



**CITY OF SOUTH PASADENA
PLANNING COMMISSION**

**AGENDA
REGULAR MEETING
TUESDAY, DECEMBER 12, 2023 AT 6:30 P.M.**

**AMEDEE O. "DICK" RICHARDS JR. COUNCIL CHAMBERS
1424 MISSION STREET, SOUTH PASADENA, CA 91030**

South Pasadena Planning Commission Statement of Civility

As your appointed governing board we will treat each other, members of the public, and city employees with patience, civility and courtesy as a model of the same behavior we wish to reflect in South Pasadena for the conduct of all city business and community participation. The decisions made tonight will be for the benefit of the South Pasadena community and not for personal gain.

NOTICE ON PUBLIC PARTICIPATION & ACCESSIBILITY

The South Pasadena Planning Commission Meeting will be conducted in-person from the Amedee O. "Dick" Richards, Jr. Council Chambers, located at 1424 Mission Street, South Pasadena, CA 91030.

The Meeting will be available:

- In Person – Council Chambers, 1424 Mission Street, South Pasadena
- Via Zoom: <https://us02web.zoom.us/j/83530439651> **Meeting ID: 8353 043 9651**

To maximize public safety while still maintaining transparency and public access, members of the public can observe the meeting via Zoom in the following methods below.

- Go to the Zoom website, <https://Zoom.us/join> and enter the Zoom meeting information; or
- Click on the following unique Zoom meeting link:
<https://us02web.zoom.us/j/83530439651>

CALL TO ORDER:	Chair	Laura Dahl
ROLL CALL:	Chair	Laura Dahl
	Vice-Chair	Lisa Padilla
	Commissioner	Amitabh Barthakur
	Commissioner	John Lesak
	Commissioner	Arnold Swanborn
COUNCIL LIAISON:	Mayor	Jon Primuth

APPROVAL OF AGENDA

Majority vote of the Commission to proceed with Commission business.

DISCLOSURE OF SITE VISITS AND EX-PARTE CONTACTS

Disclosure by Commissioners of site visits and ex-parte contact for items on the agenda.

PUBLIC COMMENT GUIDELINES (Public Comments are limited to 3 minutes)

The Planning Commission welcomes public input. If you would like to comment on an agenda item, members of the public may participate by one of the following options:

Option 1:

Participate in-person at the Council Chambers, 1424 Mission Street, South Pasadena.

Option 2:

Participants will be able to “raise their hand” using the Zoom icon during the meeting, and they will have their microphone un-muted during comment portions of the agenda to speak for up to 3 minutes per item.

Option 3:

Email public comment(s) to PlanningComments@southpasadenaca.gov. Public Comments received in writing will not be read aloud at the meeting, but will be part of the meeting record. Written public comments will be uploaded online for public viewing under Additional Documents. There is no word limit on emailed Public Comment(s). Please make sure to indicate:

- 1) Name (optional), and
- 2) Agenda item you are submitting public comment on, and
- 3) Submit by no later than 12:00 p.m., on the day of the Planning Commission meeting.

NOTE: Pursuant to State law, the Planning Commission may not discuss or take action on issues not on the meeting agenda, except that members of the Planning Commission or staff may briefly respond to statements made or questions posed by persons exercising public testimony rights (Government Code Section 54954.2). Staff may be asked to follow up on such items.

PUBLIC COMMENT

1. Public Comment – General (Non-Agenda Items)

CONSENT CALENDAR ITEMS

- 2. Minutes from the Regular Meeting of September 14, 2021**
- 3. Minutes from the Regular Meeting of October 12, 2021**
- 4. Minutes from the Regular Meeting of November 9, 2021**
- 5. Minutes from the Special Meeting of November 15, 2021**
- 6. Minutes from the Regular Meeting of December 14, 2021**

PUBLIC HEARING – CONTINUED ITEM

- 7. Project No. 2500-HDP/DRX/VAR/PM/TRE** – The proposed project is for a Hillside Development Permit (HDP) and Design Review Permit (DRX) for the construction of a new 3,214-square-foot, two-story, single-family dwelling along with a Parcel Merger (PM) application of the two existing lots within the Southwest Monterey Hills area, located at 4931 Harriman Avenue (APN: 5312-016-016 & 5312-016-017). The project includes two Variance (VAR) requests: 1) for a side yard setback of five feet in lieu of required seven feet and six inches, and 2) for an attached garage in front of the main structure. The project includes a Tree Removal Permit (TRE) for the removal four (4) trees. In accordance with the California Environmental Quality Act (CEQA), this project qualifies for a Categorical Exemption under Section 15303, Class 3 (New Construction or Conversion of Small Structures).

Recommendation:

Staff recommends that the Planning Commission continue this item to the January 9, 2024 Planning Commission meeting.

PUBLIC HEARING

8. **Project No. 2495-NID/DRX/CUP** – A request for a Notice of Intent to Demolish (NID) a 643-square-foot convenience store and a 1,221-square-foot repair garage; a Design Review Permit (DRX) to construct a 1,981-square-foot convenience store with a trash enclosure; and a Conditional Use Permit (CUP) for off-sale beer and wine at 1400 Mission Street (APN: 5315-002-030). In accordance with the California Environmental Quality Act (CEQA), this project qualifies for a Categorical Exemption under Section 15302, Class 2 (Replacement or Reconstruction) and Section 15303, Class 3 (New Construction or Conversion of Small Structures).

Recommendation:

Staff recommends that the Planning Commission adopt a Resolution taking the following actions:

1. Finding the project exempt from California Environmental Quality Act (CEQA) analysis based on State CEQA Guidelines Section 15302, Class 2 – Replacement or Reconstruction and Section 15303, Class 3 – New Construction or Conversion of Small Structures.
2. Approve Project No. 2495-NID/DRX/CUP, subject to the recommended conditions of approval.

9. **Project Nos. 2593-EXT & 2602-EXT** – Extension of time requests for a previously approved mixed-use development (Seven Patios), Project No. 2171-CUP/DRX/TTM/TRP located at 845-899 El Centro Street (APNs: 5315-019-045, 5315-019-046, and 5315-019-048). The approval was for a mixed-use project consisting of 57 residential units and approximately 6,100 sq. ft. of commercial space. In accordance with the California Environmental Quality Act (CEQA), a Mitigated Negative Declaration (MND) was prepared. The City Council adopted the MND on March 3, 2021.

Recommendation:

Staff recommends that the Planning Commission adopt a Resolution taking the following actions:

1. Approve Project No. 2593-EXT – Approving an extension of time to a Vesting Tentative Tract Map (Project No. 2171-TTM) to December 12, 2024. The original entitlement expiration date was March 3, 2023.
2. Approve Project No. 2602-EXT – Approving an extension of time to a Conditional Use Permit, Design Review Permit, and Tree Removal Permit (Project No. 2171-CUP/DRX/TRP) to March 3, 2024. The current expiration date is December 28, 2023, due to the expiration of the plan check process.

ADMINISTRATION

10. Comments from City Council Liaison
11. Comments from Planning Commissioners
12. Comments from Staff

ADJOURNMENT

13. Adjourn to the Regular Planning Commission meeting scheduled for January 9, 2024.

PUBLIC ACCESS TO AGENDA DOCUMENTS AND BROADCASTING OF MEETINGS

Planning Commission meeting agenda packets are available online at the City website: <https://www.southpasadenaca.gov/government/boards-commissions/planning-commission/test-planning-commission-agendas-minutes-copy>

AGENDA NOTIFICATION SUBSCRIPTION

Individuals can be placed on an email notification list to receive forthcoming agendas by emailing CityClerk@southpasadenaca.gov or calling the City Clerk's Division at (626) 403-7230.

ACCOMMODATIONS



The City of South Pasadena wishes to make all of its public meetings accessible to the public. If special assistance is needed to participate in this meeting, please contact the City Clerk's Division at (626) 403-7230. Upon request, this agenda will be made available in appropriate alternative formats to persons with disabilities. Notification at least 48 hours prior to the meeting will assist staff in assuring that reasonable arrangements can be made to provide accessibility to the meeting (28 CFR 35.102-35.104 ADA Title II).

I declare under penalty of perjury that I posted this notice of agenda on the bulletin board in the courtyard of City Hall at 1414 Mission Street, South Pasadena, CA 91030, and on the City's website as required by law.

12/7/2023

Date

A handwritten signature in black ink, appearing to read 'Dean Flores'.

Dean Flores, Senior Planner



**CITY OF SOUTH PASADENA
Planning Commission
Meeting Minutes
Tuesday, September 14, 2021, 6:30 PM**

Via In-Person Hybrid Meeting

CALL TO ORDER

A meeting of the South Pasadena Planning Commission was called to order by Chair Lesak on Tuesday, September 14, 2021 at 6:30 p.m. The meeting was held via in-person hybrid and Zoom teleconference.

ROLL CALL

Chair: John Lesak

Commissioners: Laura Dahl, Amitabh Barthakur and Janet Braun (via Zoom)

Commissioners Absent: Lisa Padilla

STAFF PRESENT

Andrew L. Jared, Assistant City Attorney

Margaret Lin, Acting Planning & Community Dev. Director

Malinda Lim, Long Range Planning Manager Planner

APPROVAL OF AGENDA

Agenda approved as submitted.

DISCLOSURE OF SITE VISITS AND EX-PARTE CONTACTS

Commissioner Dahl visited 89 Monterey Road. Chair Lesak drove by 1818 Peterson Avenue.

PUBLIC COMMENT:

Josh Albrektson brought up new legislation that had passed and concerns about the City's ADU numbers.

Steve Martin, Applicant for a microbrewery project denied at the last Planning Commission meeting, expressed concerns with the definition of a microbrewery in the City Code, which definition was to be revisited per the last Planning Commission meeting, and requested his item be put on an upcoming agenda for reconsideration after the change to the definition.

PUBLIC HEARING:

1. **1818 Peterson Avenue, Project No. 2380-HDP/DRX/VAR/ADU/TRP – Hillside Development Permit, Design Review, Variances, Accessory Dwelling Unit, and Tree Permit to allow the construction of a 1,231-square-foot, multi-level single-family home with a 504-square-foot ground floor garage (of which 4 feet is attributed to the living area) and an attached 495-square-foot JADU on a vacant 3,740-square-foot lot. The variances include a reduction of the site to be remediated to its natural slope and vegetation, reduction in the front setback, and to allow retaining walls to exceed 6 feet in height. The Tree Removal Permit is for the removal of 8 trees (Continued).**

Commissioner Dahl recused herself as her residence is within 1,000 ft. of the project site and left the Chamber.

