

CITY OF SOUTH PASADENA DESIGN REVIEW BOARD REGULAR MEETING AGENDA

Thursday, September 2, 2021 at 6:30 p.m.

South Pasadena Design Review Board Statement of Civility

As your appointed governing board we will treat each other, members of the public, and city employees with patience, civility and courtesy as a model of the same behavior we wish to reflect in South Pasadena for the conduct of all city business and community participation. The decisions made tonight will be for the benefit of the South Pasadena community and not for personal gain.

NOTICE ON PUBLIC PARTICIPATION & ACCESSIBILITY

The South Pasadena Design Review Board Meeting for September 2, 2021 will be conducted as an In-Person Hybrid Meeting from the Mayor's Conference Room, Amedee O. "Dick" Richards, Jr., located at 1424 Mission Street, South Pasadena and on Zoom. Please be advised that pursuant to the Executive Order(s), and to ensure the health and safety of the public, staff, and the Design Review Board, as the Mayor's Conference Room will be open to the public for the meeting and members of the public may attend and/or participate in the in-person meeting; all are kindly reminded to follow Los Angeles County Public Health and CDC regulations and guidelines that are in place and may be posted. The In-Person Hybrid meeting will be conducted live in the Mayor's Conference Room and on Zoom.

The Meeting will be available as follows:

- In Person: Mayor's Conference Room, 1424 Mission Street.
- See web link: https://www.southpasadenaca.gov/government/boards-commissions/design-review-board/design-review-board-agendas-and-minutes and
- Via Zoom:

https://us06web.zoom.us/j/87366793969?pwd=Tmk5eXcrQzVKNE9sZmIyYzd2bWtUZz09

Public Comments and participation may be made as follows:

- Written Comment submitted by no later than meeting day, 12:00 PM, deadline via the website.
- In Person Hybrid Meeting: Mayor's Conference Room, 1424 Mission Street.
- Via Zoom by "raising hand" (see Public Comment Section below for instructions.)

To maximize public safety while still maintaining transparency and public access, members of the public can observe the meeting via Zoom in one of the three methods below. 1. Go to the Zoom website and Join meeting 873 6679 3969, or 2. Click on the following unique Zoom meeting link: https://us06web.zoom.us/j/87366793969?pwd=Tmk5eXcrQzVKNE9sZmIyYzd2bWtUZz09

CALL TO ORDER: Chair Samantha Hill

ROLL CALL: Joe Carlson, Mark Smeaton, Kay Younger, Melissa Hon

Tsai, Vice-Chair, and Samantha Hill, Chair

COUNCIL LIAISON: Diana Mahmud, Mayor, Council Liaison

STAFF PRESENT: Malinda Lim, Associate Planner

APPROVAL OF AGENDA

Majority vote of the Board to proceed with Board business.

DISCLOSURE OF SITE VISITS AND EX-PARTE CONTACTS

Disclosure by Board of site visits and ex-parte contact for items on the agenda.

PUBLIC COMMENT AND SUGGESTIONS (Public Comments are limited to 3 minutes)

The Design Review Board welcomes public input. If you would like to comment on an agenda item, members of the public may participate by means of one of the following options: Option 1: Participate in-person at the Mayor's Conference Room. Option 2: Participants will be able to "raise their hand" using the Zoom icon during the meeting, and they will have their microphone un-muted during comment portions of the agenda to speak for up to 3 minutes per item. Option 3: Email public comment(s) to PlanningComments@southpasadenaca.gov. Public Comments received in writing will not be read aloud at the meeting, but will be part of the meeting record. Written public comments will be uploaded online for public viewing under Additional Documents. There is no word limit on emailed Public Comment(s). Please make sure to indicate: 1) Name (optional), and 2) Agenda item you are submitting public comment on. 3) Submit by no later than 12:00 p.m., on the day of the Design Review Board meeting. NOTE: Pursuant to State law, the Design Review Board may not discuss or take action on issues not on the meeting agenda, except that members of the Design Review Board or staff may briefly respond to statements made or questions posed by persons exercising public testimony rights (Government Code Section 54954.2). Staff may be asked to follow up on such items.

PUBLIC HEARING

1. Project No. 2381-DRX – Design Review for a façade remodel and 508 square-foot addition to an existing 1,815 square-foot single-family home located at 1659 Via Del Rev (APN: 5310-001-058)

Recommendation

Approve, subject to conditions of approval.

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None

DISCUSSION ITEMS

None

ADMINISTRATION

- 2. Comments from City Council Liaison
- 3. Comments from Board Members
- 4. Comments from Subcommittees
- 5. Comments from Staff

ADJOURNMENT

6. Adjourn to the regular Design Review Board meeting scheduled for October 7, 2021 at 6:30 p.m.

PUBLIC ACCESS TO AGENDA DOCUMENTS AND BROADCASTING OF MEETINGS

Design Review Board meeting agenda packets are available online at the City website: https://www.southpasadenaca.gov/government/boards-commissions/design-review-board/design-review-board-agendas-and-minutes

Agenda related documents provided to the Design Review Board are available for public review on the City's website. Additional documents, when presented to Design Review Board, will also be uploaded and available on the City's website. The meeting will be broadcast live on the City's website via Zoom, and a recording of the meeting will be available on the website within 48 hours of adjournment.

AGENDA NOTIFICATION SUBSCRIPTION

Individuals can be placed on an email notification list to receive forthcoming agendas by emailing CityClerk@southpasadenaca.gov or calling the City Clerk's Division at (626) 403-7230.

ACCOMMODATIONS

The City of South Pasadena wishes to make all of its public meetings accessible to the public. If special assistance is needed to participate in this meeting, please contact the City Clerk's Division at (626) 403-7230. Upon request, this agenda will be made available in appropriate alternative formats to persons with disabilities. Notification at least 48 hours prior to the meeting will assist staff in assuring that reasonable arrangements can be made to provide accessibility to the meeting (28 CFR 35.102-35.104 ADA Title II).

I declare under penalty of perjury that I posted this notice of agenda on the bulletin board in the courtyard of City Hall at 1414 Mission Street, South Pasadena, CA 91030, and on the City's website as required by law.

8/26/21

Elaine Serrano,

Date

Administrative Secretary



Design Review Board Agenda Report

ITEM NO. __1

DATE: September 2, 2021

FROM: Margaret Lin, Acting Planning Director

PREPARED BY: Malinda Lim, Associate Planner

SUBJECT: Project No. 2381-DRX – Design Review for a façade remodel and a 508 square-

foot addition to the rear of a single-family home with an attached 2 car-garage

at 1659 Via Del Rey (APN: 5310-001-058)

Recommendation

Staff recommends the Design Review Board approve the Design Review Permit, subject to conditions of approval.

Project Description

The applicant has requested a Design Review Permit to remodel an existing single-story, 1,815 square-foot home located at 1659 Via Del Rey. The project includes a façade remodel and a 508 square foot addition to the rear of the house. The proposed addition will provide another bedroom and will not be visible to the street. The proposed remodel includes:

- Replacement of asphalt shingle roof with a Mcelroy metal roof in slate gray;
- Removal of existing vertical panel siding and replaced with horizontal wood shiplap siding;
- Removal of existing stucco throughout the home and replaced with a smooth stucco finish over the entire building;
- Installation of new Fleetwood aluminum windows; and
- Stucco raised planter boxes in front of the house.

The project site is located on the north side of Via Del Rey between Indiana Avenue and Cam Cerrado and surrounded by single-family homes. **Figure 1** below is an aerial view of the project site outlined in green and **Figure 2** is a street view of the residence.

1659 Via Del Rey Project No. 2381-DRX

Figure 1: Aerial View of Project Site



Figure 2: Street View



1659 Via Del Rey Project No. 2381-DRX

PROJECT ANALYSIS

General Plan Consistency

The General Plan land use designation of the site is Altos De Monterey Residential which allows one single-family unit per lot. The proposed project does not involve the addition of another dwelling unit, and therefore, it is consistent with the General Plan.

The proposed project will promote Goal No. 19 of the General Plan as follows:

Goal 19: To ensure that new development within hillside areas of South Pasadena does not adversely impact the character of the city.

The proposed project is consistent with the General Plan, the Altos de Monterey Overlay standards, and the City's adopted Design Guidelines for hillside sites.

The design and materials used on the addition and street facing facade upgrades the existing architectural style of the home. The proposed addition was designed in consideration of the character and scale of the existing single-family developments in the vicinity. The mass and scale of the proposed project is well proportioned due to the design, its respect of the topography, and it is consistent with recommended design techniques for new hillside structures in established residential neighborhoods, therefore, it is consistent with the General Plan.

Zoning Code Compliance

Parking

The project site is governed by the Altos De Monterey Overlay District (AM) which is intended for the development of single family homes with specific setbacks for each lot. The proposed project conforms to the development standards of the AM zone such as building height, floor area ratio (FAR), and setbacks.

Pursuant SPMC Division 36.340, the standards from the AM Overlay District Zoning Code Section 250.030 apply to the proposed project. **Table 1** below gives a breakdown of the existing and proposed property and its compliance with Section 250.030.

Allowed/Required **Existing Proposed** Front: No Change Setbacks Front: 25 feet Front: 27 feet 5 inches Rear: 25 feet Rear: 71 feet 8 inches Rear: 71 feet 8 inches (Each lot in this Sides: 5 feet Side (West): 15 feet 8 inches Sides: No Change zone has its own specific setbacks) Side (East): 10 feet 3 inches Maximum Height 16 feet 10 inches No Change 25 feet Lot Coverage 40% 12% 15% Floor Area Ratio 0.15 0.35 0.12 Required Covered No Change 2 spaces 2 spaces, carport (existing) Parking Required Guest No Change 1 Uncovered 1 uncovered (existing)

Table 1: AM Zone Development Standards

1659 Via Del Rey Project No. 2381-DRX

The design and size of the proposed addition is in compliance with South Pasadena Zoning Code Section 250.030AM Overlay District (see **Figure 3** below).

The existing character of the surrounding neighborhood consists of single-family residential; the proposed project does not change the use of a single family residence for the property. A small addition to the rear of the home will not be visible from the street and was designed to match the existing architecture.

The proposed project is located with sufficient surrounding clearance to avoid any potential impacts on neighboring properties. The mass and scale of the proposed project is well proportioned due to the design, its respect of the topography, and it is consistent with recommended design techniques for existing homes in established residential neighborhoods.

Figure 3: Existing & Proposed Site Plan (E)LANDSCAPE (E)POOL VIA DEL REY (E)LANDSCAPE (E)HARDSCA (E)LANDSCAPE (E)SITE PLAN (E)LANDSCAPE (E)POOL (E)LANDSCAPE MA DEL REY (E)LANDSCAPE (N)ADDITION (E)LANDSCAPE REMODELING (N)SITE PLAN

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1659 Via Del Rey Project No. 2381-DRX

Residential Design Review

The purpose of Design Review is to encourage high-quality design and construction in the City. The Design Guidelines for Enhancing Existing Non-Historic Residences (Section III) applies to this property as it is a single-family residence. The goal of this section of the guidelines is to encourage compatible alterations that will not impair the visual cohesiveness of the neighborhood.

Façade Changes

Currently, the building is very monolithic in form and color (**Figure 2**). The project includes modifications to all elevations with the predominantly visible change to the front (south) elevation and side (east) elevations. All the existing wood siding will be removed; the entire exterior finish of the home will have a smooth stucco finish.

On the south (front) elevation, the proposed design involves the addition of horizontal shiplap siding to provide visual interest and to help break up the existing building plane. The shingle roof will be replaced with a metal roof in slate gray and the garage door will be replaced with a modern steel and glass roll up door (**Figure 8**). The small raised brick planter boxes will be stuccoed over near the front entry. In addition, all existing windows will be replaced with dual glazed aluminum windows.

The proposed smooth stucco exterior finish is used to harmonize with the surrounding neighborhood buildings (**Figure7**). The design provides a variety of building materials, textures, and colors; consistent with façade treatments in the design guidelines for existing non-historic residences.

