO BY "LA HABRA", SANTA BARBARA MISSION FINISH
- 3 WAINSCOTING - FLAMED GREY GRANITE
ALTERNATIVE- DARK GREY LIMESTONE SLAB
- 4 SIMPLE PRAIRIE GRILL PATTERN WINDOW. COLOR: BRONZE. SEE WINDOW SCHEDULE FOR DETAIL.
- 5 3X3 DECORATED ROOF RAFTERS PAINTED WITH DUNN EDWARDS DE6392 MINK
- 6 METAL ROOF FASCIA PAINTED WITH DUNN EDWARDS DE6392 MINK
- 7 DECORATED ARCHITECTURE CORNICE COVERED WITH SANTA BARBARA MISSION FINISH STUCCO
- 8 42" HIGH GUARDRAIL, SEE 4/A8 FOR DETAIL
- 9 12" HI OUTDOOR SCONCE WALL LIGHTING
- 10 0.5" W REVEAL, PAINTED TO MATCH STUCCO COLOR

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EAST ELEVATION

SCALE: 1/4" = 1'-0"



WEST ELEVATION

SCALE: 1/4" = 1'-0"

REV	DATE	DESCRIPTION	BY	CHK

SHEET TITLE

EAST AND WEST
ELEVATIONS

A-7



SOUTH ELEVATION

SCALE: 1/4" = 1'-0"



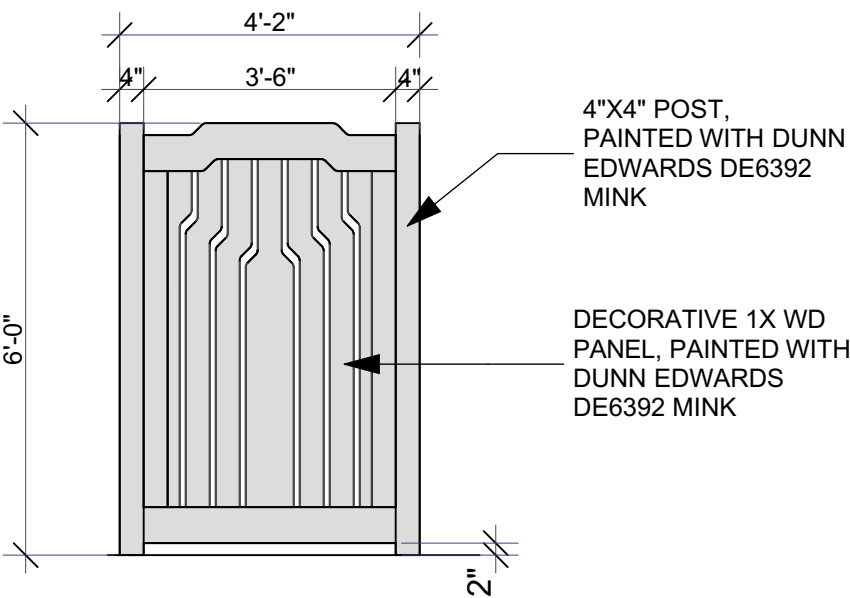
NORTH ELEVATION

SCALE: 1/4" = 1'-0"