Staff Presentation:

Associate Planner Lim presented the project.

Staff Recommendation:

Approve as submitted by Staff.

Questions for Staff:

Chair Lesak asked about the geotechnical report. Long Range Planning Manager Lim replied that it could be found in the agenda packet of the original submission.

Applicant's Presentation:

Applicant Whipple presented the project.

Questions for Applicant:

Commissioner Barthakur asked about the stability of the hillside. Applicant Whipple replied that geological surveys and structural engineering reports had been completed to ensure safety. Chair Lesak asked about the materials selection. Applicant Whipple replied that the Applicant preferred the wider roofing materials. Chair Lesak asked about the treatment of the retaining walls. Applicant Whipple replied it would be stucco. Chair Lesak asked about the doors and windows. Applicant Whipple replied they would have a clad wood finish with aluminum railings.

Public Comment:

Attorney Jared remarked that there was a technical issue regarding the posted agenda. The posted agenda includes an incorrect Zoom link and discussed options with the Commission.

Elisabeth Emirhanian, resident and neighbor, supported the project but expressed concern for the stability of the hillside.

Paul Yrisarri, resident and neighbor, expressed concerns about hillside stability and retaining walls that may be required.

Decision:

On the advice of Assistant City Attorney Jared, Chair Lesak motioned, seconded by Commissioner Barthakur, to continue this item to October 12th and keep the Public Hearing open for additional Public Comment, rebuttal and final action, due to an error in noticing.

Chair Lesak called a Roll Call vote:

Commissioner Braun	No
Commissioner Barthakur	Yes
Chair Lesak	Yes

Motion carried, 2-1.

Decision:

Chair Lesak motioned, seconded by Commissioner Braun, to reopen Public Comment – General at this time.

Chair Lesak called a Roll Call vote:

Commissioner Braun	Yes
Commissioner Barthakur	Yes
Chair Lesak	Yes

Motion carried, 3-0.

Commissioner Dahl returned to the meeting.

General Public Comments were reopened to allow Mr. Martin to speak.

Assistant City Attorney Jared remarked that the Commission has the same noticing issue with Item 2.

2. 89 Monterey Rd, Project No. 2197-HDP/DRX/VAR - Hillside Development Permit, Design Review and a Variance, to allow the construction of a 2,315 square-foot multilevel single-family home with a detached garage (APN: 5312-031-027)

Chair Lesak recused himself as his residence is within 1,000 feet of the project site and handed the meeting to Commissioner Dahl to Chair the meeting for this item. Chair Lesak left the Chamber.

Acting Chair Dahl asked for the Applicant's input and if they would like to proceed.

Peter Gonzalez, SC Planners, representing the Applicant, expressed frustration with the lack of progress on this item since 2018 and highlighted the many delays, the turnover in staffing, the significant costs incurred and the major impact the City's inefficiencies have had on the Applicants and residents of the City. On behalf of the Applicant, due to the noticing error, the Applicant would like to continue this item to the next meeting.

Public Comment:

None.

Decision:

Acting Chair Dahl motioned, seconded by Commissioner Barthakur, to continue this item to the next Planning Commission Meeting on October 12, 2021.

Chair Lesak called a Roll Call vote:

Commissioner Braun	No
Commissioner Barthakur	Yes
Chair Lesak	Yes

Motion carried, 2-1.

Chair Lesak returned to the meeting.

ADMINISTRATION

3. Comments from City Council Liaison:

None.

4. Comments from Commissioners:

Commissioner Braun thanked the current Planning Staff but expressed frustration on behalf of the Applicant for the delays they have experienced.

Chair Lesak remarked that he found the hybrid format challenging and suggested finding a way to simplify the digital agenda packet and perhaps include this item as an agenda calendar item. He also reminded the Commission of a recent discussion regarding a possible Commission retreat.

5. Comments from Staff:

Acting Director Lin provided an update on the Housing Element timeline.

ADJOURNMENT

6. Adjournment to the Planning meeting scheduled on October 12, 2021 at 6:30 PM.

There being no further matters, Chair Lesak adjourned the meeting at 7:46 P.M.

John Lesak, Chair



**CITY OF SOUTH PASADENA
Planning Commission
Meeting Minutes
Tuesday, October 12, 2021, 6:30 PM**

Via In-Person Hybrid Meeting

CALL TO ORDER

A meeting of the South Pasadena Planning Commission was called to order by Chair Lesak on Tuesday, October 12, 2021 at 6:30 p.m. The meeting was held via in-person hybrid.

ROLL CALL

Chair: John Lesak
Vice-Chair: Lisa Padilla
Commissioners: Laura Dahl, Janet Braun

STAFF PRESENT

Andrew L. Jared, City Attorney
Angelica Frausto-Lupo, Community Development Director
Margaret Lin, Deputy Community Development Director
Elizabeth Bar-El, Long Range Principal Management Analyst
Malinda Lim, Associate Planner

COUNCIL

Council Liaison: Diana Mahmud, Mayor

APPROVAL OF AGENDA

Chair Lesak motioned to approve the agenda as submitted.

Motion carried, 4-0

DISCLOSURE OF SITE VISITS AND EX-PARTE CONTACTS

Vice-Chair Padilla visited the sites on Peterson Avenue and Monterey Road. Commissioner Dahl visited 89 Monterey Road. Chair Lesak visited all three sites.

PUBLIC COMMENT:

None

PUBLIC HEARING:

- 1. 1818 Peterson Avenue, Project No. 2380-HDP/DRX/VAR/ADU/TRP – Hillside Development Permit, Design Review, Variances, Accessory Dwelling Unit, and Tree Permit to allow the construction of a 1,231-square-foot, multi-level single-family home with a 504-square-foot ground floor garage (of which 4 feet is attributed to the living area) and an attached 495-square-foot JADU on a vacant 3,740-square-foot lot. The variances include a reduction of the site to be remediated to its natural slope and vegetation, reduction in the front setback, and to allow retaining walls to exceed 6 feet in height. The Tree Removal Permit is for the removal of 8 trees (Continued).**

Commissioner Dahl recused herself as her residence is within 1000 ft. of the project site.

Recommendation:

Approve as submitted by staff.

Staff Presentation:

Associate Planner Lim presented the project.

Questions for Staff:

Vice-Chair Padilla asked for clarification on the 20 ft. right-of-way. Associate Planner Lim replied that it was there to widen the street and meet requirements for street length.

Applicant Presentation:

Applicant Darby Whipple opened himself to questions.

Questions for Applicant:

Chair Lesak asked if the applicant would use solar panels. Applicant Whipple replied that was the intention but due to issues with Tesla it might not happen.

Public Comment:

None.

Commissioner Discussion:

Commissioner Braun supported the project.

Vice-Chair Padilla thought that the project was very specific and requested staff to make sure the applicant did not have to build a sidewalk.

Chair Lesak agreed with the other commissioners.

Motion:

Commissioner Braun motioned to approve the project as submitted.

Vice-Chair Padilla seconded.

Motion carried, 4-0

2. 89 Monterey Rd, Project No. 2197-HDP/DRX/VAR - Hillside Development Permit, Design Review and a Variance, to allow the construction of a 2,315 square-foot multilevel single-family home with a detached garage (APN: 5312-031-027)

Chair Lesak recused himself due to his residence being within 1,000 ft. of the project site.

Recommendation:

Approve as submitted by staff.

Staff Presentation:

Associate Planner Lim presented the project.

Questions for Staff:

Commissioner Braun asked if this should be a Short Way or Monterey Road address. Associate Planner Lim replied it could be either. Commissioner Braun asked if the garage was on stilts. Associate Planner Lim replied the applicant could answer that.

Commissioner Dahl asked why the address has not been changed to Short Way. Associate Planner Lim replied it was up to the applicant. Commissioner Dahl asked about the floor area ratio (FAR) regarding the garage. Associate Planner Lim replied it was not counted.

Questions for Applicant:

Applicant gave a brief history of the project, noting it is narrow and very steep.

Commissioner Dahl asked if the retaining wall will be upgraded. Applicant replied that it will be stucco to match the exterior of the house. Commissioner Dahl asked if that will happen to all the walls. Applicant confirmed that. Commissioner Dahl asked about the landscaping. Applicant replied they will not touch it. Commissioner Dahl asked if the drainage pipes would be removed. The Applicant confirmed that.

Vice-Chair Padilla asked about the construction access. The Applicant replied they were fully aware of the challenges.

City Attorney Jared added that the Building Division would have some oversight on the address change.

Commissioner Discussion:

Commissioner Braun floated the idea of adding the address change as a condition.

Commissioner Dahl brought up concerns about construction due to how narrow Short Way is. Applicant replied that construction will go on both streets but some materials will have to go through Short Way, but clean up can go out Monterey Road. Commissioner Dahl asked if the carport had to be removed. Applicant replied it did not. City Attorney Jared added that the Applicant will self-condition and change the address to Short Way.

Vice-Chair Padilla mentioned that on any hillside construction the same concerns will be brought up and suggested that the Applicant notify their neighbors of when heavy work will be done.

Commissioner Dahl brought up that every house built on a slope needs a variance and potentially the code needs to be changed. Vice-Chair Padilla agreed, noting Chair Lesak brought this up on the previous site (Where Commissioner Dahl had been recused).

Discussion about coordination of construction sites.

Motion:

Commissioner Dahl motioned to approve the project with amendments to include two construction signs.

Commissioner Braun seconded the motion.

Motion carried, 3-0.

- 3. 619 Indiana Terrace, Project No. 2218-HDP/DRX/TRP - Hillside Development Permit, Design Review, Variance, and a Tree Removal Permit to allow the construction of a 4,234 square-foot multi-level single-family home with a detached garage (APN: 5314-005-021)**

Recommendation:

Continue this item to the next regularly scheduled meeting on November 9, 2021.

Motion:

Chair Lesak motioned to continue this item to the meeting on November 9, 2021.

Vice-Chair Padilla seconded.