(E) ASPHALT SHINGLES

(E) VERTICAL PARELS

(N) METAL ROOF

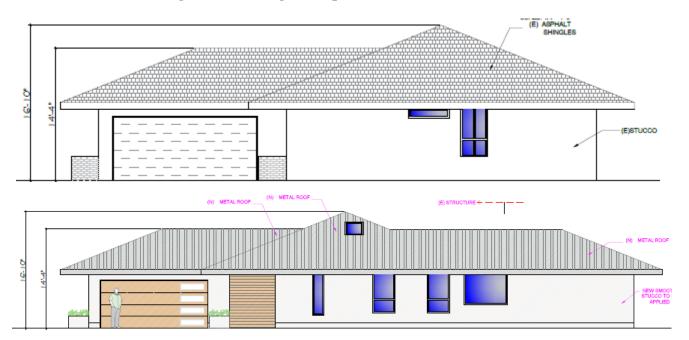
Figure 4: Existing & Proposed South Elevation (Front)

1659 Via Del Rey Project No. 2381-DRX

Figure 5: Existing & Proposed West Elevation (Side)



Figure 6: Existing & Proposed East Elevation (Side)



1659 Via Del Rey Project No. 2381-DRX

Figure 7: Existing & Proposed North Elevation (Rear)



Figure 8: Renderings



1659 Via Del Rey Project No. 2381-DRX



Neighborhood Compatibility

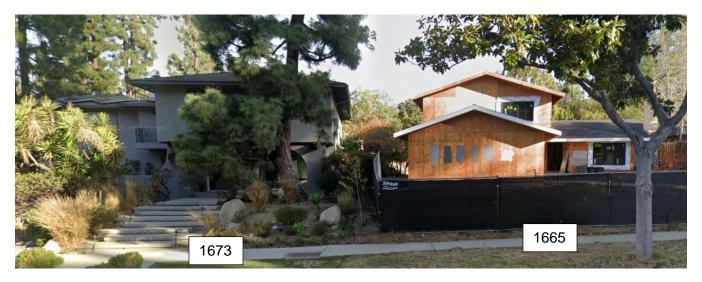
The character of the surrounding neighborhood consists of single-family residential buildings designed in a mixture of architectural styles in single and two-story structures. In **Figure 9** below, photographs of the project site and the neighboring properties depict hip & gable roofs and wood panel & stucco walls. For the neighboring house, 1665 Via Del Rey west of the project site, it was approved for the removal of wood paneling with stucco.

The proposed project will remove the existing wood siding and provide a new stucco finish which is one of the primary exterior materials used on the surrounding homes. New architectural features such as an accent wall (featuring a color/design which stands out from the rest of the other walls around it), it helps to reduce the mass of the existing structure and provide visual interest. Overall, the proposed project will be compatible with the neighborhood.



Figure 9: Photos of Neighboring Properties

1659 Via Del Rey Project No. 2381-DRX





Required Design Review Findings

In order to approve a Design Review application, the DRB shall first find that the design complies with South Pasadena Municipal Code (SPMC) Section 36.410.040(I):

- 1. Is consistent with the General Plan, any adopted design guidelines and any applicable design criteria for specialized areas (e.g., designated historic or other special districts, plan developments, or specific plans);
 - The project site has a General Plan land use designation of Low Density Residential. The proposed home is consistent with the General Plan and the City's adopted Design Guidelines for new single-family residences. The proposed home was designed with consideration of the character of the existing single-family developments in the vicinity.
- 2. Will adequately accommodate the functions and activities proposed for the site, will not unreasonably interfere with the use and enjoyment of neighboring, existing, or future developments, and will not create adverse pedestrian or traffic hazards;

DRB Agenda September 2, 2021 1659 Via Del Rey Project No. 2381-DRX

The proposed addition will accommodate single-family functions and activities proposed for the site. The remodeled home will be an adequate size and space for residential living. The proposed addition to the home meet required setbacks and height limits. The home will not interfere with the use and enjoyment of neighboring, existing, or future developments. The proposed home is sited on a currently developed lot and sits within a developed single-family residential neighborhood. Thus, the proposed project, as conditioned, will not impose adverse pedestrian or traffic hazards, nor will the proposed project interfere with the use and enjoyment of neighboring, existing or future developments.

3. Is compatible with the existing character of the surrounding neighborhood and that all reasonable design efforts have been made to maintain the attractive, harmonious, and orderly development contemplated by this Section, and the General Plan; and

The existing character of the surrounding neighborhood consists of single-family residential and includes a mix of one and two-story single-family homes of various architectural styles. The proposed remodel provides a more modern style. The material palate includes a smooth stucco finish, horizontal wood shiplap siding, metal seamless roof, and steel garage door. The overall design of the home will maintain an attractive, harmonious, and orderly development as contemplated by this Section, and the General Plan.

4. Would provide a desirable environment for its occupants and neighbors, and is aesthetically of good composition, materials, and texture that would remain aesthetically appealing with a reasonable level of maintenance and upkeep.

The new architectural details used will contribute to the visual continuity of the neighborhood. Thus, the new project would provide a desirable environment for its occupants and neighbors, and is aesthetically of good composition, materials, and texture that would remain aesthetically appealing with a reasonable level of maintenance and upkeep.

Required Altos De Monterey Findings

In order to approve a Design Review application, the DRB shall find that the design complies with South Pasadena Municipal Code (SPMC) Section 36.250.030(E) Altos de Monterey zone:

1. The scale of the proposed building, design, height and mass in relation to the street frontage, to all setbacks and surrounding existing property;

The proposed addition is to the rear of the house which will not be visible from the street and it meets all the development standards for the Altos de Monterey zone.

2. The relation of existing adjoining building heights and their views;

The existing single-story and single-family home sits on the flatter portion of a upslope lot therefore it does block neighboring views.

3. The relation of proposed building heights to the exiting topography;

The proposed addition is a single-story and the height does not exceed the existing height of the house.

4. The impact on surrounding properties;

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The proposed addition will accommodate single-family functions and activities proposed for the site. The remodeled home will be an adequate size and space for residential living. The proposed addition to the home meet required setbacks and height limits. The home will not interfere with the use and enjoyment of neighboring, existing, or future developments. The proposed home is sited on a currently developed lot and sits within a developed single-family residential neighborhood. Thus, the proposed project, as conditioned, will not impose adverse pedestrian or traffic hazards, nor will the proposed project interfere with the use and enjoyment of neighboring, existing or future developments.

5. The obstruction of sunlight to the existing adjoining residences.

The home is situated at the lowest portion of an upslope property and is a single-story home with the highest point at 16 feet 10 inches. The proposed addition is a single-story and the height does not exceed the existing height of the house. Therefore the proposed project will not obstruct sunlight to adjoining residences.

Staff recommends that the Design Review Board make the findings for approval for Design Review and the Altos de Monterey zone guidelines as described, pursuant to South Pasadena Municipal Code Section 36.410.040(I) and 36.250.030(E).

Alternatives to Consider

If the Board does not agree with staff's recommendation, the following options are available:

- 1. The Design Review Board can Approve with condition(s) added; or
- 2. The Design Review Board can Continue the project to address comments discussed; or
- 3. The Design Review Board can Deny the project.

Next Steps

- 1. If approved, either conditionally or as submitted, the applicant will proceed through the Plan Check Process with Building and Safety. If any Conditions of Approval are proposed or added by the Board, they must be met prior to submittal of Plan Check.
- 2. If denied, the Design Review Board's decision can be appealed by the applicant to the Planning Commission.

Fiscal Impact

Not Applicable.

Environmental Analysis

In accordance with the California Environmental Quality Act (CEQA), the project qualifies for a Categorical Exemption under Section 15301, Class 1 Existing Facilities. Class 1 exemption includes additions to existing structures provided that the addition will not result in an increase of more than 50 percent of the floor area of the structures before the addition. The proposed project involves the remodel of a single-family residence within an established residential neighborhood; therefore the project is categorically exempt.

Public Notification of Agenda Item

The public was made aware that this item was to be considered this evening by virtue of its inclusion in the publicly noticed agenda and posting of the same agenda and reports on the City's website. A notice

DRB Agenda September 2, 2021 1659 Via Del Rey Project No. 2381-DRX

was published in the *South Pasadena Review* on August 20, 2021, and said notice was mailed to property owners within a 300-foot radius of the project site on August 19, 2021.

Attachments

- 1. Conditions of Approval
- 2. Renderings
- 3. Development Plans

ATTACHMENT 1

Conditions of Approval

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CONDITIONS OF APPROVAL

Design Review

PROJECT NO. 2381 – DRX 1659 Via Del Rey (APN: 5310-001-058)

The following approvals are granted as described below and as shown on the development plans submitted to and approved by the Design Review Board on September 2, 2021:

Design Review for a façade remodel and a 508 square-foot addition to the rear of an existing 1,815 square-foot single-family home.

Note: As a convenience to the applicant, the development requirements from applicable Departments/Agencies are listed herein. These requirements list what the applicant will be required to comply with in order to receive a Building Permit, a Certificate of Occupancy, or other Department-issued entitlement.

PLANNING DIVISION:

- P1. Approval by the Design Review Board does not constitute a building permit or authorization to begin any construction. An appropriate permit issued by the South Pasadena Building Division must be obtained prior to construction, enlargement, relocation, conversion or demolition of any building or structure on any of the properties involved with the Design Review and Hillside Development Permit.
- P2. All other requirements of any law, ordinance, or regulation of the State of California, City of South Pasadena, and any other government entity shall be complied with.
- P3. Compliance with and execution of all conditions listed herein shall be necessary prior to obtaining any occupancy inspection clearance and/or prior to obtaining any occupancy clearance.
- P4. The applicant and each successor in interest to the property which is the subject of this project approval, shall defend, indemnify and hold harmless the City of South Pasadena and its agents, officers and employees from any claim, action or proceeding against the City or its agents, officers or employees to attack, set aside, void or annul any approval of the City, City Council or Planning Commission concerning this use.
- P5. The construction site and the surrounding area shall be kept free of all loose materials resembling trash and debris in excess of that material used for immediate construction purposes. Such excess may include, but is not limited to: the accumulation of debris, garbage, lumber, scrap metal, concrete, asphalt, piles of earth, salvage materials, abandoned or discarded furniture, appliances or other household fixtures.
- P6. The hours of construction shall be limited to the following: 8:00 am and 7:00pm Monday through Friday, 9:00am and 7:00pm Saturday, and construction on Sundays limited to 10:00am to 6:00pm.
- P7. During construction, the clearing, grading, earth moving, or excavation operations that cause excessive fugitive dust emissions shall be controlled by regular water or other dust preventive measures using the following procedures:
 - a. All material excavated or graded shall be sufficiently watered to prevent excessive

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- amounts of dust. Watering shall occur at least twice daily with complete coverage, preferable in the late morning and after work is done for the day;
- b. All material transported on-site or off-site shall be either sufficiently watered or securely covered to prevent excessive amounts of dust;
- c. The area disturbed by clearing, grading, earth moving, or excavation operations shall be minimized so as to prevent excessive amounts of dust; and
- d. Visible dust beyond the property line emanating from the project shall be prevented to the maximum extent feasible.
- P8. A construction sign with contact information for the contractor shall be posted on-site during construction.

BUILDING AND SAFETY DIVISION:

- B1. Prior to the application of a building or grading permit, a preliminary Geotechnical report that specifically identifies and proposes mitigation measures for any soils or geological problems that may affect site stability or structural integrity shall be approved by the Building Official or his/her designee. The applicant shall reimburse the City for all costs incurred to have the project soils report evaluated by Building Official or his/her designee or by an independent, third-party, peer-level soils and /or geological engineer. Approval letter of the geotechnical report review shall be copied and pasted on the first sheet of building and grading plans.
- B2. The second sheet of building and grading plans is to list all conditions of approval and to include a copy of the Planning Commission Decision letter. This information shall be incorporated into the plans prior to the first submittal for plan check.
- B3. The initial plan check fee will cover the initial plan check and one recheck only. Additional review required beyond the first recheck shall be paid for on an hourly basis in accordance with the current fee schedule.
- B4. School Development Fees shall be paid to the School District prior to the issuance of a building permit.
- B5. Park Impact Fee to be paid at the time of permit issuance.
- B6. Per Chapter 16A of the City of South Pasadena Municipal Code, Growth fee to be paid at the time of permit issuance.
- B7. In accordance with paragraph 5538(b) of the California Business and Professions Code, plans are to be prepared and stamped by a licensed architect.
- B8. Structural calculations prepared under the direction of an architect, civil engineer or structural engineer shall be provided.
- B9. A geotechnical and soils investigation report is required, the duties of the soils engineer of record, as indicated on the first sheet of the approved plans, shall include the following:
 - a. Observation of cleared areas and benches prepared to receive fill;
 - b. Observation of the removal of all unsuitable soils and other materials;
 - c. The approval of soils to be used as fill material;

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- d. Inspection of compaction and placement of fill;
- e. The testing of compacted fills; and
- f. The inspection of review of drainage devices.
- B10. The geotechnical and soils engineer shall review and approve the project grading and foundation plans to show compliance that their recommendations have been properly implemented.
- B11. The owner shall retain the soils engineer preparing the Preliminary Soils and/or Geotechnical Investigation accepted by the City for observation of all grading, site preparation, and compaction testing. Observation and testing shall not be performed by another soils and/or geotechnical engineer unless the subsequent soils and/or geotechnical engineer submits and has accepted by Building Division, a new Preliminary Soils and/or Geotechnical Investigation.
- B12. Project shall comply with the CalGreen Residential mandatory requirements.
- B13. If required by Fire Department, all fire sprinkler hangers must be designed, and their location approved by an engineer or an architect. Calculations must be provided indicating that the hangers are designed to carry the tributary weight of the water filled pipe plus a 250 pound point load. A plan indication this information must be stamped by the engineer or the architect and submitted for approval prior to issuance of the building permit.