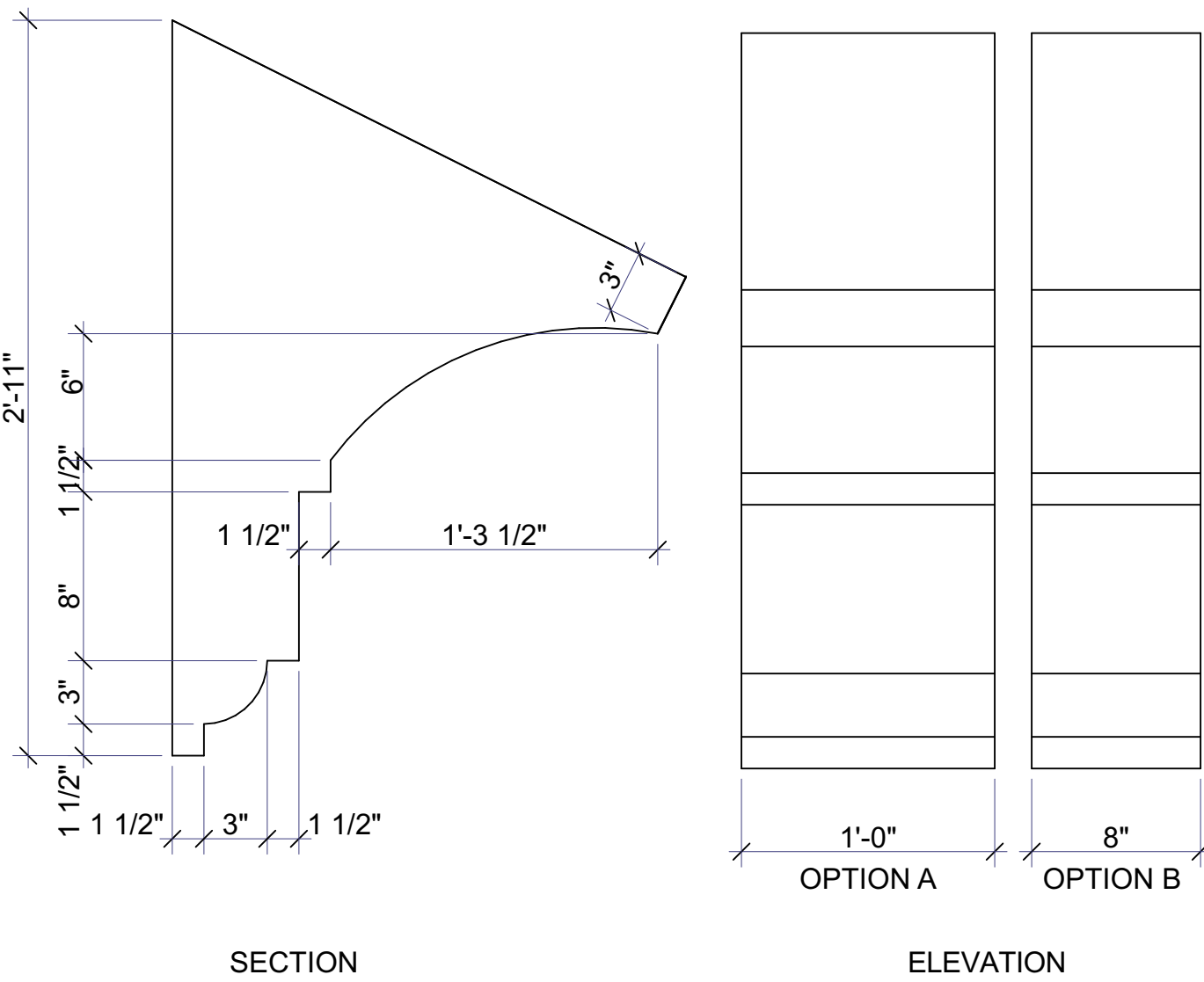
STREET VIEW

SCALE: 1/8" = 1'-0"