Motion carried, 4-0

DISCUSSION

- 4. Release of the 2021-2029 Public Review Draft General Plan Housing Element**

Staff Presentation:

Principal Management Analyst Bar-El presented the update.

Recommendation:

Receive staff's presentation and discuss the review process for the Public Review Draft General Plan Housing Element.

Questions for Staff:

Commissioner Braun asked if SB 9 and SB 10 were going to be added to the document. City Attorney Jared thought that SB 9 was going to have the largest impact, but it was important to have it be a focus point of discussion. Commissioner Braun thought that South Pasadena should not roll over on all the orders coming from the legislature.

Vice-Chair Padilla asked what the consequence for ignoring SB 9 would be.

Analyst Bar-El added that the City could still meet the cycle by rezoning within a year of the October deadline. City Attorney Jared added that HCD can impose measures and introduce litigation.

Vice-Chair Padilla asked what type of input the City asked from residents. Analyst Bar-El replied that the presentations being provided were highly summarized versions of the entire element.

City Attorney Jared made some minor date corrections to the Housing Element.

Commissioner Dahl asked how public comments will be incorporated. Analyst Bar-El replied that all comments will be added into the final draft that will go before HCD. Commissioner Dahl asked what would happen if HCD rejected the element. Analyst Bar-El replied that the City will be in contact with HCD during the 60 days review period to make revisions.

Chair Lesak asked what type of community outreach is being done. Analyst Bar-El replied that the public can email in comments.

Public Comment:

Josh Albrektson brought up concerns about ADUs, hillside development, IHO, and HCD comments.

City Attorney Jared mentioned that this type of comment was suited for the 60-day public comment period. Commissioner Braun asked when the time for the comment would be. City Attorney Jared replied it should be on the 9th and 15th. Commissioner Braun asked whether comments like these would be noted or discussed. Analyst Bar-El replied that all comments will be sent to the draft. Commissioner Braun asked if it would be a hearing or a debate. Analyst Bar-El replied it could be made more informal, like a discussion.

ADMINISTRATION

5. Comments from Council Liaison

Mayor Mahmud brought up AB 2283 and asked that the City require that storm water be retained. Mayor Mahmud mentioned that number of housing bills passed by the state legislature and a possible joint meeting with City Council. Mayor Mahmud suggested that an explanation of the RHNA imposed numbers be created.

6. Comments from Commissioners

Commissioner Braun thanked Mayor Mahmud for her work with the environmental group and asked people to contact their state representatives.

Vice-Chair Padilla brought up difficulty in reading the agenda packet due to multiple last-minute changes. Commissioner Dahl echoed those concerns.

Chair Lesak brought up concerns about lack of environmental regulation on new construction.

7. Comments from Staff

Director Frausto-Lupo thanked the commission, welcomed Deputy Director Lin and let the Commission know that Associate Planner Lim will be leaving the City.

ADJOURNMENT

8. Adjournment to the Special Planning Commission meeting scheduled for November 9, 2021 at 6:30 PM.

There being no further matters, Chair Lesak adjourned the meeting at 9:34 P.M

John Lesak, Chair



**CITY OF SOUTH PASADENA
Planning Commission
Meeting Minutes
Tuesday, November 9, 2021, 6:30 PM**

Via In-Person Hybrid Meeting

CALL TO ORDER

A meeting of the South Pasadena Planning Commission was called to order by Chair Lesak on Tuesday, November 9, 2021 at 6:30 p.m. The meeting was held via in-person hybrid.

ROLL CALL

Chair: John Lesak
Vice-Chair: Lisa Padilla
Commissioners: Amitabh Barthakur, Janet Braun, and Laura Dahl

STAFF PRESENT

Andrew L. Jared, City Attorney
Angelica Frausto-Lupo, Community Development Director
Margaret Lin, Deputy Community Development Director
Elizabeth Bar-El, Principal Management Analyst
Jeff Hamilton, Contract Planner

COUNCIL

Council Liaison: Diana Mahmud, Mayor

APPROVAL OF AGENDA

Chair Lesak motioned to approve the agenda as submitted

Motion carried, 5-0

DISCLOSURE OF SITE VISITS AND EX-PARTE CONTACTS

Commissioner Braun drove by both sites. Vice-Chair Padilla visited the Indiana Terrace site.

PUBLIC COMMENT:

None

PUBLIC HEARING:

1. **619 Indiana Terrace, Project No. 2218-HDP/DRX/TRP - Hillside Development Permit, Design Review, Variance, and a Tree Removal Permit to allow the construction of a 4,234 square-foot multi-level single-family home with a detached garage (APN: 5314-005-021)**

Staff Presentation:

Contract Planner Hamilton presented the project.

Recommendation:

Approve as submitted by staff.

Questions for Staff:

Vice-Chair Padilla asked about a reference to a JADU in the drawings. Contract Planner Hamilton replied that it was a remnant of another project.

Commissioner Dahl asked if Contract Planner Hamilton had visited the site in the 2 year interim since the arborist report was done. Contract Planner Hamilton had not. Commissioner Dahl asked where in the conditions the protected trees outlined in the arborist were. Contract Planner Hamilton replied it was in condition P-8.

Commissioner Barthakur clarified that 9 trees were being removed, 4 of which were protected. Contract Planner Hamilton replied that a few of the drawn trees were actually shrubs, and he counted 9 actual trees. Commissioner Barthakur clarified that only 9 flora classified as trees were being removed. Contract Planner Hamilton confirmed that.

Chair Lesak asked if a geotechnical report was provided. Contract Planner Hamilton replied that it was submitted to Public Works.

Public Comment:

Hussein Amiri lives at 617 Indiana Terrace and expressed concern that the large windows and balcony on the proposed project would infringe on his family's privacy.

Miriam Amiri lives at 617 Indiana Terrace and expressed concerns that the project has 14 openings facing her house, while the east side has only 6 openings. Further expressed concern that the two balconies overlook her backyard.

Commissioner Discussion:

Commissioner Barthakur expressed concern that the percent protections on the natural landscaping were arbitrary.

Commissioner Dahl asked if the commission can impose stricter construction hours than the zoning code. City Attorney Jared replied that unless a finding is made with evidence, the commission must follow the Municipal Code. Commissioner Dahl brought up a public comment on utility lines and retaining walls. Contract Planner Hamilton replied that the applicant was not going to remove any retaining walls. Commissioner Dahl asked for confirmation that the utility lines were not disturbed. Contract Planner Hamilton replied that the Building and Safety Division carefully monitors construction. Commissioner Dahl requested the applicant to voluntarily reduce the construction hours.

Vice-Chair Padilla thought the trees were protected. She brought up the rise of glass railings as birds crash into them often. She asked what the entertainment room was, and if the applicant would consider stepping the terrace back over the garage.

Commissioner Braun brought up the large FAR variance, the 12 ft. high retaining wall, and lack of communication with neighbors.

Chair Lesak thought that the privacy issue was a major concern and was unsure that an approval could be made at this time.

Vice-Chair Padilla brought up the large driveway, guest parking, and the kitchen in the entertainment room as plans for a possible ADU development.

Chair Lesak mentioned that the drawings did not include the neighboring developments.

The commission encouraged the applicant to build an ADU and did not feel they could make a recommendation without hearing from the applicant.

Commissioner Braun asked that neighbor outreach be included in the motion.

Motion:

Chair Lesak motioned to continue the item and request clarification on the retaining wall, orientation of the windows, and orientation of the terrace, noise generating items, JADU, and entertainment room.

Commissioner Braun seconded.

Motion carried, 5-0

2. **1502 Indiana Avenue, Project No., 2319-HDP/DRX/VAR/ADU/TRP – Hillside Development Permit, Design Review, two Variances, Accessory Dwelling Unit and a Tree Removal Permit to construct a 2,468 square-foot multi-level single family home with an attached 500 square-foot junior accessory dwelling unit and removal of 10 trees on an undeveloped hillside lot. (APN: 5314-006-020)**

Recommendation:

Continue this item to the Special Meeting scheduled on November 15, 2021.

Motion:

Chair Lesak motioned to continue this item to the Special Meeting scheduled on November 15, 2021.

Motion carried, 5-0.

DISCUSSION

3. **Release of the 2021-2029 Public Review Draft General Plan Housing Element**

Staff Presentation:

Analyst Bar-El presented the Element.

Recommendation:

The Planning Commission is to provide comments and suggestions to staff to revise the Public Review Draft Housing Element, 2021-2029 in preparation for the final draft.

Public Comment:

Sean Mann, member of the Southwest Regional Council of Carpenters asked that the city use local skilled workers to build housing for the Housing Element.

Samantha Hill asked if the City is taking any steps to apply for state-level housing grants.

Josh Albrektson asked the commission to review the City's ADU numbers at the 11/15 meeting after HCD makes a decision regarding Oxnard, who has similarly high numbers.

Jason Green requested the city to use local skilled workers to build housing.

Commissioner Discussion:

Commissioner Braun asked what the new timeline for approval would be. City Attorney Jared replied that the timeline has not changed but there is slightly more breathing room.

Commissioner Barthakur mentioned that HCD comments on other cities were very critical of low-income projects that were to be built on non-vacant sites. City Consultant from Placeworks confirmed there is a higher bar for redevelopment but the City decided to do outreach to those sites. Commissioner Barthakur asked if HCD asked for regional trends. City Consultant confirmed that. Commissioner Barthakur asked how the City was going to meet its affordability goal. City Consultant replied that there was going to be 100% affordable housing built. Commissioner Barthakur asked what HCD was going to look at. City Consultant replied that HCD looks at owner's interest, distance from transit, and sub-regional patterns.

Commissioner Dahl thought that the new deadline was October 15th, and the City needed to make zoning code amendments. Commissioner Dahl asked if the zone changes will be added overlays to existing zoning. Analyst Bar-El replied that some projects will need rezoning, not just an overlay. Commissioner Dahl asked how the City will handle neighborhood opposition to the sites. City Consultant replied that all projects will go through the same hearings as usual.

Commissioner Dahl asked how ADUs were determined affordable or not. City Consultant replied it was based on a HCD approved SCAG study. Commissioner Dahl asked what the difference between planning and building permits. City Consultant replied that planning permits are a requirement to get a building permit.