DEPARTMENT OF PUBLIC WORKS:

- PW1 The applicant shall obtain City approval for any modifications or revisions to the approval of this project. Deviations not identified on the plans may not be approved by the City, potentially resulting in the need for the project to be redesigned.
- PW2 The applicant shall provide a copy of a current Title Report (within the last 60 days). The applicant shall show all easements per the Title Report to the satisfaction of the Public Works Department. Any conflict with existing easements resulting in the site being redesigned potentially requires a minor change or amendment approval by Planning Commission.
- PW3 The applicant shall pay all applicable City and LA County fees, including Public Works Department plan review fee and permit fees per the current adopted Master Fee Schedule which can be found on the City's website. The applicant shall provide receipts of all applicable fees paid prior to the issuance of permits.
- PW4 The applicant shall be responsible for all costs incurred by the City and the Public Works Department for the use of professional services or consultants in the review, investigation, and/or plan check of the public improvement plans. The applicant shall deposit monies into an approved project account from which the City shall draw funds to pay for said professional services.
- PW5 Provide a 24-hour emergency contact number for the applicant and contact information of all utility agencies involved/impacted/potentially impacted by this project on the title sheet of the plans.

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- PW6 Prior to issuance of a permit, the applicant shall perform a video inspection of the existing sewer lateral for obstructions and remove any obstructions observed. Provide a copy of the inspection video of the cleared pipe for review.
- PW7 Provide civil plans that show the location of all existing utilities on adjacent street(s), as well as location and size of all existing or proposed services serving the property. Show all utility points of connection (POC).
- PW8 The applicant shall provide civil plans showing the existing grade, location, and dimensions of all existing and proposed conditions within pubic right-of-way including, but not limited to: curb and gutter, sidewalk, driveway, traffic striping, signage, utilities, storm drain facilities, trees, and other features.
- PW9 The applicant shall replace all broken, damaged, or out-of-grade curb and gutter, sidewalk, and driveway fronting the property on Rollin Street to the satisfaction of the City Engineer per SPMC Section 31.54. All improvements within the public right-of-way shall conform to the current editions of the Standard Specifications for Public Works Construction (SSPWC) and Standard Plans for Public Works Construction (SPPWC).
- PW10 The applicant shall grind and repave the existing asphalt street fronting the property from the face of curb to the center of the street to a minimum depth of 1". Asphalt shall be C2 PG 70-10 and shall conform to the current edition of the Standard Specifications for Public Works Construction (SSPWC). All pre-existing pavement markings and traffic striping shall be restored in accordance to the latest editions of the California Manual on Uniform Traffic Control Devices (CA MUTCD), Caltrans standards, and to the satisfaction of the City Engineer. The applicant shall verify the actual limits of paving with the Public Works Department depending on the condition of the existing pavement adjacent to the property.
- PW11 The proposed building structure shall not be constructed within critical root zone area. For native and protected species, use the tree trunk's diameter measured at breast height (DBH) (X5) as the minimum critical root mass. For non-native and protected species, use the tree's DBH (X3) as the minimum critical root mass.
- PW12 No overnight storage of materials or equipment within the public right-of-way shall be permitted.
- PW13 Temporary bins (low boy) will be "roll off" style to be provided by Athens Services. Any dumpsters placed on the roadway shall require a protective barrier underneath (such as plywood) to protect the pavement. The applicant shall obtain dumpster permit from the Public Works Department.
- PW14 The applicant shall obtain oversize/overload permits from the Public Works Department for equipment used during the stages of construction, including, but not limited to: clearing and grubbing; grading; material disposal; drilling for piles and/or caissons; trenching for footings; excavation for retaining walls; core sampling of soils; etc.
- PW15 Show all existing and proposed trees (including parkway trees), including size and species, and indicate their disposition. The applicant shall show methods of protecting existing onsite and on the parkway trees during construction on the plans. The applicant shall submit an arborist report for all trees (including parkway trees) at project completion to the City, demonstrating that all protection methods were followed and document the tree disposition after construction.

Conditions of Approval 1659 Via Del Rey | 2381-DRX

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- PW16 Tree removals associated with development shall only be conditionally approved subject to the applicant receiving their development building permit, paying all fees associated with the tree removal as established by resolution of the city council, and paying a deposit in the amount of \$720 for the 2 replacement trees. Upon the planning review authority's approval of the development application and satisfaction of all conditions of approval, and payment of all required fees, the applicant shall be issued a tree removal permit.
- PW17 Replacement trees shall be planted per SPMC section 34.12-5 (b). The applicant is required to plant 1 replacement trees based on the trees proposed for removal. The South Pasadena Public Works Department shall inspect the replacement trees before being planted.
- PW18 Upon the applicant's proof to the city's satisfaction that the applicant has complied with the approved tree replacement plan, the city shall reimburse the applicant's replacement tree deposit. Should the applicant fail to plant any replacement trees per the approved replacement tree plan, the city shall retain the amount of the replacement tree deposit necessary to cover the cost to plant any required replacement trees in alternative locations within the city (public right-of-way, park, etc.), as permitted by SPMC chapter 34.
- PW19 No trees shall be removed from the site until Tree Removal Permits are issued.

Fire Department

The project shall comply with all current adopted California Building, Fire Codes, NFPA, and SPFD standard requirements based on occupancy classification.