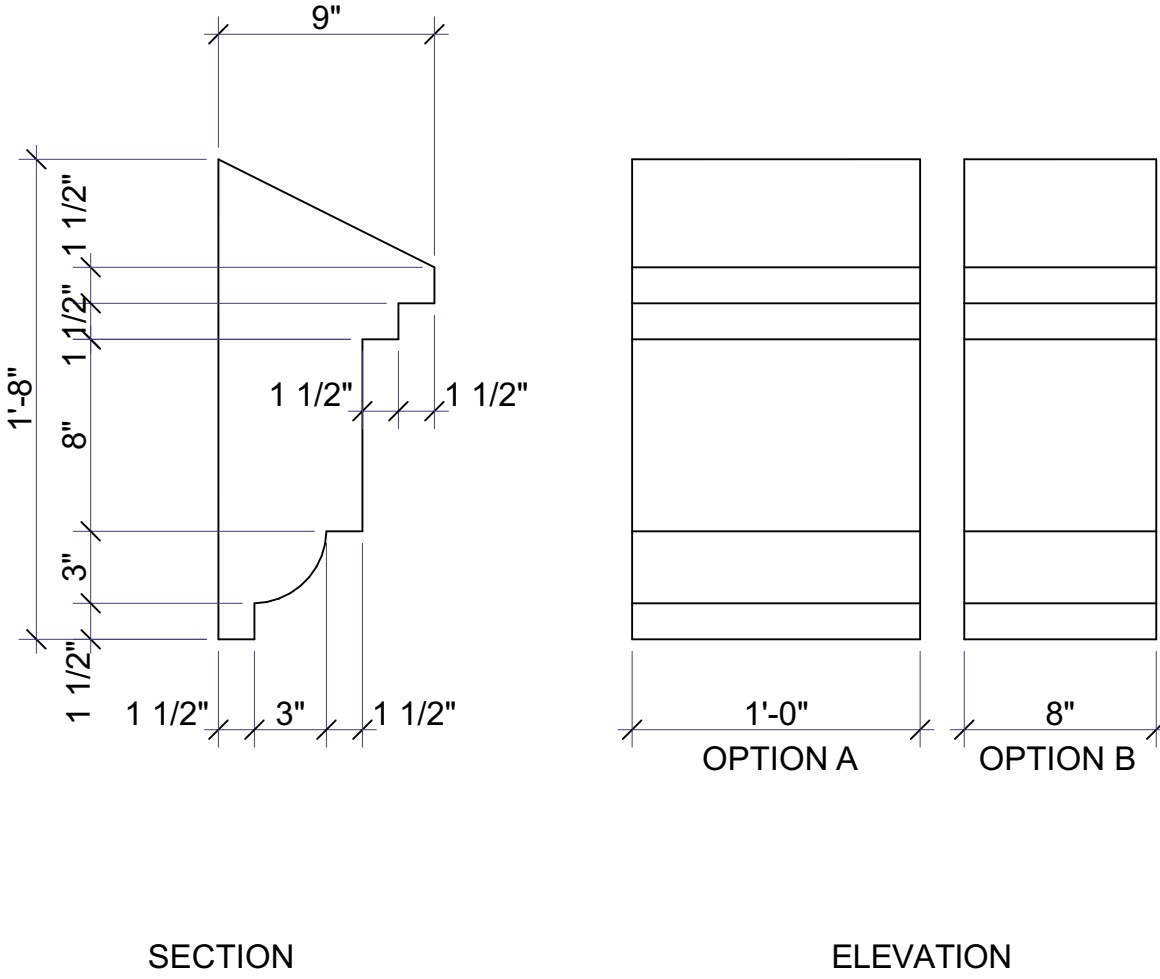
1 GATE DETAIL

SCALE: 3/8"= 1'-0"



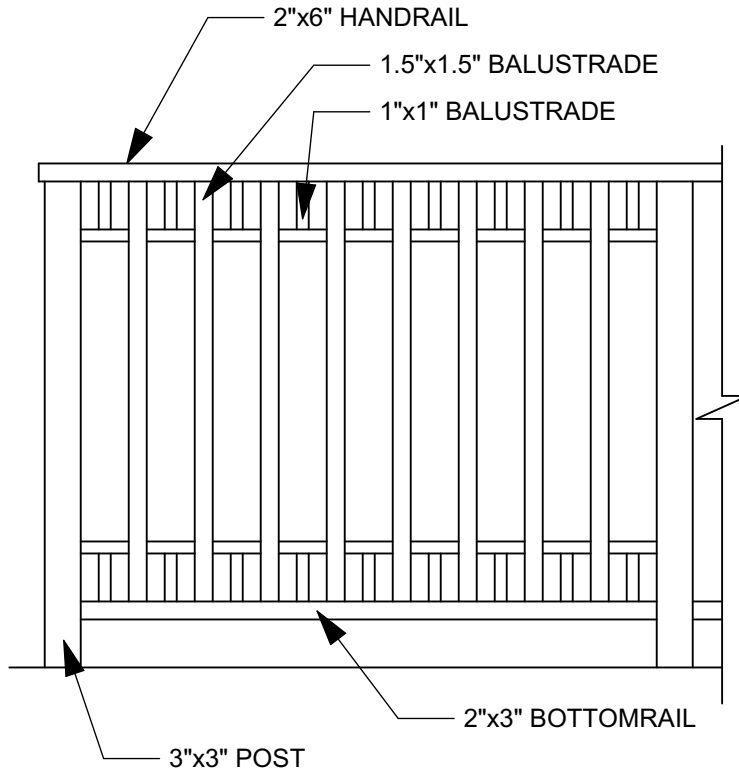
2 CORBEL DETAIL

SCALE: 1 1/2"=1'-0"