Vice-Chair Padilla thought that the City needs to address staffing shortages for the 38 upcoming programs and the PC might need more meetings in 2022. Vice-Chair Padilla asked if there was only one hearing. Analyst Bar-El replied that was correct, but the Commission could schedule more meetings.

Vice-Chair Padilla mentioned that the Commission and residents should be prepared for higher, denser and lower quality developments to meet the RHNA requirements. City Attorney Jared clarified that the 45 ft. barrier won't be broken but some situations will happen.

Commissioner Braun thought that the community outreach was not being direct in what was happening with RHNA. Commissioner Braun asked for an update on the Caltrans housing.

City Attorney Jared added that many cities in SCAG are fighting against the numbers allocated to SCAG.

Commissioner Barthakur thought that with community outreach, mentioning the 1% of all plots were being considered would help. Chair Lesak thought that the City needs to go out to the residents, suggesting PTA meetings and the farmers market.

4. SB9 and SB10 Presentation

Staff Presentation:

City Attorney Jared presented the updates to the state law.

Public Comment:

Sean Mann asked the commission if there were any other meetings to comment on the Housing Element. Chair Lesak replied there was.

Alan E brought up ideas and suggestions regarding split-lots and asked where the water for the additional 2,000 units was coming from.

Josh Albrektson recommended the City take a look at SB 478.

City Attorney Jared replied that the City adopted an urban water plan and did not believe the City was going to run out of water anytime soon. City Attorney Jared added that if the lot was sufficiently large enough it could be split multiple times.

ADMINISTRATION

5. Comments from Council Liaison

Mayor Mahmud brought up that the City gets its water from wells in the SGV and discussed the City's process of purifying water. Mayor Mahmud added that tomorrow there is a Special City Council meeting on the capital improvement plan and redistricting. Mayor Mahmud added that only one of the LA County cities had begun litigation against HCD. She agreed with City Attorney Jared that SB 9 will not be hugely consequential but CHC needs to look at it. Mayor Mahmud was more concerned about the state of the water infrastructure, not the availability of water.

6. Comments from Commissioners

Chair Lesak requested that at some point the Commission look at the slope and natural vegetation requirements as well as the microbrewery project.

7. Comments from Staff

Deputy Director Lin reminded the public of upcoming outreach events and mentioned that the backlog is due to staff shortages.

ADJOURNMENT

8. Adjournment to the Special Planning Commission meeting scheduled on November 15, 2021 at 6:30 PM.

There being no further matters, Chair Lesak adjourned the meeting at 9:57 P.M

John Lesak, Chair



**CITY OF SOUTH PASADENA
Planning Commission
Special Meeting Minutes
Monday, November 15, 2021, 6:30 PM**

CALL TO ORDER

A special meeting of the South Pasadena Planning Commission was called to order by Chair Lesak on Monday, November 15, 2021 at 6:32 pm. The meeting was held in-person hybrid and via Zoom, in the Amedee O. "Dick" Richards, Jr., City Council Chamber, located at 1424 Mission Street, South Pasadena, California.

ROLL CALL

Present: Chair: John Lesak
Vice-Chair: Lisa Padilla
Commissioners: Laura Dahl and Janet Braun

Absent: Amitabh Barthakur

City Staff

Present: Andrew Jared, City Attorney
Angelica Frausto-Lupo, Community Development Director
Margaret Lin, Deputy Community Development Director
Lisa Krause, Contract Planner

Council

Present: Council Liaison Diana Mahmud, Mayor

Pledge of Allegiance: Chair Lesak

APPROVAL OF AGENDA:

Approved, 4-0.

DISCLOSURE OF SITE VISITS AND EX-PARTE CONTACTS:

None.

PUBLIC COMMENT:

None.

CONTINUED HEARING:

1. **1502 Indiana Avenue, Project No. 2319-HDP/DRX/VAR/ADU/TRP – Hillside Development Permit, Design Review, two (2) Variances, Accessory Dwelling Unit and a Tree Removal Permit to construct a 2,468 square-foot multi-level single family home with an attached 500 square-foot junior accessory dwelling unit and removal of ten (10) trees on an undeveloped hillside lot (APN: 5314-006-020).**

Recommendation:

Approve as submitted by Staff.

Staff Presentation:

Contract Planner Krause presented a PowerPoint presentation.

Questions for Staff:

Vice-Chair Padilla inquired about the natural state percentage, which is lower now from the previous application.

Applicant's Presentation:

Applicant Anthony George presented a PowerPoint presentation and reviewed several elevations, providing detail and rationale regarding some of the choices and decisions made.

Questions for Applicant:

Commissioner Dahl inquired about the location of the 25 replacement trees required by the Public Works Department. Applicant George responded that the locations would be determined when the project is in plan check or getting Public Works approval.

Commissioner Dahl asked if the elevator goes only to the first floor of the main house. The Applicant confirmed that and noted it is a residential elevator that has all its equipment on the ground floor in a separate room behind the garage.

Commissioner Dahl remarked that the geotechnical report is stamped 'Draft' and inquired if there is a final report. The Applicant noted that a final report is usually generated once the drawings are submitted for plan check. In his experience, the geotechnical report will not change. However, if any significant changes were made, he would bring them back to the Planning Commission.

Public Comment:

None. However, there was a previous comment letter in May from Mr. Freeman of 511 Alta Vista.

Discussion:

Vice-Chair Padilla thanked the Applicant's architects for the informative presentation and for providing the rationale for several of the design decisions, materials choices and the slope discussion. She noted that many of the changes were responsive to the Commission's earlier concerns.

Commissioner Dahl expressed concern that this home is as large as it is given the steepness of the site, necessitating a large variance from the natural state requirement.

Commissioner Braun thought this was a much-improved project and appreciated the Applicant's explanation of why it would be almost impossible to meet the natural state percentage of 63 percent that would otherwise be required.

Chair Lesak commented that the application drawings do not show the neighboring property, which would show context. He appreciated the improvements to the project and the clarity of the drawings. He also appreciated Commissioner Dahl's comments. In general, given some of the other projects that have been approved, he would be in favor of the project.

The Commissioners and Staff discussed the differences between a Junior ADU and an ADU, including how they relate to the City's Regional Housing Needs Assessment (RHNA).

Vice-Chair Padilla revisited the issue of the natural slope percentages and asked if there is a way to tackle that issue in the 2022 or 2023 Work Plan. Chair Lesak noted that he requested to look at this issue in the first quarter in the Commissioner comments at the last meeting.

Decision:

Vice-Chair Padilla moved, seconded by Commissioner Dahl, to adopt a Resolution approving Project No. 2319-HDP/DRX/VAR/ADU/TRP for the construction of a 2,468 square-foot multi-level single family home with an attached 500 square-foot junior accessory dwelling unit and a two-car garage on an undeveloped hillside lot subject to the Conditions of Approval.

Chair Lesak called the Roll:

Motion carried, 4-0.

ADMINISTRATION:

2. Comments from City Council Liaison:

Mayor Mahmud noted that City Council will hear a presentation on the Housing Element at their meeting on Wednesday.

3. Comments from Planning Commissioners:

Commissioner Braun asked if the Commission should be recommending any actions to the City with respect to some of the State legislation – specifically SB9 and SB10.

Mayor Mahmud remarked that the City sent a letter directly to Governor urging him to veto SB9. Separately, the City joined in a letter sent by the San Gabriel Valley Council of Governments.

Commissioner Braun asked if City Council was going to take any action on SB10 to opt out. Mayor Mahmud remarked that if the City Council decides not to take advantage of SB10, it would do nothing, as it is an enabling ordinance.

Commissioner Dahl asked about the status of the meeting minutes and if they were no longer required because of the pandemic. Director Frausto-Lupo confirmed that the minutes are still required and the department is still working to bring them up to date.

Chair Lesak remarked that when looking at open space next year, he would like to know the history of the natural state requirement - when it was added to the Zoning Code and how that may relate to some of the larger hillside developments (in the Monterey Hills, in particular). Those developments do not have anywhere near the percentage amount of natural state that is being required currently. In addition, he feels strongly about making sure that applications include drawings of the neighboring buildings. Without that, there is not enough information.

4. Comments from Staff:

Director Frausto-Lupo noted the Chair's comments to require applications to include a drawing of neighboring buildings for context. In addition, the planners have shared with applicants that they or their representative should attend the public hearings for their projects.

As a reminder for the public, the Housing Element Draft is out for public review and public comments are still being accepted through December 6. The next regular meeting is scheduled for December 14.

Finally, she wished everyone a Happy Thanksgiving.

ADJOURNMENT

5. **Adjournment to the regular Planning Commission meeting scheduled for December 14, 2021 at 6:30 pm:**

There being no further matters, Chair Lesak adjourned the meeting at 7:23 pm.

John Lesak, Chair



**CITY OF SOUTH PASADENA
Planning Commission
Meeting Minutes
Tuesday, December 14, 2021, 6:30 PM
Amedee O. "Dick" Richards Jr. Council Chambers
1424 Mission Street, South Pasadena, CA 91030**

CALL TO ORDER:

A regular meeting of the South Pasadena Planning Commission was called to order by Chair Lesak on Tuesday, December 14, 2021 at 6:33 p.m. The meeting was held at 1424 Mission Street, South Pasadena and via Zoom teleconference.

ROLL CALL:

Present: Chair: John Lesak
Vice-Chair: Lisa Padilla
Commissioners: Amitabh Barthakur and Janet Braun

Absent: Commissioner: Laura Dahl

City Staff

Present: Andrew L. Jared, City Attorney
Angelica Frausto-Lupo, Community Development Director
Margaret Lin, Deputy Community Development Director
Matt Chang, Planning Manager
Contract Planner Cecilia Jaroslowsky (via Zoom)

Council

Present: Council Liaison: Diana Mahmud, Mayor (via Zoom)

PLEDGE OF ALLEGIANCE: Chair John Lesak

APPROVAL OF AGENDA:

Approved, 4-0.

DISCLOSURE OF SITE VISITS AND EX-PARTE CONTACTS:

Chair Lesak reported that he received a handful of comments from the South Pasadena Chamber of Commerce on the discussion item.

PUBLIC COMMENT:

Public Comment – General (Non-Agenda Items):

Ted Gerber, Acting Director of Public Works, gave a brief update on the Slow Streets Program.

Josh Albrectson, resident, spoke about the Housing Element, the General Plan and the Downtown Specific Plan.