ATTACHMENT 2

Renderings

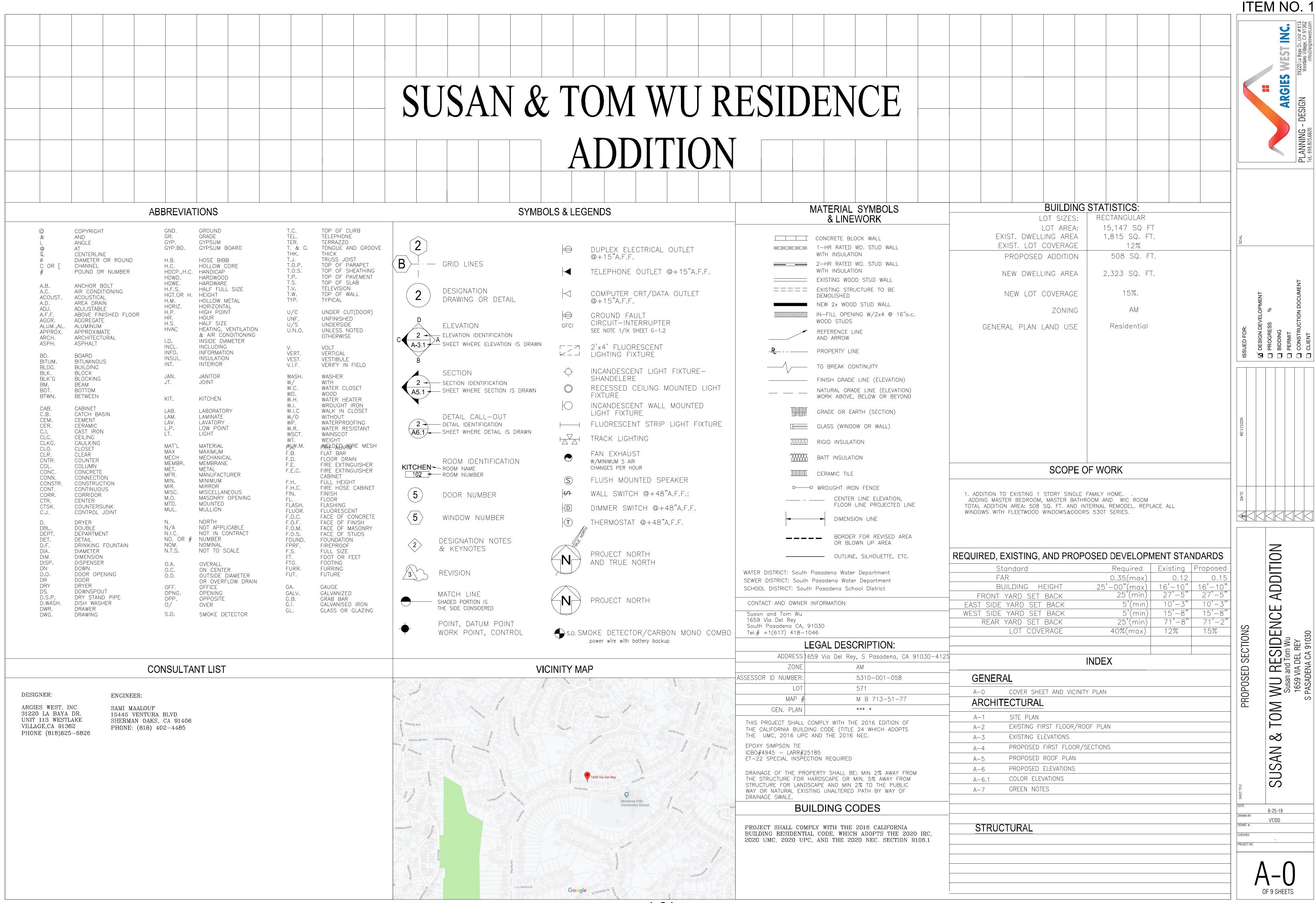


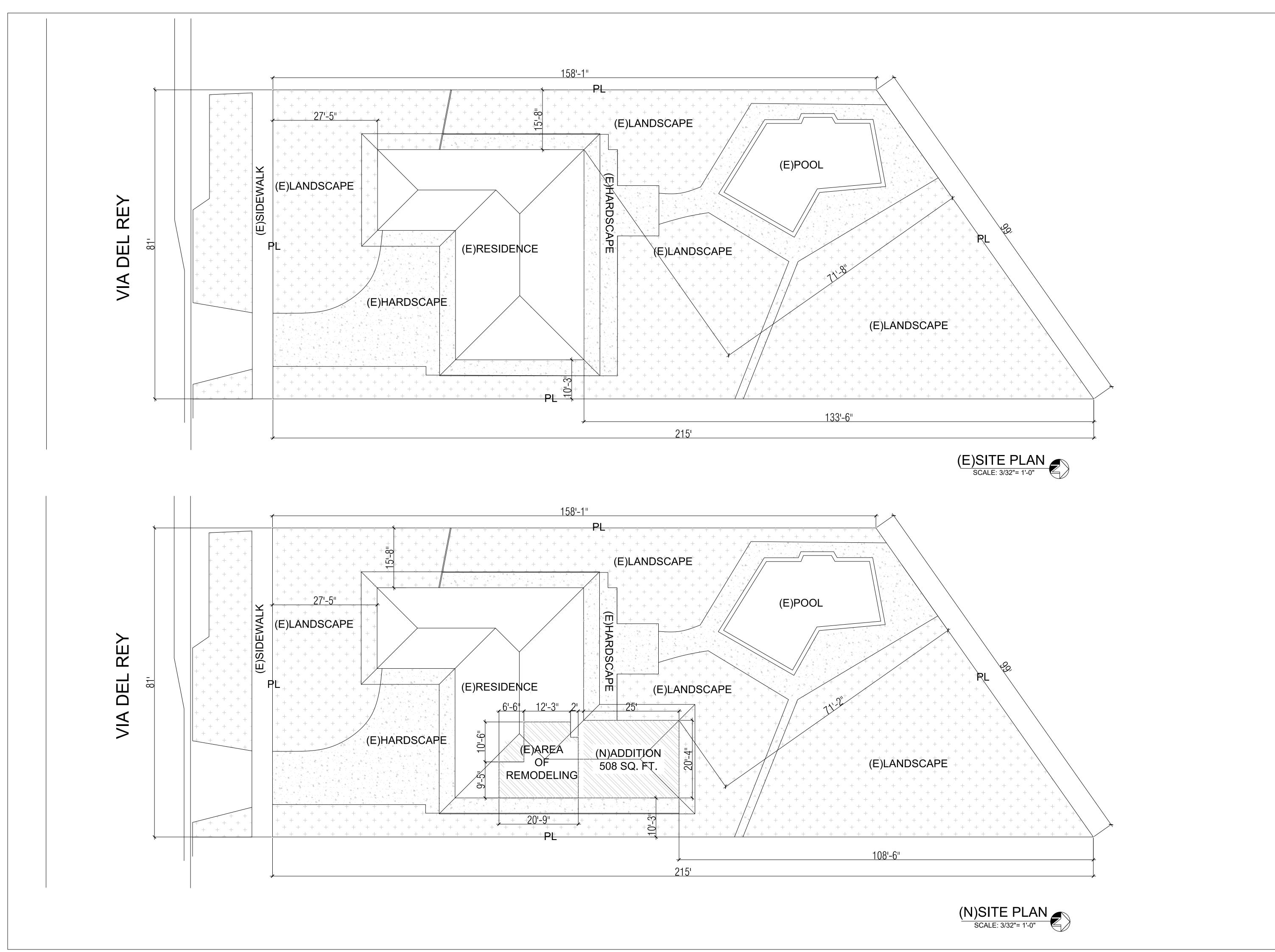


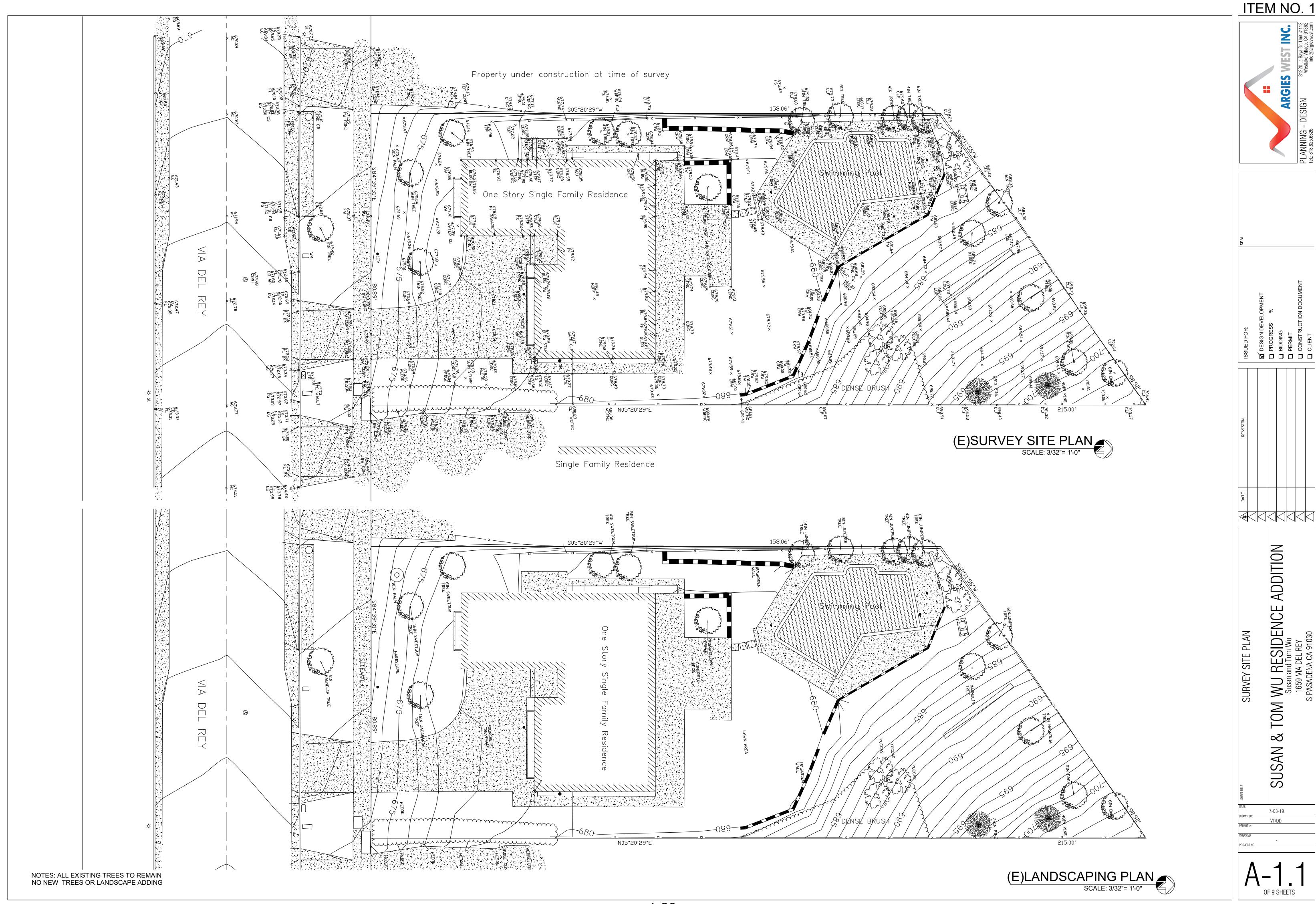


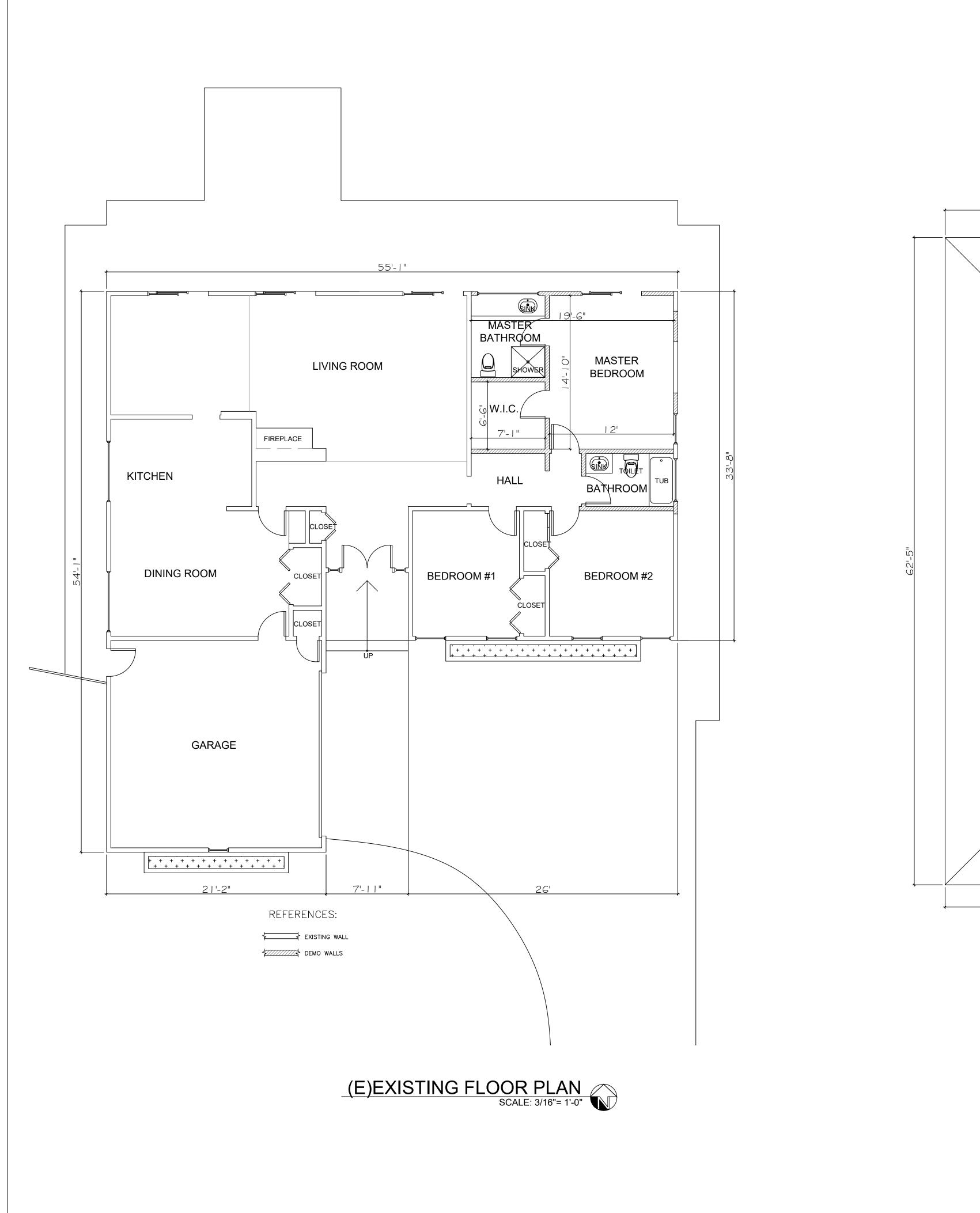
ATTACHMENT 3

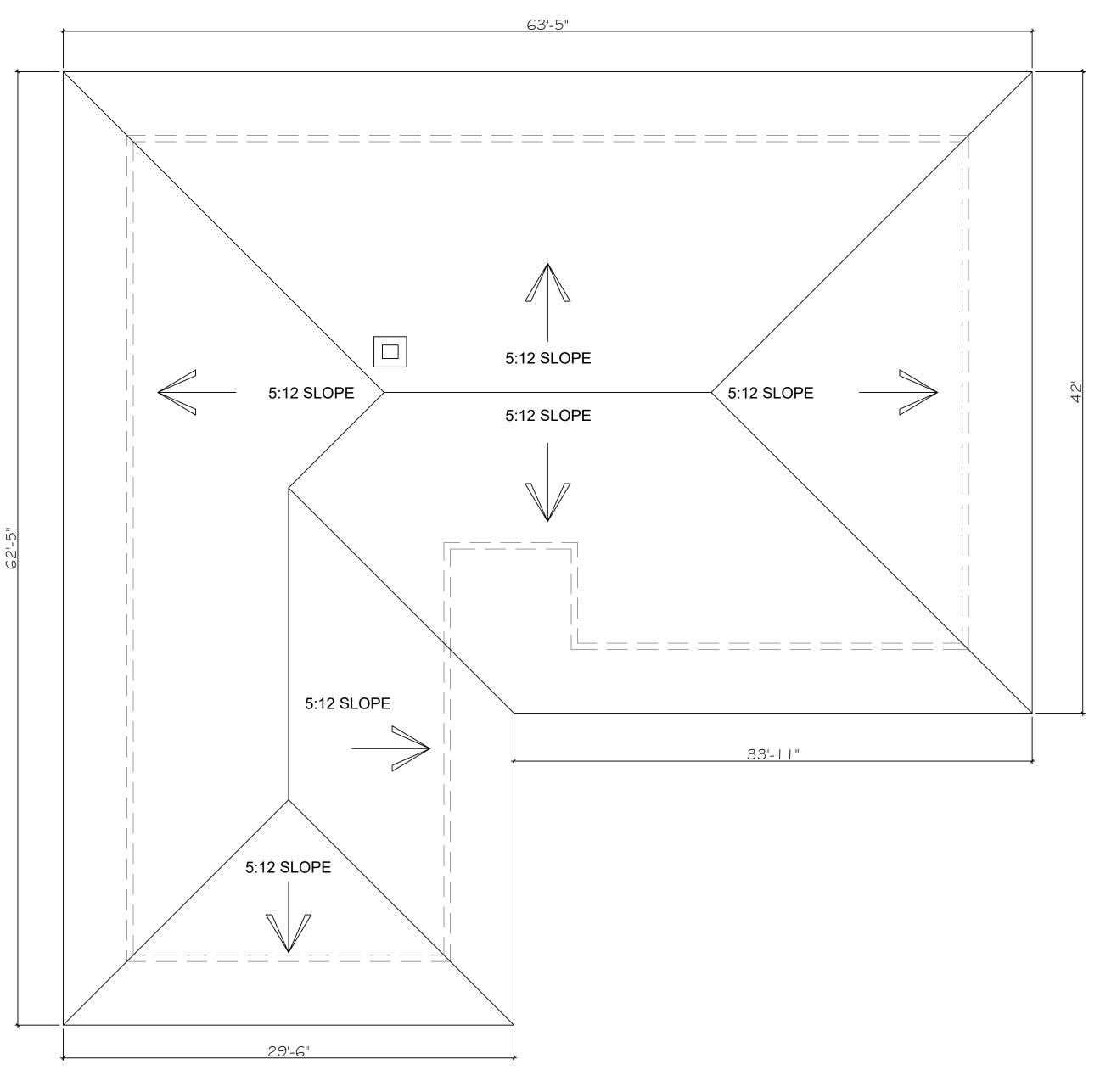