3 CORBEL DETAIL

SCALE: 1 1/2"=1'-0"



4 RAILING DETAIL

SCALE: 3/4"= 1'-0"

ELEVATION MATERIAL LEGEND

- 1 TESLA SOLAR ROOF TILE - SMOOTH GLASS TILE
- 2 EXTERIOR THREE COAT STUCCO BY "LA HABRA", SANTA BARBARA MISSION FINISH
- 3 WAINSCOTING - FLAMED GREY GRANITE
- 4 SIMPLE PRAIRIE GRILL PATTERN WINDOW. COLOR: BRONZE. SEE WINDOW SCHEDULE FOR DETAIL.
- 5 3X3 DECORATED ROOF RAFTERS PAINTED WITH DUNN EDWARDS DE6392 MINK
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- 10 0.5" W REVEAL, PAINTED TO MATCH STUCCO COLOR

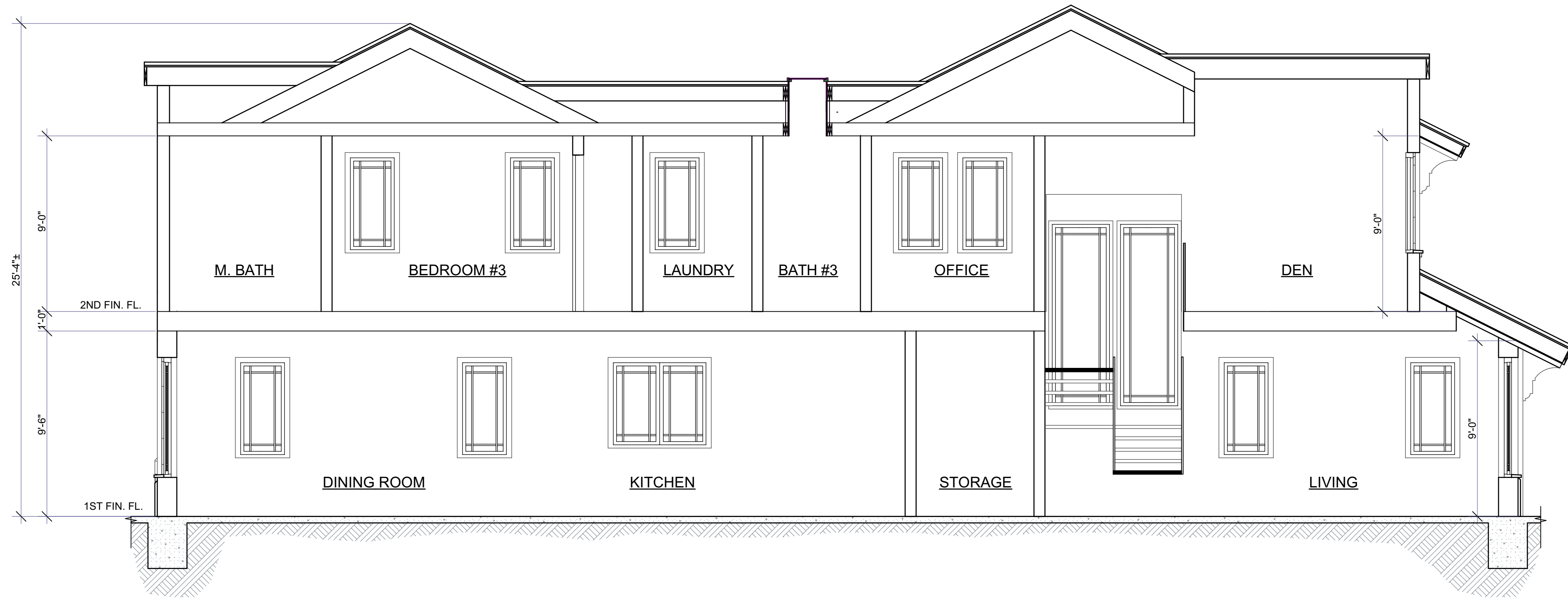
NEW CUSTOM HOME
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SOUTH PASADENA, CA 91030