PUBLIC HEARING - CONTINUED:

1. **619 Indiana Terrace, Project No. 2218-HDP/DRX/TRP – Hillside Development Permit, Design Review, Variance and a Tree Removal Permit to allow the construction of a 4,234 square-foot multi-level single-family home with a detached garage (APN: 5314-005-021):**

Recommendation:

Approve as submitted by Staff.

Staff Presentation:

Contract Planner Jaroslowsky presented a PowerPoint presentation.

Questions for Staff:

Vice-Chair Padilla asked about a change in the natural state percentage number.

Commissioner Barthakur discussed the natural state percentage number and asked about the removal of the retaining wall.

Applicant's Presentation:

Architect Jason Beck spoke on behalf of the owner and provided the background and history of the project.

Public Comment:

A next-door neighbor expressed concern about the project.

Applicant's Rebuttal:

The Architect addressed the neighbor's concerns, which included a reference to tree placement.

Vice-Chair Padilla asked about the differences between the current landscape plan and the landscape plan the Commission reviewed last month.

Commissioner Discussion:

Commissioner Braun summarized the differences from the last time the project was reviewed, including keeping the existing retaining wall on the west side; evaluating where there might be underground utility lines; protecting the privacy of the neighbors; and the extra room not being an ADU or a Junior ADU.

Vice-Chair Padilla discussed the differences between the two presentations.

The Commissioners agreed that this was a reasonably well thought-through project and wanted to move this project along as there have been several delays. They appreciated having the neighboring properties added to the presentation to provide the context of seeing buildings next to each other. They also agreed that the neighbor's concerns should be acknowledged and reasonable accommodations should be made that could mitigate the privacy impact.

Chair Lesak expressed concern about the inconsistencies in the plan. Commissioner Braun suggested a Chair Review to evaluate the revised plans to update and address the plans and mitigation of the neighbor's privacy concerns.

Planning Manager Chang advised the Commission that the staff could work with the Chair, the Applicant and the neighbor to make a good faith effort to address the neighbor's concerns.

Decision:

Commissioner Braun moved, seconded by Vice-Chair Padilla, to approve a Resolution for 619 Indiana Terrace, Project Number 2218, consisting of a Hillside Development Permit, Design Review, Variance and Tree Removal Permit for the construction of an approximately 4,234 square-foot multi-level single-family home with an attached garage, with the added Condition that the Applicant submit a final correct set of plans for the Chair to review and that the Chair, City Staff, Applicant and neighbor to the west discuss mitigation of privacy issues (which could include window placement, trees or some other Condition) and that the Applicant make a good faith effort to resolve privacy issues.

Chair Lesak called the Roll:

Motion carried, 4-0.

DISCUSSION ITEM:

2. 815 Fremont Avenue – Informational Presentation:

Applicant's Presentation:

Applicant Jason Mak provided a PowerPoint presentation.

ADMINISTRATION:

3. Comments from City Council Liaison:

Mayor Mahmud encouraged the Applicant from the previous presentation to explore potential funding for electric vehicles parking with Southern California Edison as well as the California Energy Commission which have programs that incentivize the installation of EV chargers.

She reported that tomorrow night, City Council is going to consider adoption of an ordinance to establish objective standards for implementation of SB9 on an urgency basis. She is going to strongly recommend to have the Planning Commission look into a number of additional aspects of other ordinances that have been enacted by other City Councils. She looks forward to receiving the Commissioners' input on a number of refinements to the ordinance that she anticipates they will pass tomorrow evening.

She thanked the Commissioners for their dedication and wished them a wonderful holiday Season.

4. Comments from Planning Commissioners:

Chair Lesak wished everyone Happy Holidays.

5. Comments from Staff:

Director Frausto-Lupo reported that the public comment period on the Housing Element was extended through December 22nd and encouraged the public to send comments.

She introduced new Planning Manager Matt Chang. She informed the Commission that Associate Planner Braulio Moreno started yesterday and two (2) additional Associate Planners would be starting next week.

Planning Manager Chang addressed the Commission and thanked them for the opportunity. He wished everyone Happy Holidays.

ADJOURNMENT:

6. Adjournment to the Planning Commission meeting scheduled on January 11, 2022:

There being no further matters, Chair Lesak adjourned the meeting at 8:07 p.m.

John Lesak, Chair



Community Development Department

Memo

DATE: December 12, 2023

TO: Planning Commission

FROM: Angelica Frausto-Lupo, Community Development Director
Matt Chang, Planning Manager

PREPARED BY: Sandra Robles, Associate Planner

RE: Item 7. Project No. 2500-HDP/DRX/VAR/PM/TRE located at 4931
Harriman Avenue (APN: 5312-016-016 & 5312-016-017)

This item was continued from the regularly scheduled November 14, 2023, Planning Commission meeting.

Staff is recommending continuing this item to the next regularly scheduled Planning Commission meeting on January 9, 2024.



Planning Commission Agenda Report

ITEM NO. 8

DATE: December 12, 2023

FROM: Angelica Frausto-Lupo, Community Development Director
Matt Chang, Planning Manager

PREPARED BY: Sandra Robles, Associate Planner

SUBJECT: **Project No. 2495-NID/DRX/CUP – A request for a Notice of Intent to Demolish (NID) a 643-square-foot convenience store and a 1,221-square-foot repair garage; a Design Review Permit (DRX) to construct a 1,981-square-foot convenience store with a 127-square-foot trash enclosure; and, a Conditional Use Permit (CUP) for off-sale beer and wine at the Chevron gas station located at 1400 Mission Street (APN: 5315-002-030). Finding the project exempt under California Environmental Quality Act (CEQA) Guidelines Sections 15302 and 15303.**

Recommendation

Staff recommends that the Planning Commission adopt a Resolution (**Attachment 1**) taking the following actions:

1. Finding the project exempt under the California Environmental Quality Act (CEQA) Guidelines, Sections 15302 and 15303.
2. Approve Project No. 2495-NID/DRX/CUP, subject to the recommended Conditions of Approval (**Attachment 1, Exhibit A**).

Background

The subject site is a rectangular-shaped 18,255-square-foot lot located on the northeast corner of Mission Street and Fremont Avenue (see **Figure 1** on the following page to view the aerial) and is zoned Downtown Specific Plan (DTSP). Surrounding land uses include civic facilities to the east (South Pasadena Civic Center), commercial uses to the west and south, and a mixed-use project with commercial and residential uses to the north. The property was originally developed with a service station in the 1920s. The original buildings were demolished, and a new convenience store was constructed in 1962; the repair garage was constructed in 1965. The convenience store and repair garage have undergone a number of renovations, starting in the 1980s; the rooflines of both buildings were altered, and the storefront was reconfigured and replaced. The fuel canopy area

was replaced in 2008. **Figures 2, 3 and 4** are pictures of the gas station, as it appears today.

Figure 1: Aerial



Figure 2: Northeast view of subject property

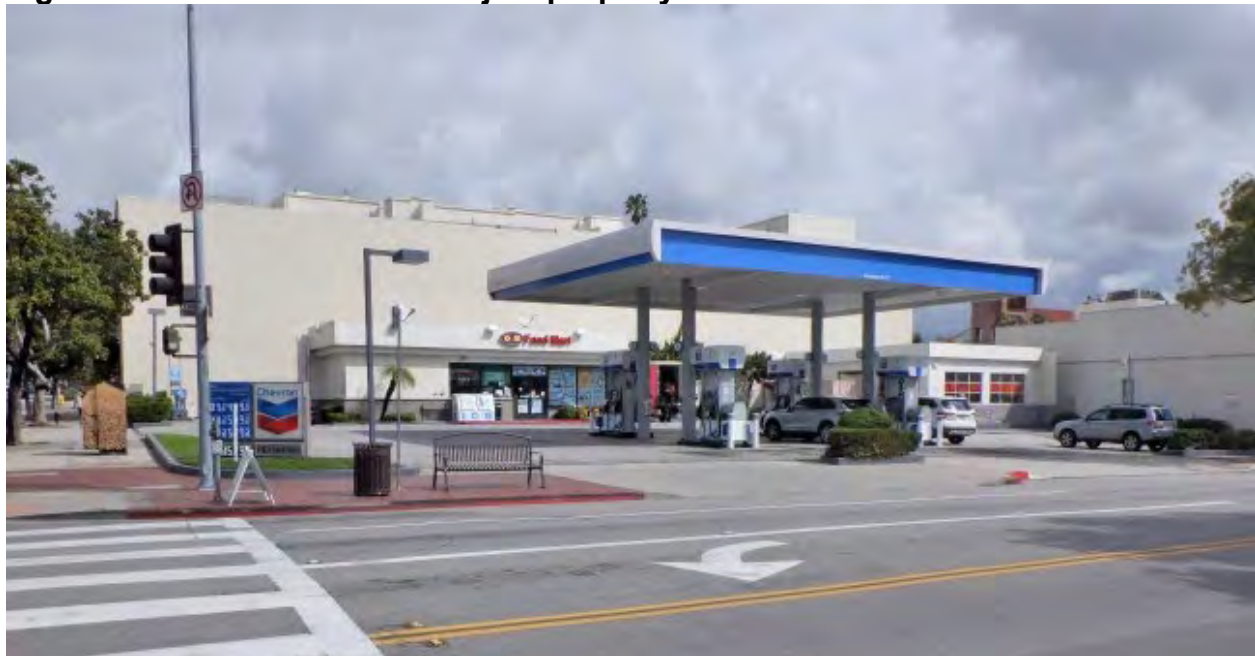


Figure 3: Convenience Store



Figure 4: Repair Service Garage



The project was initially proposed and approved by the Planning Commission in 2015. The project included a request for a Design Review Permit (DRX) for the demolition of the convenience store and repair garage and to construct a new 2,223-square-foot convenience store with a 93-square-foot trash enclosure. The request also included a Conditional Use Permit (CUP) for off-sale beer and wine. The Planning Commission approved the request for Project No. 1807-CUP/DRX on June 22, 2015. The entitlement was valid for 12 months; however, the applicant did not exercise the approval and the entitlement expired on July 7, 2016. The applicant submitted a new application on May 4, 2022. The request was modified to include a new 1,981-square-foot convenience store and a 127-square-foot trash enclosure.