Development Plans



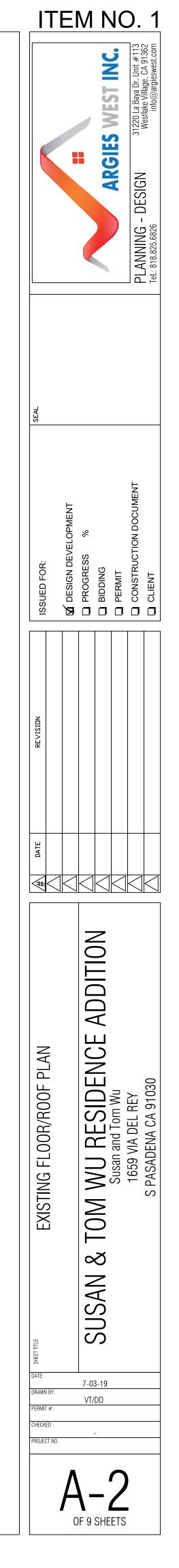




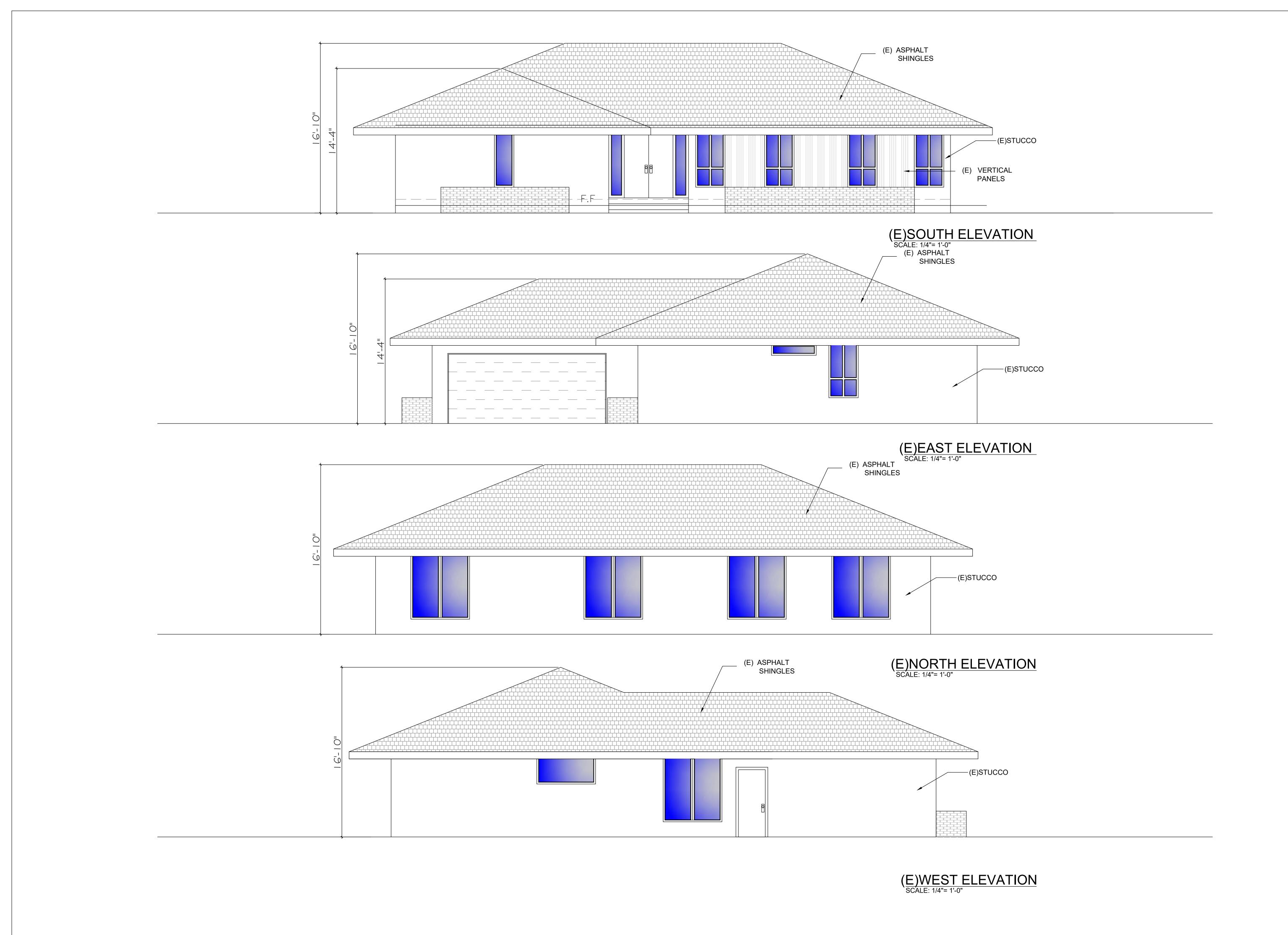


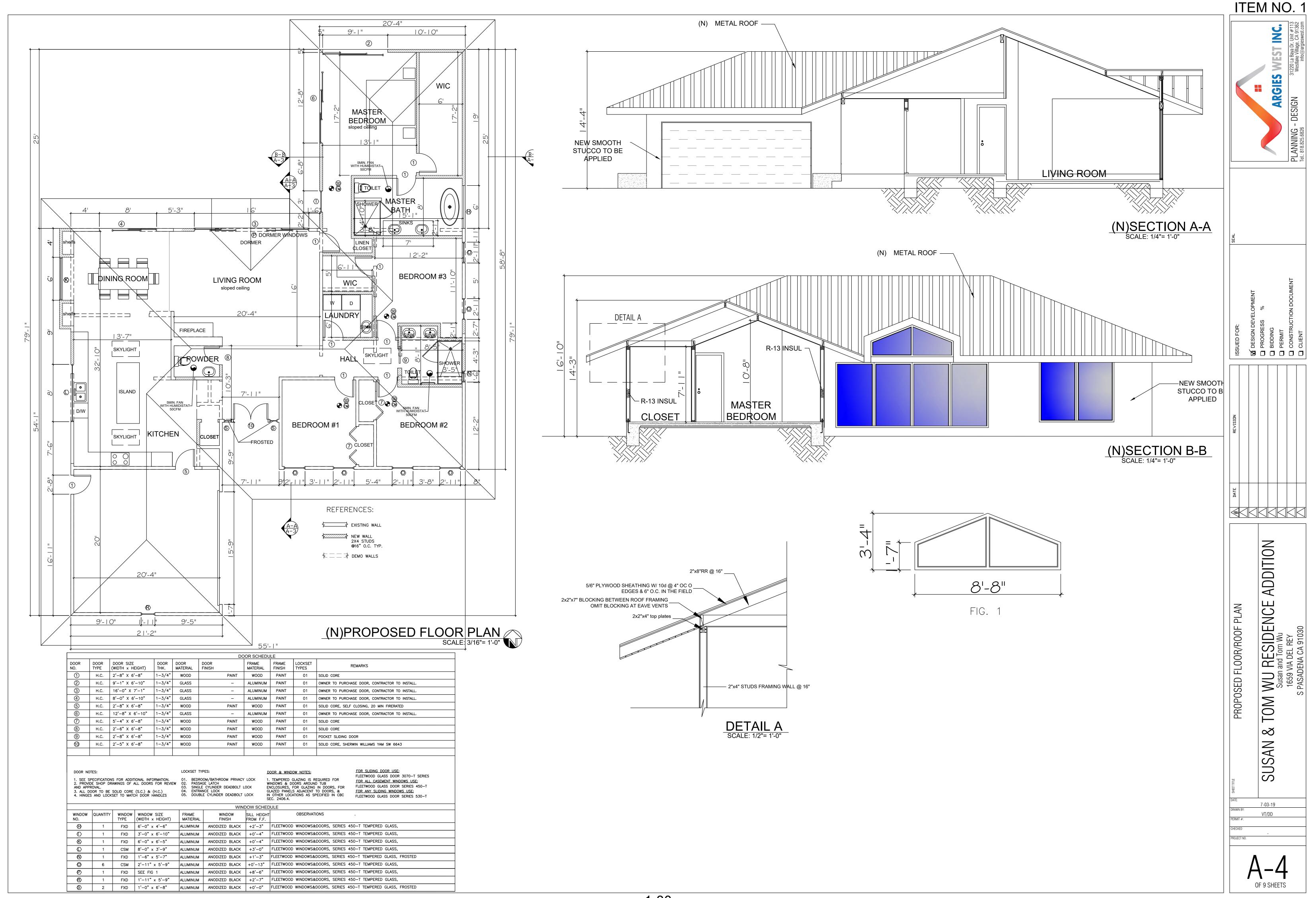


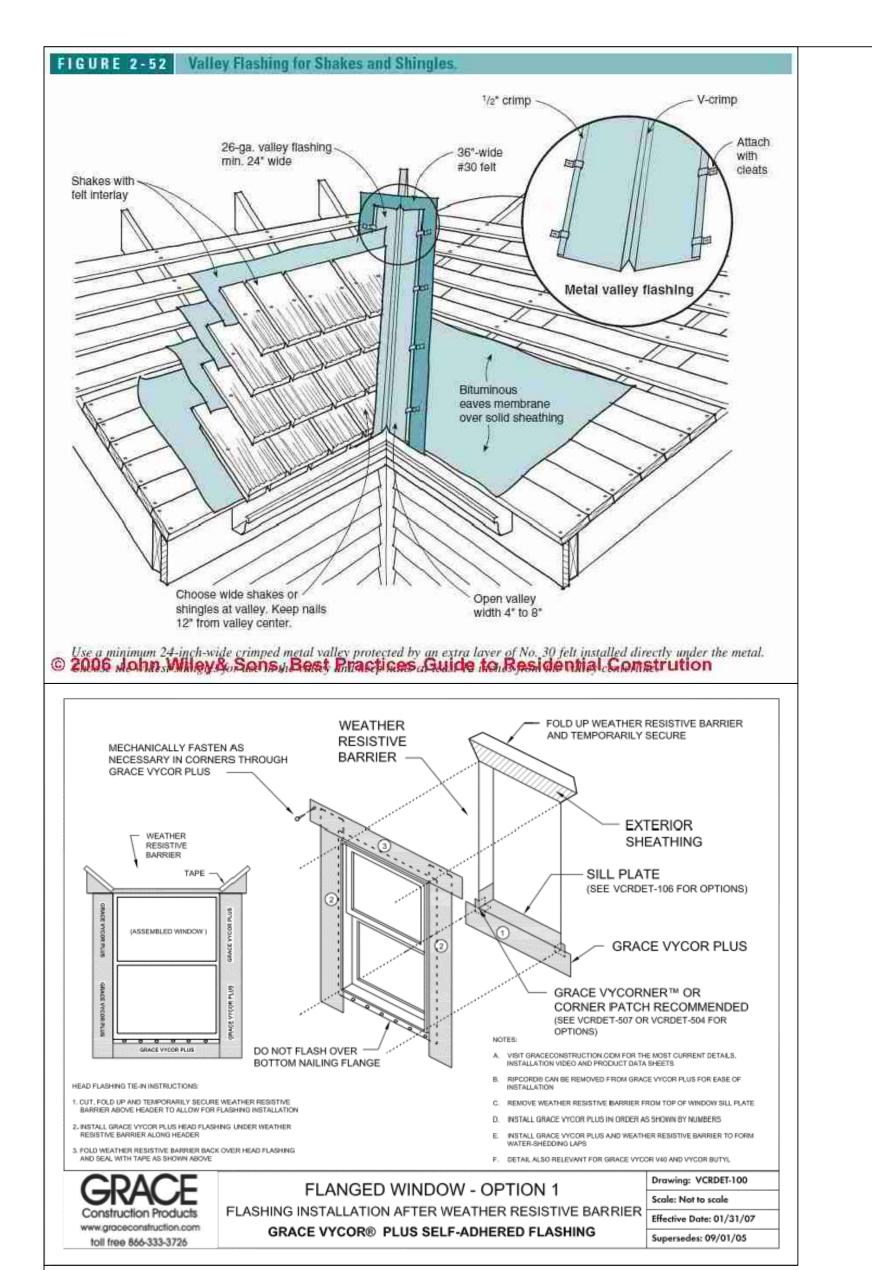
(E)EXISTING ROOF PLAN
SCALE: 3/16"= 1'-0"