REV	DATE	DESCRIPTION	BY	CHK

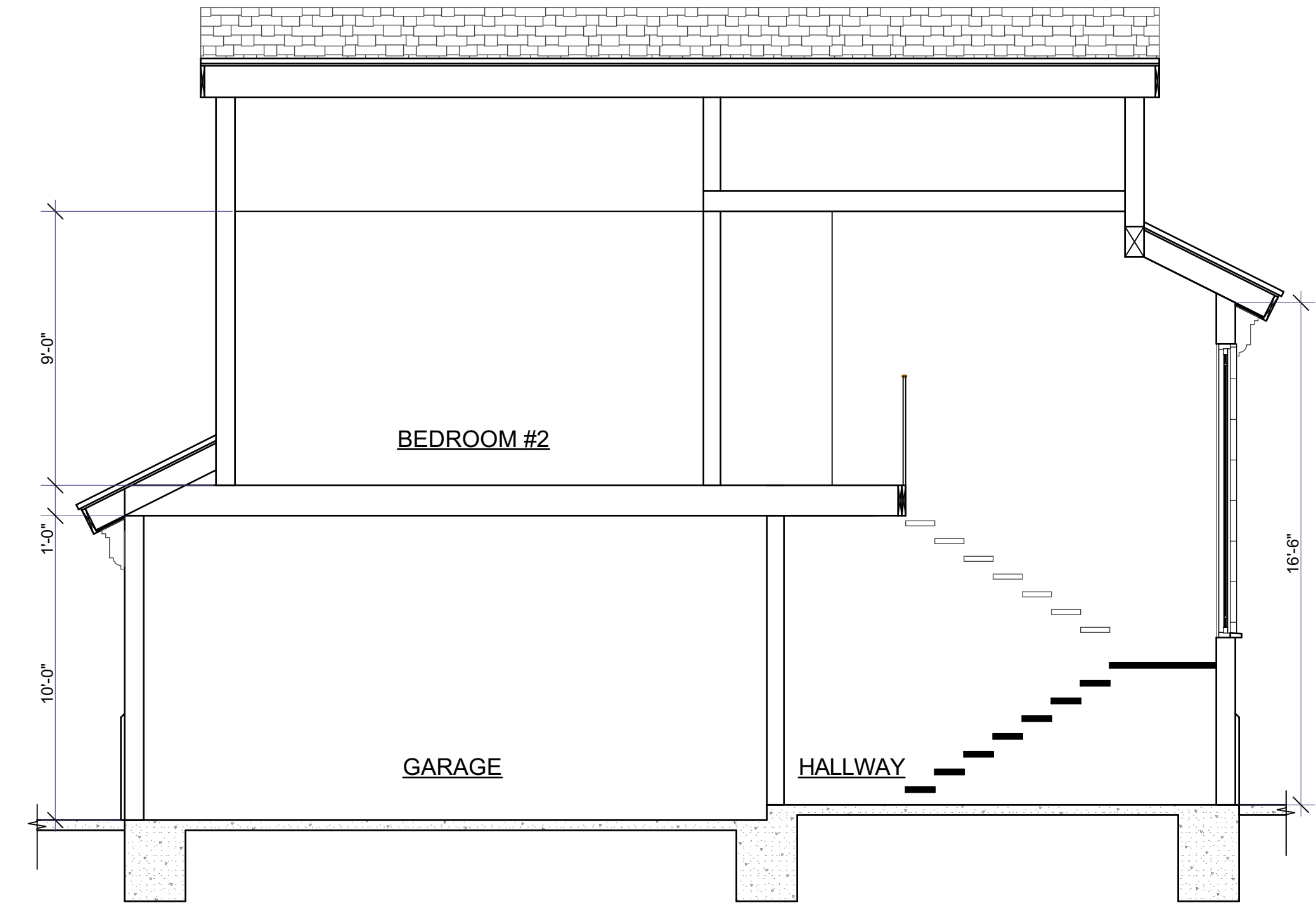
SHEET TITLE

SOUTH AND NORTH ELEVATIONS

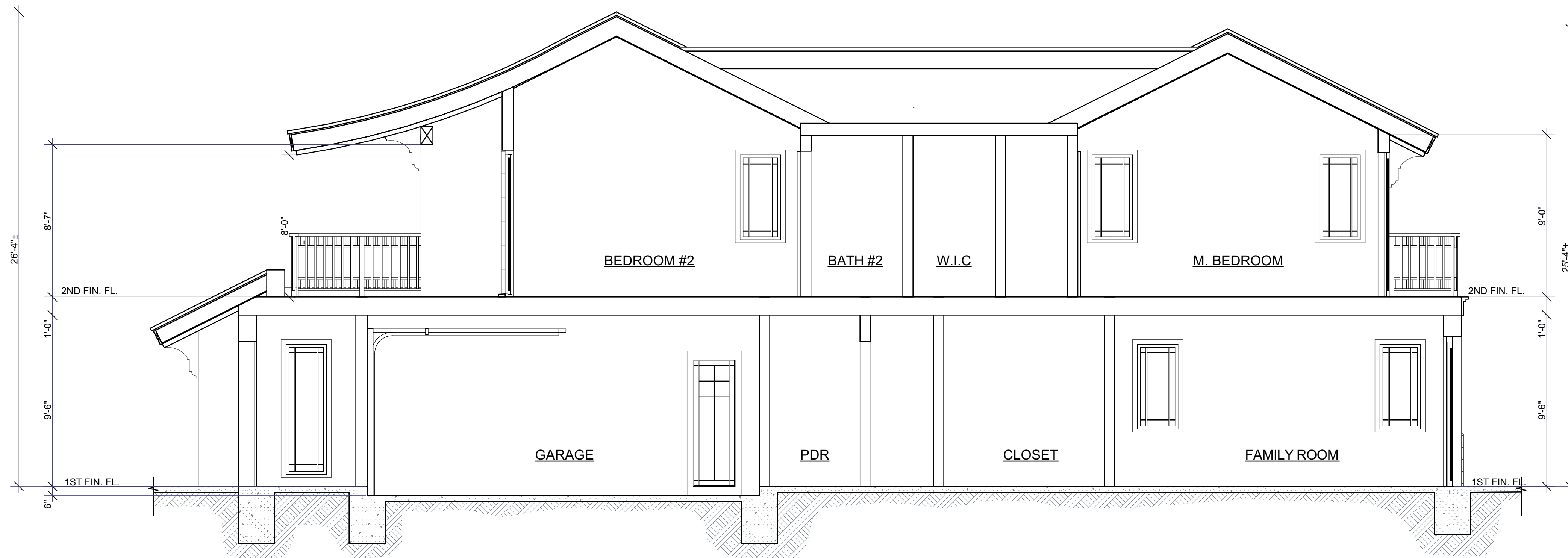
A-8



1 SECTION
SCALE: 1/4" = 1'-0"



2 SECTION
SCALE: 1/4" = 1'-0"



3 SECTION
SCALE: 1/4" = 1'-0"

NEW CUSTOM HOME
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SOUTH PASADENA, CA 91030

REV	DATE	DESCRIPTION	BY	CHK

SHEET TITLE

SECTIONS

A-9

ITEM NO. 3



TESLA SOLAR ROOF TILE
- SMOOTH GLASS TILE



CLASS "A" EAGLE ROOFING.
5303 SIERRA MADRE CONVENTIONAL TILE.
PROFILE: PONDEROSA.
COLOR: HUES OF CHARCOAL, BLACK STREAKS.