Project Description

The applicant is requesting approval to demolish an existing convenience store and repair garage and construct a new convenience store. The existing canopy structure and fuel pumps are proposed to remain. As part of the project, the applicant proposes to provide new landscaping, to reduce the number of existing driveway approaches along Mission Street from three to two aprons and restripe the parking lot to provide six parking stalls. The applicant is also proposing the sale of beer and wine for off-site consumption at the new convenience store. The convenience store's hours of operation are 24 hours a day, 7 days a week. Hours of alcohol sales are proposed from 6:00 a.m. until 12:00 a.m., daily.

Entitlements:

The applicant is requesting the following entitlement applications for the proposed project:

1. Notice of Intent to Demolish (NID) a 643-square-foot convenience store and a 1,221-square-foot repair garage;
2. Design Review Permit (DRX) for the review of the design aspects of the proposed 1,981-square-foot convenience store and 127-square-foot trash enclosure; and,
3. Conditional Use Permit (CUP) for the sale of beer and wine for off-site consumption (Type 20 ABC License).

The architectural drawings, plans, and are included as **Attachment 7**.

Project Analysis

General Plan Consistency

On September 27, 2023, the City updated its General Plan to be consistent with the 2021-2029 (6th Cycle) Housing Element, which includes a new Downtown Specific Plan (DTSP) to replace the Mission Street Specific Plan (MSSP), amendments to the Zoning Code and Zoning Map, the creation of a Mixed-Use Overlay District and development standards. The subject property has been rezoned from Commercial General (CG) to DTSP; however, the proposed project was deemed complete prior to the General Plan and

Zoning update, as such, the proposed project is subject to the evaluation criteria at the time of submittal.

The General Plan land use designation of the CG zoned site is General Commercial, which per the General Plan, provides for a variety of retail, service, office, automotive establishments, entertainment facilities, convenience goods and services to residents in the immediate neighborhood. In addition, this category includes “convenience” commercial uses that provide retail goods and services to residents in the immediate neighborhood.

The proposed project conforms to the following goals and policies of the General Plan:

2.5B Economic Development/Commercial Revitalization

Goal 2: To maintain the character of South Pasadena’s “main street” commercial areas, support the proprietary businesses of the city, avoid deterioration of commercial areas and the business tax base, and promote those forms of economic development that will provide additional jobs, services and opportunities to the city and its residents.

Policy 2.2: Strengthen retail. Encourage retail and sales tax producing businesses to remain in, expand in, or come to South Pasadena to promote healthy retail areas.

Policy 3.10: Encourage convenience business. Encourage the appropriate “convenience” commercial to serve residents within walking distance of homes.

The proposed project is a convenience store, mainly serving traveling motorists. Additionally, the proposed project maintains the character of South Pasadena’s “main street” commercial, strengthens retail, and encourages convenience commercial; therefore, the request is consistent with the General Plan.

Zoning Code Compliance & Development Standards

The project is zoned Commercial General (CG), which is intended for a wide range of commercial retail and service land uses. The sale of alcoholic beverages is permitted in the CG zone with the approval of a CUP. The purpose of the CUP process is to allow for certain activities upon review and determination of its effect on a site and its surrounding uses after the review of the configuration, design, location, and potential impacts of the proposed use and suitability of the use to the site. Development standards from SPMC Section 36.350.090—Gas Stations—was applied to this project, as an existing gas station is proposed to be reconstructed by more than 50 percent of its assessed valuation.

Table 1 provides a breakdown of the existing conditions of the proposed project and its compliance with SPMC Section 36.350.090 regulating gas stations. The proposed project meets all of the applicable required development standards.

Table 1: Development Standards for Gas Stations

Zoning Code Standard	Requirement	Provided
Setbacks	Minimum building setback – 30' from street.	60' building setback from street
	Minimum gas pump setback- 20' from P/L.	23' existing pump setback from P/L.
Access points	2 maximum per street frontage.	2 on Mission Street/1 on Fremont Avenue.
Driveways	No closer than 5' to a corner	40' to corner
	Maximum width of flat area-30'	28' max driveway width (existing)
	Minimum separation between driveways- 22.'	32' between driveways on Mission Street.
Landscaping	Water efficient landscaping, per SPMC Section 36.330	Drought-tolerant landscaping proposed.
	Minimum 3' wide planters required along street side and along interior P/L equal to 50' of building width at front.	5'-7' wide planters provided along street frontages/172' of planter provided along interior P/L.
	Minimum 150 sf of landscaping required at street intersection.	405 sf of landscaping at intersection.
Outdoor Lighting	Shall be shielded to prevent glare or interference	Fixtures are manufactured with light control optics and glare shields.

Notice of Intent to Demolish

In accordance with SPMC, Section 2.65(e)(3), any structure over 45 years old that proposes demolition and is not identified as a historic or cultural resource requires the preparation of an intensive-level Historic Resource Evaluation (HRE) report. The two structures on the subject property are over 45 years old and are slated for demolition, as such, an intensive-level HRE was prepared by a City-selected architectural historian consultant, to evaluate the property and determine if the property is a historic and cultural resource prior to its demolition. Based on the report's findings, on May 18, 2023, the Cultural Heritage Commission (CHC) determined that the subject buildings are not eligible for national, state, or local designation, as such, the subject property is not historic and culturally significant.

Design Review

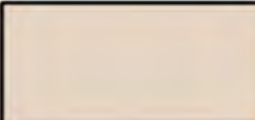





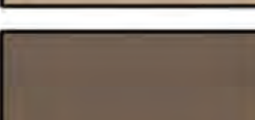


The proposed project is a modification to an existing gas station in a CG zoning district to demolish an existing convenience store and repair garage and construct a new convenience store and trash enclosure. Existing gasoline pumps and island canopy would remain. The proposed new convenience store design is of Mediterranean influence and is proposed at 25 feet in height and rooftop mechanical equipment will be screened behind a parapet wall. The exterior building materials are proposed to be cement plaster with a smooth sand finish painted in earth tone colors with a complementary trim color and a brick veneer around the base of the building. Windows and sliding storefront doors are proposed with dark bronze anodized aluminum finishes and the entry will be trimmed with an accent Spanish tile. The applicant is proposing cement roof tile and aluminum-framed canvas awnings atop the windows and entry doors (see **Figure 5** to view renderings and **Figure 6** to view materials board). The proposed new trash enclosure will be finished and painted to match the proposed new building. The existing monument identification sign would remain. A separate application for the proposed new signage for the convenience store would be subject to Design Review.

Existing access to the subject site is provided from Mission Street and Fremont Avenue. As part of the project two existing driveway approaches on Mission Street are proposed to remain and one existing driveway approach on Mission Street is proposed to be removed. No new driveways are proposed.

Figure 5: Rendering



Figure 6: Materials Board

<p>A. </p>	<p>1. </p>	<p>2. </p>		<p>MATERIAL LEGEND</p> <ol style="list-style-type: none"> ALUMINUM FRAMED CANVAS AWNING SUNBRELLA #6031-0000 - "BURGUNDY" DECORATIVE WALL MOUNTED LIGHT FIXTURE ARTE DE MEXICO WM168-3 - ANTIQUE UMBER FINISH 6"x6" ACCENT TILE FORT WORTH BRICK & TILE REGULAR SALTILLO - SEALED BRICK VENEER CORONADO STONE SPECIAL USED BRICK - "EAGLE BUFF" 6"x6" ACCENT TILE TIERRA Y FUEGO GUADALAJARA - #10131-6 RUST - #10812-6 WALL MOUNTED TRELLIS GREEN SCREEN GLOSS POWDER COAT FINISH - "GREEN" CONCRETE ROOF TILE EAGLE ROOFING CAPISTRANO - #3636 - "PIEDMONT BLEND"
<p>B. </p>	<p>4. </p>	<p>5. </p>		
<p>C. </p>	<p>6. </p>	<p>7. </p>		

<p>COLOR LEGEND</p> <p>A. DUNN EDWARDS #DE6128 - "SAND DUNE"</p> <p>B. DUNN EDWARDS #DE6130 - "WOODEN ACRE"</p> <p>C. DUNN EDWARDS #DEA161 - "WILD MUSTANG"</p>
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Design Review Findings

In order to approve a Design Review application, the Planning Commission shall first find that the design and layout of the proposed development:

- 1. Is consistent with the General Plan, any adopted design guidelines and any applicable design criteria for specialized areas (e.g., designated historic or other special districts, plan developments, or specific plans);*

The Design Review application was submitted and deemed complete prior to the new General Plan and Zoning updates. As such, review of the project will be considered under the previous General Plan (1998) and CG zoning district. With that said, the proposed project is consistent with the following General Plan (1998) goals and policies:

2.5B Economic Development/Commercial Revitalization

Goal 2: *To maintain the character of South Pasadena's "main street" commercial areas, support the proprietary businesses of the city, avoid deterioration of commercial areas and the business tax base, and promote those forms of economic development that will provide additional jobs, services and opportunities to the city and its residents.*

Policy 2.2: *Strengthen retail. Encourage retail and sales tax producing businesses to remain in, expand in, or come to South Pasadena to promote healthy retail areas.*

Policy 3.10: *Encourage convenience business. Encourage the appropriate "convenience" commercial to serve residents within walking distance of homes.*

- 2. Will adequately accommodate the functions and activities proposed for the site, will not unreasonably interfere with the use and enjoyment of neighboring, existing, or future developments, and will not create adverse pedestrian or traffic hazards;*

The project site will continue to be utilized as a gas station/convenience store. No changes are proposed for the function or activities of the site. The proposed demolition of the existing convenience store and repair garage; and replacement of the convenience store will not affect the site, rather the changes proposed are intended to enhance the pedestrian and commercial activity, which will be a benefit to the neighborhood.

3. *Is compatible with the existing character of the surrounding neighborhood and that all reasonable design efforts have been made to maintain the attractive, harmonious, and orderly development contemplated by this Section, and the General Plan; and,*

The existing character of the surrounding neighborhood consists of a variety of commercial buildings and multi-family residences (north) of various architectural styles. The project proposes a new convenience store to replace the previous convenience store. The proposed convenience store will be of Mediterranean influence with cement tile roof, Spanish tile accents, and brick veneer. The exterior will include cement plaster with a smooth sand finish and painted in earth tone colors. The earth tone color palette is used to harmonize with the surrounding buildings. The overall design of the commercial building will maintain an attractive, harmonious, and orderly development.