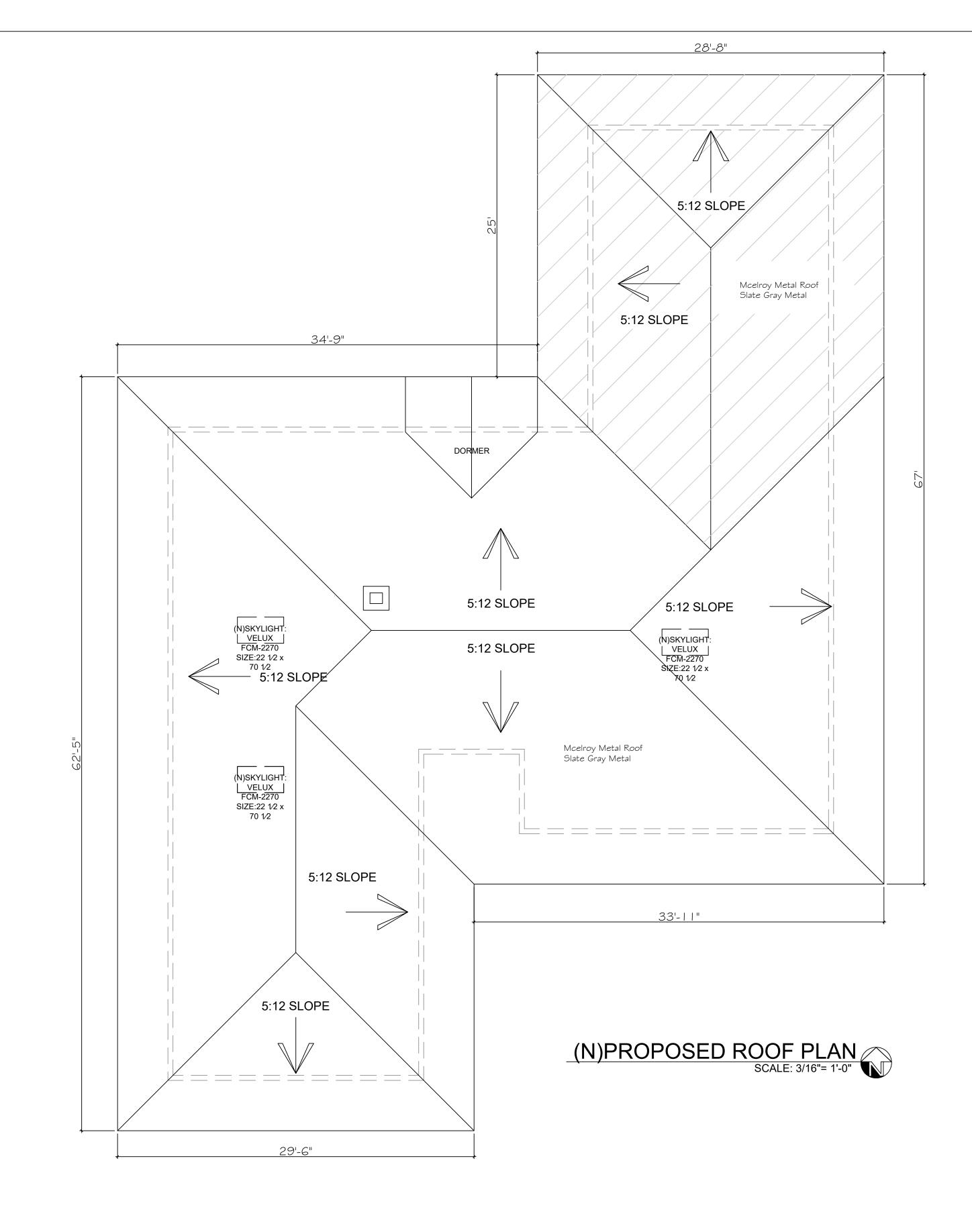


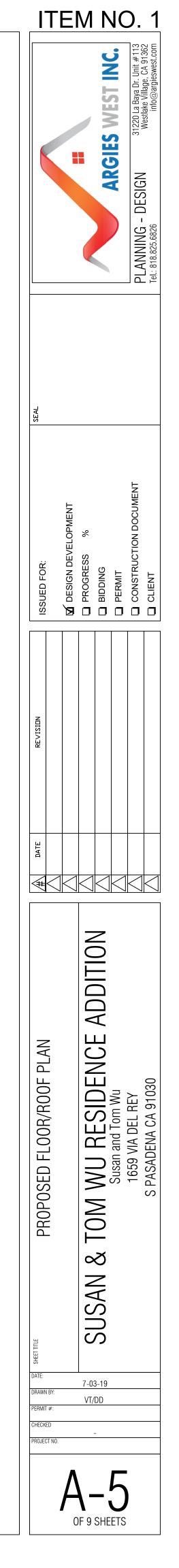


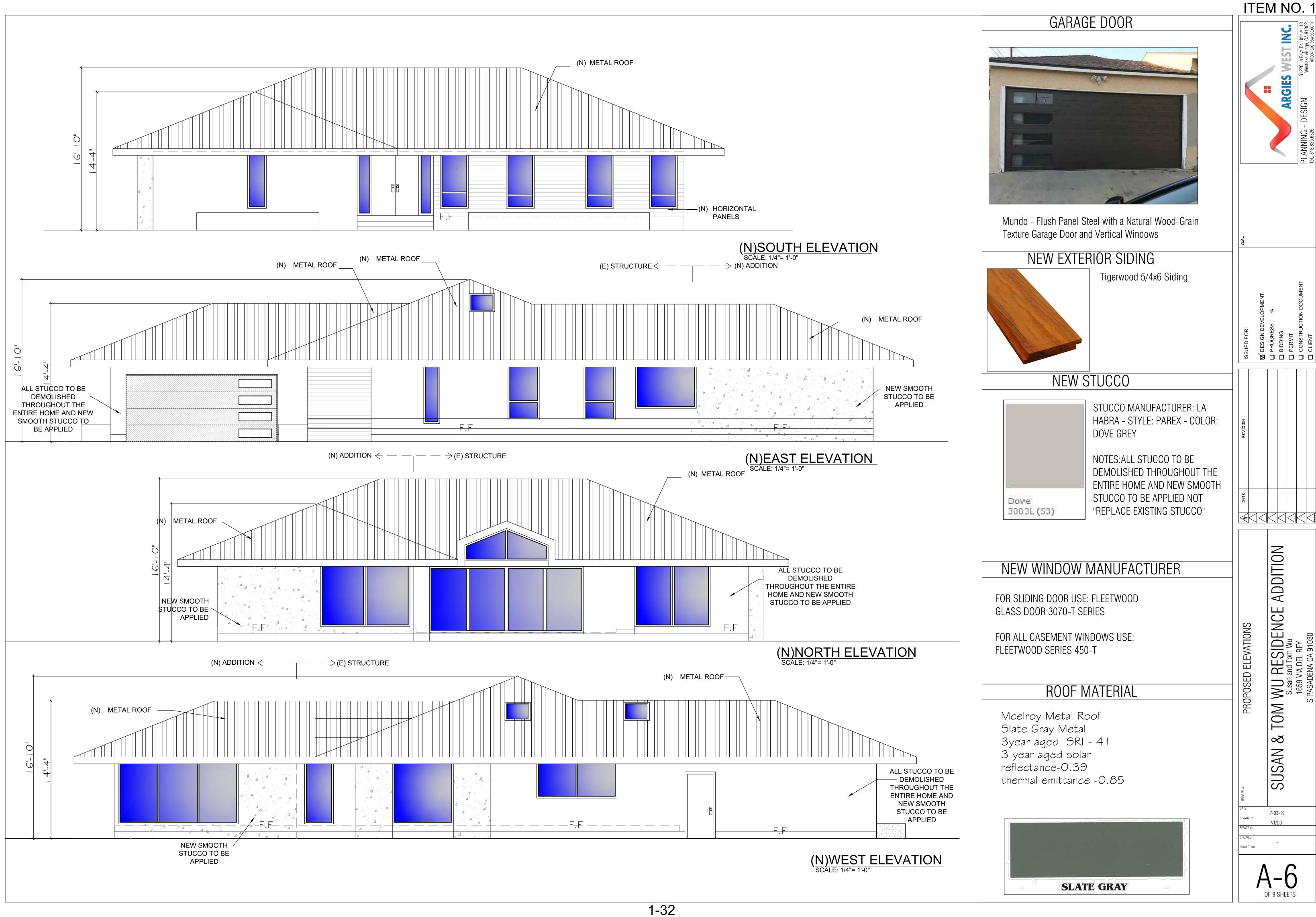


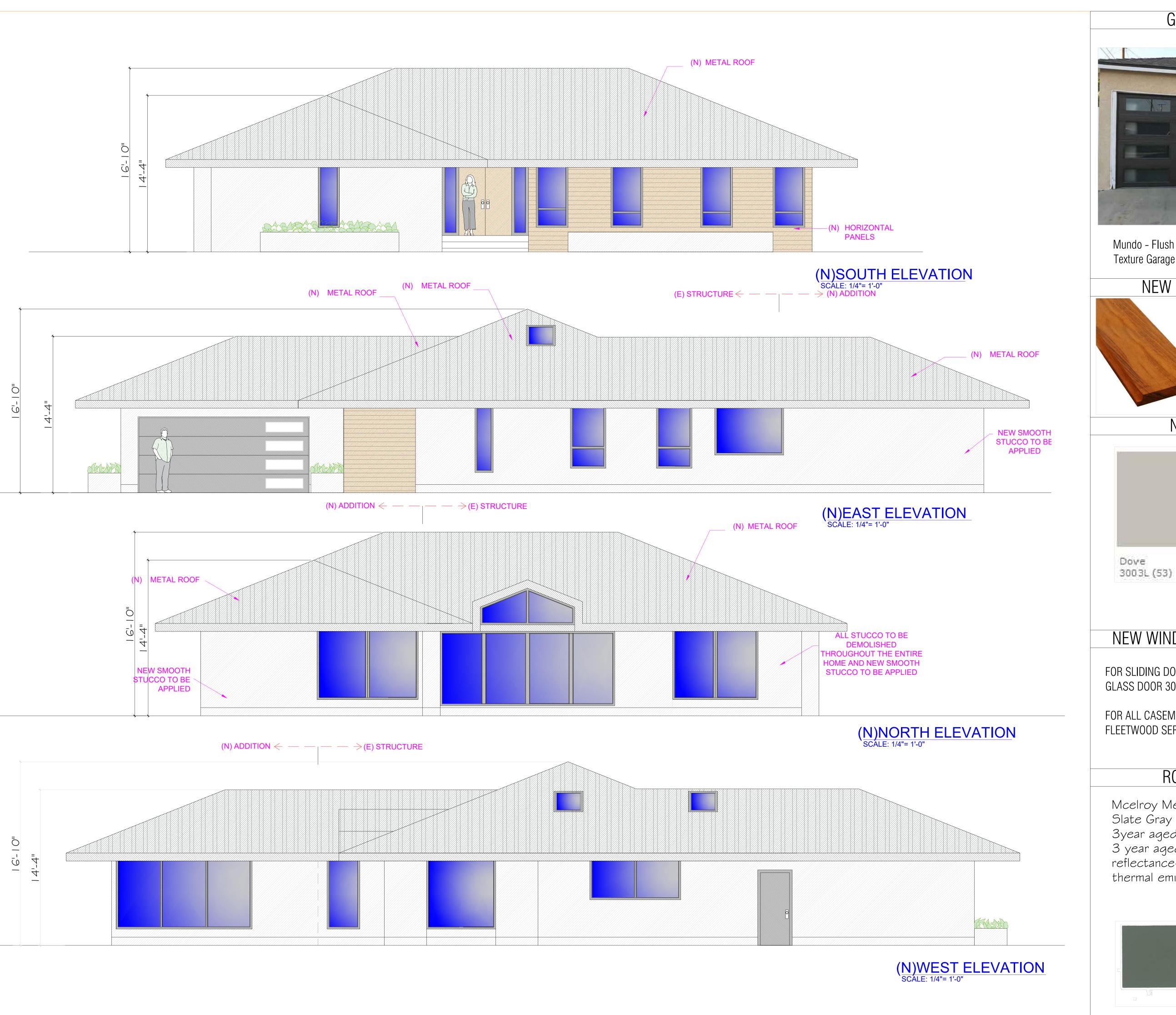












GARAGE DOOR



Mundo - Flush Panel Steel with a Natural Wood-Grain Texture Garage Door and Vertical Windows