12"x24"x3/4" FLAMED GREY
GRANITE (OR LIMESTONE) SLAB @
WAINSCOTING

HONED GREY GRANITE (OR
LIMESTONE) SLAB @ WINDOW
SILL/JAMB/HEAD



SIMPLE PRAIRIE GRILL
PATTERN WINDOW.
COLOR: DARK BRONZE
MANUFACTURE: JELD-
WEN OR SIMILIAR



VERTICAL T&G GARAGE DOOR.
COLOR: DARK BRONZE



WOOD GRILL / ROOF RAFTER / FASCIA
PAINTED WITH DUNN EDWARDS DE6392
MINK.



10" WEAVER CHOCOLATE
BRONZE OUTDOOR
ENTRANCE WALL SCENCE
OR SIMILIAR



CONTEMPORARY ENTRY DOOR
WITH SIDELITE
COLOR: DARK BRONZE

NEW CUSTOM HOME

822 ORANGE GROVE PLACE,
SOUTH PASADENA, CA 91030



Design Review Board Agenda Report

ITEM NO. 4

DATE: April 1, 2021

TO: Design Review Board

FROM: Kanika Kith, Planning Manager

SUBJECT: **Incorporation of Public Arts in Development Project Review**

Recommendation

Discuss and provide direction.

Discussion

At the Design Review Board meeting of March 4, 2021, the Board expressed a desire to explore approaches for encouraging private development projects to incorporate public arts on-site prior to obtaining approval for development from the Board. The Board requested this item to be included on the agenda for discussion.

Under the current process, projects subject the Public Art Development Fee Program are reviewed and approved by the Public Art Commission after the development project is approved by the Planning Commission, Cultural Heritage Commission, or Design Review Board. After a project is approved for development, the applicant may provide public art on-site at 1% of the total building valuation or pay an in-lieu fee 1.5% of the total building valuation into the Public Art Development Fee Program. If the applicant provides the public art on-site, then the project would go before the Public Art Commission for consideration and approval. If the applicant pays the in-lieu fee, the project would not go before the Public Art Commission.

At the Public Art Commission meeting on March 24, 2021, the Commission expressed an interested in exploring approaches for encouraging development projects to incorporate public arts on-site.

If the Board is considering having development projects go to the Public Art Commission prior to entitlement approvals, staff recommends further analysis to determine with type of projects should and should not go. For example, housing development projects subject to Senate Bill 330 are limited to five public meetings, and going to the Public Art Commission meeting prior to entitlement approval will be counted toward one of the five meetings. From an economic development stand point, it could slow down the process for new businesses to be established or existing businesses to be renovated. Therefore, staff recommends further research of what other cities are doing, issues they encountered, what can be improved, and how we can apply that to our process.

Background

On October 17, 2018, the City Council approved Ordinance No. 2325 to establish a Public Art Development Fee Program. The following projects are subject to Public Art requirements:

ITEM NO. 4

DRB Agenda
March 24, 2021

Public Arts and Development Project Review

- Residential developments of four or more units with a building valuation exceeding \$500,000 as determined by the Building Official; and
- Commercial and industrial building projects with a building valuation exceeding \$500,000 as determined by the Building Official; and
- Remodeling projects of existing commercial or industrial buildings, when the remodeling has a building valuation exceeding \$250,000 as determined by the Building Official; and
- Remodeling projects of residential buildings of four or more units or complexes of four or more units, whether exterior or interior, when the remodeling has a building valuation exceeding \$250,000 as determined by the Building Official.

Developments or modifications of these projects are exempted from Public Art requirements:

1. Affordable housing
2. Performance arts facilities
3. Museums
4. Private non-profit and institutional uses
5. Interior remodel or tenant improvements of any type
6. National disaster repairs or rebuilding required by code

Projects that are subject to the Public Art Development Fee will be required to allocate a percentage of the total building valuation towards the following:

- 1% for on-site installation of approved site-specific public artwork, cultural, or artistic facilities equal to or exceeding the value of the contribution amount; or
- 1.5% in-lieu fee to the City's Public Art Fund.

Projects to be funded from the Public Art Fund shall consist of artwork placed in public places or incorporated into public buildings, art education programs, art display programs or performances, or the allocation of space such as a civic gallery or theater space.