4. *Would provide a desirable environment for its occupants and neighbors, and is aesthetically of good comparison, materials, and texture that would remain aesthetically appealing with a reasonable level of maintenance and upkeep.*

The project proposes to update the existing gas station/convenience store by demolishing the convenience store and repair garage and replacing them with a larger convenience store. The stucco cladding is commonly seen in the immediate neighborhood, as well as brick veneer. The convenience store will be painted in an earth tone color palette to harmonize with the surrounding neighborhood; thus, the proposed project would provide a desirable environment for the project site, and is aesthetically of good composition, materials, and texture that would remain aesthetically appealing with a reasonable level of maintenance and upkeep.

Conditional Use Permit

Pursuant to the South Pasadena Municipal Code (SPMC), Section 36.410.060(D), the Planning Commission may grant a CUP for uses listed in Article 2 as requiring a CUP. The sale of alcoholic beverages for “off-site” consumption is subject to a CUP pursuant to SPMC, Section 36.350.040. The considerations required to be reviewed for alcohol sales are the following:

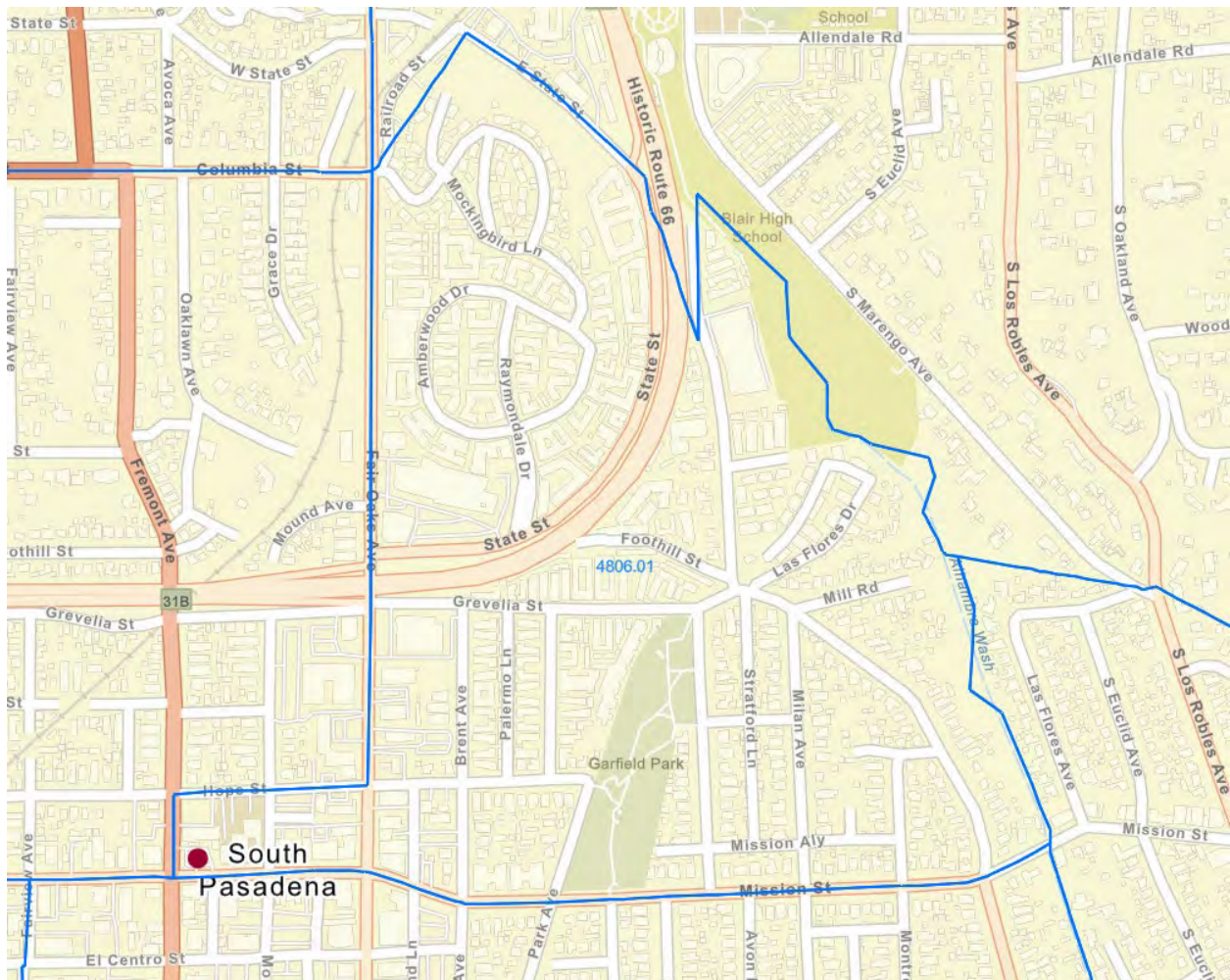
1. Whether the proposed use will result in an undue concentration of establishments dispensing alcoholic beverages.
2. The distance of the proposed use from the following:
 - a. Residential uses;
 - b. Religious facilities, schools, libraries, public parks and playgrounds, and other similar uses; and,
 - c. Other establishments dispensing alcoholic beverages.

3. Whether noise levels generated by the operation of the establishment would exceed the level of background noise normally found in the area or would otherwise be intrusive.
4. Whether the signs and other advertising on the exterior of the premises would be compatible with the character of the area.

1. Undue Concentration

The Department of Alcoholic Beverage Control (ABC) places limits on the number of on-site and off-site licenses permitted within a given census tract. The proposed project is located within census tract 4806.01, as illustrated in Figure 5. The location of the gas station is shown with a red dot.

Figure 7: Census Tract 4806.01, Subject Property in Red



According to the ABC Licensing Reports, Census Tract currently holds two (2) active off-site licenses. **Table 2** provides a list of businesses with an active off-site alcohol license.

Table 2: Active Off-Site Alcohol Licenses in Census Tract 4806.01

License Type	Business Name	Address
Off-site general liquor license (full alcohol)	Bristol Farms	606 Fair Oaks Avenue
Off-site general liquor license (full alcohol)	Fair Oaks Cigar	806 Fair Oaks Avenue
TOTAL:	Two (2) Off-Site License Types	

The Department of ABC authorizes a certain number of licenses based on the census tract population size. In the case of Census Tract 4806.01, there are two (2) off-site licenses and four (4) on-sale licenses permitted. With the proposed request, the Census Tract will result in three (3) off-site licenses. ABC requires that the local agency determine Public Convenience or Necessity (PCN) for an overconcentrated census tract when: a) the census tract is considered “high crime” based on local crime statistics, and b) if the number of similar license types exceeds the limit set forth by state law, thereby resulting in overconcentration. ABC is the responsible agency that determines if a PCN needs to be established. As a result, although granting this application would result in an overconcentration of the census tract, it is not a requirement for the City to determine whether a PCN needs to be established since the census tract is not considered high crime.

2. Distance of Other Uses

The second consideration for reviewing a CUP application for alcohol sales is the distance between the subject premise and certain sensitive uses, such as: residential, religious facilities, schools, libraries, public parks and playgrounds, and other alcohol establishments. The following are uses located within 500 feet from the subject property:

- South Pasadena Arts & Music Academy – 798 Fremont Avenue
- Mixed-Use/Residential – 812 Fremont Avenue
- Single-Family & Multi-Family Residential – along Hope Street, Fremont Avenue, Mound Avenue
- Grace Brethren Community Church – 920 Fremont Avenue

The SPMC, Section 36.350.040 does not identify a minimum distance requirement between the listed uses but shall be considered when reviewing new alcoholic beverage sales applications. The applicant is requesting to sell beer and wine at the newly

constructed convenience store, with proper regulation enforced by the Department of ABC and as conditioned, the proposed use would not result in a negative impact to the surrounding neighborhood. Additionally, the South Pasadena Police Department reviewed the application and had no objections to the proposal.

3. Noise

The existing site contains a convenience store and a repair garage—the proposed request is to demolish the repair garage and convenience store and construct a new convenience store. The existing convenience store currently operates 24 hours. The use is not changing, as such the noise impact is not expected to change. As conditioned, the application will be required to adhere to the City's Noise Ordinance pursuant to Chapter 19A of the SPMC.

4. Signage

The last consideration for compliance with the City's alcoholic beverage standards concerns the compatibility of signage and other advertising with the surrounding neighborhood. The applicant has chosen not to include a sign permit with this application; however, as conditioned, there shall be no advertising for alcoholic beverages.

Conditional Use Permit Findings

In order to approve a CUP, the Planning Commission must make certain findings listed in SPMC section 36.410.060. The required findings are listed below.

1. *The proposed use is allowed with Conditional Use Permit approval within the applicable zoning district and complies with all applicable provisions of this Zoning Code;*

The project site is zoned Commercial General (CG) which is intended for the development of a wide range of commercial retail and service land uses. The sale of alcohol at a convenience store is permitted in the CG zone with approval of a Conditional Use Permit. The proposed Conditional Use Permit for sale of beer and wine for off-site consumption (Type 20 License) as an ancillary use to the main gas station and convenience store operation and the project meets all the standards in the underline zoning district. Furthermore, as discussed in the staff report, the proposal meets all applicable zoning standards for alcoholic beverage sales concerning undue concentration, distance between surrounding uses, adherence to the City's noise standards and signage standards.

2. *The proposed use is consistent with the General Plan and any applicable specific plan.*

The CUP application was submitted and deemed complete prior to the new General Plan and Zoning updates. As such, review of the project will be considered under the previous General Plan (1998) and CG zoning district. With that said, the proposed project is consistent with the following General Plan (1998) goals and policies:

2.5B Economic Development/Commercial Revitalization

Goal 2: *To maintain the character of South Pasadena's "main street" commercial areas, support the proprietary businesses of the city, avoid deterioration of commercial areas and the business tax base, and promote those forms of economic development that will provide additional jobs, services and opportunities to the city and its residents.*

Policy 2.2: *Strengthen retail. Encourage retail and sales tax producing businesses to remain in, expand in, or come to South Pasadena to promote healthy retail areas.*

Policy 3.10: *Encourage convenience business. Encourage the appropriate "convenience" commercial to serve residents within walking distance of homes.*

The proposed project supports the goals, policies, actions of the General Plan by allowing an existing business to sell beer and wine, which would allow for the growth of local economic activity. The addition of alcohol sales will not substantially change the nature of the business, but will however, enhance the existing commercial activity. Therefore, the request is consistent with the General Plan.