NEW EXTERIOR SIDING

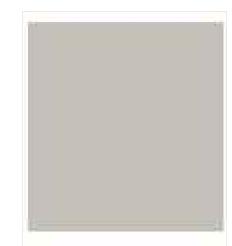


Tigerwood 5/4x6 Siding

ITEM NO. 1

ARGIES WEST INC.
PLANNING – DESIGN 31220 La Baya Dr 11,23 Tel.: 818.825.6826

NEW STUCCO



STUCCO MANUFACTURER: LA HABRA - STYLE: PAREX - COLOR: DOVE GREY

NOTES:ALL STUCCO TO BE DEMOLISHED THROUGHOUT THE ENTIRE HOME AND NEW SMOOTH STUCCO TO BE APPLIED NOT "REPLACE EXISTING STUCCO"



NEW WINDOW MANUFACTURER

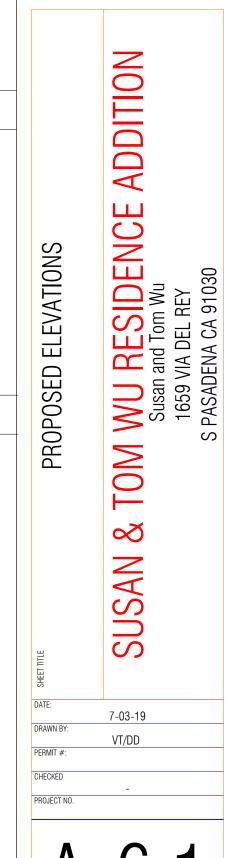
FOR SLIDING DOOR USE: FLEETWOOD GLASS DOOR 3070-T SERIES

FOR ALL CASEMENT WINDOWS USE: FLEETWOOD SERIES 450-T

ROOF MATERIAL

Mcelroy Metal Roof Slate Gray Metal 3year aged SRI - 41 3 year aged solar reflectance-0.39 thermal emittance -0.85





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(4.503.1, AOMD Rule 445)

verified prior to final inspection approval. The manufacturer's specifications

showing VOC content for all applicable products shall be readily available at

the job site and be provided to the field inspector for verification. (4.504.2.4)

the testing and product requirements of one of the following (4.504.3):

California Department of Public Health's Specification 01350

18. 80% of the total area receiving resilient flooring shall comply with one or more

a. VOC emission limits defined in the CHPS High Performance Products

Certification under the Resilient Floor Covering Institute (RFCI)

19. New hardwood plywood, particle board, and medium density fiberboard

d. Meet the California Department of Public Health's Specification 01350

composite wood products used in the building shall meet the formaldehyde

Mechanically ventilated buildings within 1,000 feet of a freeway shall provide

regularly occupied areas of the building with a MERV 13 filter for outside and

return air. Filters shall be installed prior to occupancy and recommendations for

maintenance with filters of the same value shall be included in the operation

24. Newly installed bathroom exhaust fans shall be ENERGY STAR compliant and

be ducted to terminate to the outside of the building. Fans must be controlled

25. A copy of the construction documents or a comparable document indicating the

ANSI/ACCA Manual J-2011, ANSI/ACCA 29-D-2009 or ASHRAE

information from Energy Code Sections 110.10(b) through 110.10(c) shall be

handbooks and have their equipment selected in accordance with ANSI/ACCA

(Energy Code §110.10(d))

by a humidistat which shall be readily accessible. Provide the manufacturer's

20. The Formaldehyde Emissions Verification Checklist, Form GRN 3, shall be

d. Scientific Certifications Systems Indoor Advantage™ Gold

. Carpet and Rug Institute's Green Label Plus Program

NSF/ANSI 140 at the Gold level

b. Certified under UL GREENGUARD Gold

completed prior to final inspection approval.

of the following (4.504.4):

FloorScore program

limits listed in Table 4.504.5.

provided to the occupant."

2017 Los Angeles Green Building Code

FORM LA DBS GRN 4

ITEM CODE

SECTION

23 4.407.4

24 | 4.408.1

26 4.503.1

27 4.504.1

28 4.504.2

29 4.504.2.1

30 4.504.2.2

31 4.504.2.3

32 4.504.2.4

34 4.504.3.1

35 4.504.4

36 4.504.5

37 4.504.6

39 4.505.3

40 4.506.1

38 4.505.2.1

33 4.504.3

2017 Los Angeles Green Building Code

REQUIREMENT

Construction waste reduction of at least 65%

Covering of duct openings and protection of

mechanical equipment during construction

Operation and maintenance manual

ENVIRONMENTAL QUALITY

Finish material pollutant control

- Adhesives, sealants, caulks

Aerosol paints and coatings

Moisture content of building materials

Fireplaces and woodstoves

Paints and coatings

Resilient flooring systems

Composite wood products

Bathroom exhaust fans

41 4.507.2 Heating and air-conditioning system design

Verification

Carpet systems

Carpet cushion

Capillary break

Material protection

REFERENCE

SHEET

Sheet #

or N/A)

A-7

A-7

A-7

N/A

A-7

A-7

FORM GRN 4

COMMENTS

e.g. note #, detail #

or reason for N/A

GRN 14 NOTE 10

GRN 14 NOTE 11

GRN 14 NOTE 12

NO FIREPLACE

A-7 GRN-14 - NOTE 16

A-7 GRN-14 - NOTE 17

A-7 GRN-14 - NOTE 18

A-7 GRN-14 - NOTE 19

SD-1 FOUNDATION PLAN

A-7 | GRN-14 - NOTE 23

A-7 GRN-14 - NOTE 26

A-4 1TH&2ND FLOOR PLAN

N/A SFD

GRN-14 - NOTE 14

GRN-14 - NOTE 15

GRN-14 - NOTE 17

VOC AND FORMALDEHYDE LIMITS 2017 Los Angeles Green Building Code 2017 Los Angeles Green Building Code (Incorporate this form into the plans)

CURRENT LIMIT

GRN 11 GIES AR

Values in this table are derived from those specified by the California Air Resources Board, Air Toxics Control Measure for Composite Wood as tested in accordance with ASTM E 1333. For additional information, see California Code of Regulations, Title 17, Sections 93120 through SEALANT VOC LIMIT Less Water and Less Exempt Compounds in Grams per Liter SEALANTS CURRENT VOC LIMIT Narine deck lonmembrane roc Single-ply roof membrane SEALANT PRIMERS Nonporous Porous Marine deck Note: For additional information regarding methods to measure the VOC content specified in these tables, see South Coast Air Quality Management District Rule 116

Less Water and Less Exempt Compounds in Grams per Liter ARCHITECTURAL APPLICATIONS CURRENT VOC LIMIT Carpet pad adhesives outdoor carpet adhesives Vood flooring adhesive ubber floor adhesives ubfloor adhesives eramic tile adhesives T and asphalt tile adhesives rywall and panel adhesives ove base adhesives fultipurpose construction adhesives tructural glazing adhesives ngle-ply roof membrane adhesives Other adhesives not specifically listed SPECIALTY APPLICATIONS VC welding PVC welding ABS welding lastic cement welding dhesive primer for plasti pecial purpose contact adhesive ructural wood member adhesive SUBSTRATE SPECIFIC APPLICATIONS

lastic foams orous material (except wood ontent shall be allowed

letal to metal Fiberglass 80

If an adhesive is used to bond dissimilar substrates together, the adhesive with the highest VOC Content shall be allowed.

2º For additional information regarding methods to measure the VOC content specified in this table, see South Coast Air Quality Management District Rule 1168, http://www.arb.ca.gov/DRDB/SC/CURHTML/R1168.PDF.

Less Water and Less Exempt Compounds

The tables below are taken from the 2017 Los Angeles Green Building Code Tables 4.504.1, 4.504.2, 4.504.3, 4.504.5, 5.504.4.1, 5.504.4.2, 5.504.4.3, 5.504.4.5 VOC CONTENT LIMITS FOR ARCHITECTURAL COATINGS^{2,3} Grams of VOC per Liter of Coating,

Nonflat-high gloss coatings

Basement specialty coatings

duminum roof coatings

Bituminous roof coatings

Bituminous roof primers

Concrete/masonry sealer

Concrete curing compounds

Specialty Coatings

Bond breakers

rivewav sealers

Faux finishing coatings

Fire resistive coatings

orm-release compo

Low solids coatings¹

Graphic arts coatings (sign paints)

ndustrial maintenance coatings

High temperature coatings

Magnesite cement coatings

stic texture coatings

Metallic pigmented coatings

Multicolor coatings Pretreatment wash primers

Reactive penetrating sealers

Recycled coatings

Stone consolidants

Swimming pool coatings

Rust preventative coating

Primers, sealers, and undercoaters

Dry fog coatings

Floor coatings

COATING CATEGORY^{2,3}

FORM

ITEM NO. 1

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VT/DD

Storm Water Pollution Control Requirements for Construction Activities Minimum Water Quality Protection Requirements for All Construction Projects

The following notes shall be incorporated in the approved set of construction/grading plans and represents the minimum standards of good housekeeping which must be implemented on all construction projects.

Construction means constructing, clearing, grading or excavation that result in soil disturbance. Construction includes structure teardown (demolition). It does not include routine maintenance to maintain original line and grade, hydraulic capacity, or original purpose of facility; emergency construction activities required to immediately protect public health and safety; interior remodeling with no outside exposure of construction material or construction waste to storm water; mechanical permit work; or sign permit work. (Order No. 01-182, NPDES Permit No. CAS004001 – Part 5: Definitions)

- 1. Eroded sediments and pollutants shall be retained on site and shall not be transported from the site via sheet flow, swales, area drains, natural drainage or wind.
- 2. Stockpiles of earth and other construction-related materials shall be covered and/or protected from being transported from the site by wind or water.
- 3. Fuels, oils, solvents and other toxic materials must be stored in accordance with their listing and shall not contaminate the soil nor the surface waters. All approved toxic storage containers are to be protected from the weather. Spills must be cleaned up immediately and disposed of properly and shall not be washed into the drainage system.
- 4. Non-storm water runoff from equipment and vehicle washing and any other activity shall be contained on the project site.
- 5. Excess or waste concrete may not be washed into the public way or any drainage system. Provisions shall be made to retain concrete waste on-site until it can be appropriately disposed of or recycled.
- 6. Trash and construction –related solid wastes must be deposited into a covered receptacle to prevent
- contamination of storm water and dispersal by wind 7. Sediments and other materials shall not be tracked from the site by vehicle traffic. The construction entrance roadways must be stabilized so as to inhibit sediments from being deposited into the street/public ways. Accidental depositions must be swept up immediately and may not be washed down by rain or by any other means.
- 8. Retention basins of sufficient size shall be provided to retain storm water runoff on-site and shall be properly located to collect all tributary site runoff.
- 9. Where retention of storm water runoff on-site is not feasible due to site constraints, runoff may be conveyed to the street and the storm drain system provided that an approved filtering system is installed and maintained on-site during the construction duration.

As a covered entity under Title II of the Americans with Disabilities Act, the City of Los Angeles does not discriminate on the basis of disability and, upon request, will provide reasonable accommodation to ensure equal access to its programs, services and activitie

(Rev. 01/17/17) Page 1 of 1

MANDATORY REQUIREMENTS CHECKLIST NEWLY CONSTRUCTED RESIDENTIAL BUILDINGS (COMPLETE AND INCORPORATE THIS FORM INTO THE PLANS)

ITEM #	CODE SECTION		REFERENCE	COMMENTS	
		REQUIREMENT	SHEET (Sheet # or N/A)	e.g. note #, detail # or reason for N/A	
		PLANNING AND DESIGN			
1	4.106.2	Storm water drainage and retention during construction	A-7	GRN-1	
2	4.106.3	Grading and paving	A-1	SITE PLAN	
3	4.106.4	Electric vehicle (EV) charging	N/A	A-0(Vicinity Map)	
4	4.106.5	Cool roof for reduction of heat island effect	A-4	ROOF PLAN	
5	4.106.7	Reduction of heat island effect for non-roof areas	N/A	(E)HARDSCAPE	
		ENERGY EFFICIENCY			
6	4.211.4	Solar ready buildings	N/A	Exception(Thermostat + F	
		WATER EFFICIENCY & CONSERVATION			
7	4.303.1	Water conserving plumbing fixtures and fittings	A-7	GRN-14 - NOTE 5, GRN	
8	4.303.1.3.2	Multiple showerheads serving one shower	A-7	GRN-14 - NOTE 6	
9	4.303.3	Water submeters	N/A	-	
10	4.303.4	Water use reduction	A-7	GRN-18R - NOTE 2	
11	4.304.1	Outdoor potable water use in landscape areas	N/A	(E)LANDSCAPE	
12	4.304.2	Irrigation controllers	N/A	(E)LANDSCAPE	
13	4.304.3	Metering outdoor water use	N/A	(E)LANDSCAPE	
14	4.304.4	Exterior faucets	N/A	SFD	
15	4.304.5	Swimming pool covers	N/A	-	
16	4.305.1	Graywater ready	N/A	(E)LANDSCAPE	
17	4.305.2	Recycled water supply to fixtures	N/A		
	4.305.3.1	Cooling towers (buildings ≤ 25 stories)	N/A		
	4.305.3.2	Cooling towers (buildings > 25 stories)	N/A		
20	4.305.4	Groundwater discharge	A-1	SITE PLAN	
	MATERIAL CONSERVATION & RESOURCE EFFICIENCY				
21	4.406.1	Rodent proofing	A-7	GRN 14 NOTE 9	
22	4.407.3	Flashing details	A-5	FLASHING DETAIL	

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Page **2** of **2**

PLUMBING FIXTURE FLOW RATES 2017 Los Angeles Green Building Code

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FORM GRN 16

SECTION 4.303.1 WATER REDUCTION FIXTURE FLOW RATES

(Incorporate this form into the plans)

FIXTURE TYPE	MAXIMUM ALLOWABLE FLOW RATE		
Showerheads	1.8 gpm @ 80 psi		
Lavatory faucets, residential	1.2 gpm @ 60 psi ^{1,3}		
Lavatory faucets, nonresidential	0.4 gpm @ 60 psi ^{1,3}		
Kitchen faucets	1.5 gpm @ 60 psi ^{2,4}		
Metering Faucets	0.2 gallons/cycle		
Gravity tank type water closets	1.28 gallons/flush ⁵		
Flushometer tank water closets	1.28 gallons/flush ⁵		
Flushometer valve water closets	1.28 gallons/flush ⁵		
Urinals	0.125 gallons/flush		
Clothes Washers	ENERGY-STAR certified		
Dishwashers	ENERGY-STAR certified		

¹Lavatory Faucets shall not have a flow rate less than 0.8 gpm at 20 psi. ² Kitchen faucets may temporarily increase flow above the maximum rate, but not above 2.2gpm @ 60psi

and must default to a maximum flow rate of 1.8 gpm @ 60psi. ³ Where complying faucets are unavailable, aerators or other means may be used to achieve reduction. ⁴ Kitchen faucets with a maximum 1.8 gpm flow rate may be installed in buildings that have water closets with a maximum flush rate of 1.06 gallons/flush installed throughout.

⁵ Includes single and dual flush water closets with an effective flush of 1.28 gallons or less. Single Flush Toilets - The effective flush volume shall not exceed 1.28 gallons (4.8 liters). The effective flush volume is the average flush volume when tested in accordance with ASME A112.19.233.2.

Dual Flush Toilets - The effective flush volume shall not exceed 1.28 gallons (4.8 liters). The effective flush volume is defined as the composite, average flush volume of two reduced flushes and one full flush. Flush volumes will be tested in accordance with ASME A112.19.2 and ASME A112.19.14.

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(Rev. 01/17/17)

2017 Los Angeles Green Building Code

RESIDENTIAL BUILDINGS

PLUMBING SYSTEM

1. Multi-family dwellings not exceeding three stories and containing 50 units or less shall install a separate meter or submeter within common areas and within each individual dwelling unit.

2. Water use reduction shall be met by complying with one of

- the following A. Provide a 20% reduction in the overall potable water use within the building. The reduction shall be based on the maximum allowable water use for plumbing fixtures and fittings as required by the Los Angeles Plumbing Code. Calculations demonstrating a 20% reduction in the building "water use baseline", as established in Table 4.303.4.1, shall be provided; or
- B. New fixtures and fittings shall comply with the maximum flow rates shown in Table 4.303.4.2, or C. Plumbing fixtures shall use recycled water. **Exception:** Fixture replacements (4.303.4)
- 3. New building on a site with 500 square feet or more of cumulative landscape area shall have separate meters or submeters for outdoor water use.
- 4. Additions and alterations on a site with 500 square feet or more of cumulative landscape area and where the entire potable water system is replaced, shall have separate meters or submeters for outdoor water use. 5. In other than single family dwellings, locks shall be
- installed on all publicly accessible exterior faucets and hose 6. Provide a cover having a manual or power-operated reel system in any permanently installed outdoor in-ground
- swimming pool or spa in one- and two-family dwellings. For irregular-shaped pools where it is infeasible to cover 100% of the pool due to its irregular shape, a minimum of 80% of the pool shall be covered. 7. Except as provided in this section, for sites with over 500
- square feet of landscape area, alternate waste piping shall be installed to permit discharge from the clothes washer, bathtub, showers, and bathroom/restrooms wash basins to be used for a future graywater irrigation system. (4.305.1)
- 8. Except as provided in this section, where City-recycled water is available within 200 feet of the property line, water closets, urinals, floor drains, and process cooling and heating in the building shall be supplied from recycled water and shall be installed in accordance with the Los Angeles Plumbing Code. (4.305.2)

GRN 18R

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WATER CONSERVATION NOTES - ORDINANCE #184248

9. In new buildings of 25 stories or less, the cooling towers

shall comply with one of the following: A. Shall have a minimum of 6 cycles of concentration (blowdown): or B. A minimum of 50% of the makeup water supply to the cooling towers shall come from non-potable water

sources, including treated backwash. (4.305.3.1)

10. In new buildings over 25 stories, the cooling towers shall comply with all of the following: A. Shall have a minimum of 6 cycles of concentration

(blowdown); and B. 100% of the makeup water supply to the cooling towers shall come from non-potable water sources, including treated backwash.

11. Where groundwater is being extracted and discharged, develop and construct a system for onsite reuse of the groundwater. Alternatively, the groundwater may be discharged to the sewer.

12. Provide a hot water system complying with one of the following (Los Angeles Plumbing Code Section 610.4.1): A. The hot water system shall not allow more than 0.6 gallons of water to be delivered to any fixture before hot water arrives.

 B. Where a hot water recirculation or electric resistance heat trace wire system is installed, the branch from the recirculating loop or electric resistance heat trace wire to the fixture shall contain a maximum of 0.6 gallons. C. Residential units having individual water heaters shall

have a compact hot water system that meets all of the a. The hot water supply piping from the water heater to the fixtures shall take the most direct path.

heater to farthest fixture shall not exceed the distances specified in Table 3.6.5 of the California Energy Code Residential Appendix. c. The hot water supply piping shall be installed and

IRRIGATION SYSTEM

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FORM GRN 14 2017 Los Angeles Green Building Code

GREEN BUILDING CODE PLAN CHECK NOTES RESIDENTIAL BUILDINGS

- 1. For each new dwelling and townhouse, provide a listed raceway that can 13. All new gas fireplaces must be direct-vent, sealed combustion type. Wood accommodate a dedicated 208/240 volt branch circuit. The raceway shall not be burning fireplaces are prohibited per AQMD Rule 445. less than trade size 1 (nominal 1-inch inside diameter), shall originate at the main service or subpanel and shall terminate into a listed cabinet, box or other enclosure in close proximity to the proposed location of an EV charger. The 14. All duct and other related air distribution component openings shall be covered panel or subpanel shall provide capacity to install a 40-ampere minimum with tape, plastic, or sheet metal until the final startup of the heating, cooling dedicated branch circuit and space(s) reserved to permit installation of a branch and ventilating equipment. circuit overcurrent protective device. The service panel or subpanel circuit directory shall identify the overcurrent protective device space(s) reserved for 15. Paints and coatings, adhesives, caulks and sealants shall comply with the future EV charging as "EV CAPABLE". The raceway termination location Volatile Organic Compound (VOC) limits listed in Tables 4.504.1-4.504.3.
- shall be permanently and visibly marked as "EV CAPABLE". (4.106.4.1) 16. The VOC Content Verification Checklist, Form GRN 2, shall be completed and For common parking area serving R-occupancies, the electrical system shall have sufficient capacity to simultaneously charge all designated EV spaces at the full rated amperage of the Electric Vehicle Supply Equipment (EVSE). Design shall be based upon a 40-ampere minimum branch circuit. The raceway 17. All new carpet and carpet cushions installed in the building interior shall meet shall not be less than trade size 1 (nominal 1-inch inside diameter), shall originate at the main service or subpanel and shall terminate into a listed cabinet, box or other enclosure in close proximity to the proposed location of an EV charger. Raceways and related components that are planned to be installed underground, enclosed, inaccessible or in concealed areas and spaces shall be installed at the time of original construction. The service panel or subpanel circuit directory shall identify the overcurrent protective device
- accordance with the Los Angeles Electrical Code. 3. Roofs with slopes < 2:12 shall have an SRI value of at least 75 or both a 3-year solar reflectance of at least 0.63 and a thermal emittance of at least 0.75. Roofs with slopes ≥ 2:12 shall have an SRI value of at least 16 or both a 3-year solar reflectance of at least 0.20 and a thermal emittance of at least 0.75. (4.106.5)

space(s) reserved for future EV charging purposes as "EV CAPABLE" in

- 4. The required hardscape used to reduce heat island effects shall have a solar reflectance value of at least 0.30 as determined per ASTM E1918 or ASTM
- 5. The flow rates for all plumbing fixtures shall comply with the maximum flow rates in Section 4.303.1. (4.303.1)When a shower is served by more than one showerhead, the combined flow rate of all the showerheads controlled by a single valve shall not exceed 2.0 gallons per minute at 80psi, or the shower shall be designed to only allow one
- showerhead to be in operation at a time. 7. Installed automatic irrigation system controllers shall be weather- or soil-based
- 22. A 4-inch thick base of ½ inch or larger clean aggregate shall be provided for 8. For projects that include landscape work, the Landscape Certification, Form proposed slab on grade construction. A vapor barrier shall be provided in direct GRN 12, shall be completed prior to final inspection approval. contact with concrete for proposed slab on grade construction. (4.505.2.1) (State Assembly Bill No. 1881) 23. Building materials with visible signs of water damage shall not be installed. 9. Annular spaces around pipes, electric cables, conduits, or other openings in the Wall and floor framing shall not be enclosed until it is inspected and found to
- rodents by closing such openings with cement mortar, concrete masonry, or metal plates. Piping prone to corrosion shall be protected in accordance with Section 313.0 of the Los Angeles Plumbing Code. (4.406.1)

building's envelope at exterior walls shall be protected against the passage of

- 10. Materials delivered to the construction site shall be protected from rain or other sources of moisture. 11. Only a City of Los Angeles permitted hauler will be used for hauling of
- (4.408.1)12. For all new equipment, an Operation and Maintenance Manual including, at a 26. The heating and air-conditioning systems shall be sized and designed using minimum, the items listed in Section 4.410.1, shall be completed and placed in the building at the time of final inspection. (4.410.1)
- 36-S Manual S-2014.

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1-34

Traffic marking coatings Tub and tile refinish coatings

Vaterproofing membranes Vood preservatives Zinc-rich primers 340
rams of VOC per liter of coating, including water and including exempt compou Architectural Coatings Suggested Control Measure, February 1, 2008. More information is available from the Air Resources Board. FORMALDEHYDE LIMITS¹ Maximum Formaldehyde Emissions in Parts per Million Hardwood plywood veneer core Hardwood plywood composite core Particleboard

Specialty primers, sealers and undercoaters

As a covered entity under Title II of the Americans with Disabilities Act, the City of Los Angeles does not discriminate on the basis of disability and, upon request, will (Rev. 01/17/17) Page 1 of 1 www.ladbs.org

insulated in accordance with Section RA3.6.2 of the California Energy Code Residential Appendix

12. A water budget for landscape irrigation use that conforms to the California Department of Water Resources' Model Water Efficient Landscape Ordinance (MWELO) is required for new landscape areas of 500 sq. ft. or more. The following methods to reduce potable water use in landscape areas include, but are not limited to, use of captured rainwater, recycled water, graywater, or water treated for irrigation purposes and conveyed by a water district or public entity.