3. *The establishment, maintenance, or operation of the use would not, under the circumstances of the particular case, be detrimental to the health, safety, or general welfare of persons residing or working in the neighborhood of the proposed use.*

The proposed sale of beer and wine for off-site consumption is an ancillary use to the gas station/convenience store operation and is reasonable given the project's location in a competitive commercially zoned area. As conditioned, the sale of beer and wine will be limited from 6:00 a.m. until 12:00 a.m., daily. Nevertheless, conditions are also imposed to ensure the proposed use is not detrimental to the health, safety, or general welfare of the general public.

4. *The use, as described and conditionally approved, would not be detrimental or injurious to property and improvements in the neighborhood or to the general welfare of the City.*

Approval of the Conditional Use Permit, as conditioned, would not be detrimental or injurious to the property and improvements in the neighborhood or to the general welfare of the City. Conditions of Approval are included, requiring no loitering on the property, and required training for employees who will sell beer and wine to ensure that the sales of alcoholic beverages would not be detrimental to the community.

The proposal meets all the conditions of approval as described in the SPMC. Therefore, the proposed use would not be detrimental or injurious to property and improvements in the neighborhood or the general welfare of the City.

5. *The subject site is adequate in terms of size, shape, topography, and circumstances and has sufficient access to streets and highways which are adequate in width and pavement type to carry the quantity and quality of traffic expected to be generated by the proposed use.*

The request is for a CUP for off-site beer and wine sales at an existing gas station with a convenience store slated to be demolished and a larger convenience store proposed. The applicant is proposing to remove one point of access on Mission Street; however, the points of access will remain from Mission Street and Fremont Avenue. The proposed gas station/convenience store use is not proposed to change, as such, the project as proposed and conditioned, is adequate in terms of size, access, and traffic expected to be generated.

6. *The design, location, operating characteristics, and size of the proposed use would be compatible with the existing and future land uses in the vicinity, in terms of aesthetics, character, scale, impacts on neighboring properties.*

The proposed convenience store is compatible with existing commercial land uses within the vicinity. The existing character of the surrounding neighborhood consists of a variety of commercial buildings and multi-family residences (north) or various architectural styles. The project proposes a new convenience store to replace the previous convenience store. The proposed convenience store will be of Mediterranean influence with cement tile roof, Spanish tile accents, and brick veneer. The exterior will include cement plaster with a smooth finish and painted in earth tone colors to harmonize with the surrounding neighborhood; thus, the design, location, operating characteristics, and size of the proposed use would be compatible with the existing and future land use in the vicinity in terms of aesthetics, character, scale, and impacts on neighboring properties.

General Standards for Construction

The Public Works Department has reviewed this project and recommended Conditions of Approval (**Attachment 1, Exhibit “A”**) to mitigate any potential construction impact during construction. The recommended conditions include, but are not limited to, requiring the applicant to submit a construction management plan, advanced notice for any street closures, and prohibiting overnight storage of materials or equipment within the public right-of-way.

Environmental Analysis

This project qualifies for a categorical exemption from the California Environmental Quality Act (CEQA) analysis based on State CEQA Guidelines Section 15302, Class 2 – Replacement or Reconstruction and Section 15303, Class 3 – New Construction or Conversion of Small Structures.

Alternatives to Consider

Planning Commission may also consider the following alternatives to this recommendation:

1. The Planning Commission may approve the project with modified/added conditions;
2. The Planning Commission may continue the project to address comments discussed; or
3. The Planning Commission may deny the project.

Public Notification

Hearing notices were sent to all properties within a 300-foot radius of the property on November 30, 2023. A Public Hearing Notice was published on December 1, 2023, in the South Pasadena Review. In addition, the public was made aware that this item was to be considered at a public hearing by virtue of its inclusion on the legally publicly noticed agenda, posting of the same agenda and reports on the City’s website.

Public Comments

At the time of writing this report, staff did not receive public comments regarding the proposed project.

Next Steps

If the Planning Commission approves the project, a 15-day appeal period will commence in which any person affected by the decision may appeal the decision for a public hearing by the City Council. Should there be no appeals during this 15-day period, the applicant may proceed through the Plan Check Process with the Building Division and staff will review the construction plans to ensure that all conditions are satisfied.

Attachments:

1. P.C. Resolution with “Exhibit A” – Conditions of Approval
2. Site and Neighborhood Images
3. Project Narrative
4. Alcohol Sales & Gas Station Training Program
5. Materials Brochures
6. Rendering
7. Architectural Plans

ATTACHMENT 1

P.C. Resolution with “Exhibit A” – Conditions of Approval

P.C. RESOLUTION NO. 23 - ____

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF SOUTH PASADENA APPROVING PROJECT NO. 2495-NID/DRX/CUP FOR A REQUEST FOR A NOTICE OF INTENT TO DEMOLISH A 643-SQUARE-FOOT CONVENIENCE STORE AND A 1,221-SQUARE-FOOT REPAIR GARAGE; A DESIGN REVIEW PERMIT TO CONSTRUCT A 1,981-SQUARE-FOOT CONVENIENCE STORE WITH A 127-SQUARE-FOOT TRASH ENCLOSURE; AND A CONDITIONAL USE PERMIT FOR THE SALE OF BEER AND WINE FOR OFF-SITE CONSUMPTION AT 1400 MISSION STREET (APN: 5315-002-030); AND MAKING A DETERMINATION OF EXEMPTION UNDER THE CALIFORNIA ENVIRONMENTAL QUALITY ACT (CEQA)

WHEREAS, on May 4, 2022, Karl Huy (the “applicant”) submitted applications for the following entitlements:

1. **Notice of Intent to Demolish (NID)** a 643-square-foot convenience store and a 1,221-square-foot repair garage;
2. **Design Review Permit (DRX)** for the review of the design aspects of the proposed 1,981-square-foot convenience store and 127-square-foot trash enclosure; and,
3. **Conditional Use Permit (CUP)** for the sale of beer and wine for off-site consumption (Type 20 ABC License). Hours of alcohol sales are from 6:00 a.m. until 12:00 a.m., daily.

In accordance with SPMC, Section 2.65(e)(3), any structure over 45 years old that proposes demolition and is not identified as a historic or cultural resource requires the preparation of an intensive-level Historic Resource Evaluation (HRE) report. The two structures on the subject property are over 45 years old and are slated for demolition, as such, an intensive-level HRE was prepared by a City-selected architectural historian consultant, to evaluate the property and determine if the property is a historic and cultural resource prior to its demolition. Based on the report’s findings, on May 18, 2023, the Cultural Heritage Commission (CHC) determined that the subject buildings are not eligible for national, state, or local designation, as such, the subject property is not historic and culturally significant. The project is located at 1400 Mission Street (APN: 5315-002-030). The above-referenced applications and requests are referred to herein as the “project” or “proposed project”; and

WHEREAS, the subject property is zoned Commercial General (CG) and has a General Plan land use designation of General Commercial; and

WHEREAS, the proposed project is categorically exempt from the California Environmental Quality Act (CEQA), per CEQA Guidelines Section 15302, Class 2 – Replacement or Reconstruction, where the new structure will be located on the same site as the structure replaced and will have substantially the same purpose and capacity as the structure replaced and Section 15303, Class 3 – New Construction or Conversion of

Small Structures. The project will not have a significant effect on the environment because the project falls under a Class 3 – New Construction of Small Structures including “a store not exceeding 2500 square feet in floor area”; the project is in an area where all public services and facilities are available to allow for maximum development permissible in the General Plan; and is not located in an environmentally sensitive area; and

WHEREAS, the Community Development Department evaluated the project for consistency with the City’s General Plan, South Pasadena Municipal Code, and all other applicable state and local regulations; and

WHEREAS, on November 30, 2023, public hearing notices were mailed to each property owner within a 300-foot radius of the project site in accordance with the requirements of South Pasadena Municipal Code declaring the project review by the Planning Commission. On December 1, 2023, the City of South Pasadena Planning Division, published a legal notice in the *South Pasadena Review*, a local newspaper of general circulation, indicating the date, time, and location of the public hearing in compliance with state law concerning Project No. 2495-NID/DRX/CUP; and

WHEREAS, the South Pasadena Planning Commission held a duly noticed public hearing on December 12, 2023, at which time it considered the staff report, oral report, the testimony, and the written evidence submitted by and on behalf of the applicant and by members of the public concerning Project No. 2495-NID/DRX/CUP.

NOW, THEREFORE, THE PLANNING COMMISSION OF THE CITY OF SOUTH PASADENA DOES HEREBY FIND, DETERMINE, AND RESOLVE AS FOLLOWS:

SECTION 1: ACKNOWLEDGEMENTS

The foregoing recitals are true and correct and are incorporated and made an operative part of this resolution.

SECTION 2: ENVIRONMENTAL REVIEW FINDINGS

The Planning Commission has determined that the proposed project is Categorically Exempt from the provisions of the California Environmental Quality Act (CEQA), under CEQA Guidelines Section 15302, Class 2 – Replacement or Reconstruction. Class 2 exemption consists of replacement or reconstruction of existing structures and facilities where the new structure will be located on the same site as the structure replaced and will have substantially the same purpose and capacity as the structure replaced. Class 2 exemption includes but is not limited to: replacement of a commercial structure with a new structure of substantially the same size, purpose, and capacity. Section 15303, Class 3 – New Construction or Conversion of Small Structures. Class 3 exemption includes the construction and location of limited numbers of new, small facilities or structures; installation of small new equipment and facilities in small structures; and the conversion of existing small structures from one use to another where only minor modifications are

made in the exterior of the structure. Class 3 exemption includes, but is not limited to: a store, motel, office, restaurant or similar commercial or institutional structure not involving the use of significant amounts of hazardous substances, and not exceeding 2,500 square feet in floor area. The project will not have a significant effect on the environment because the project includes one convenience store under 2,500 square feet; the project is in an area where all public services and facilities are available to allow for maximum development permissible in the General Plan; and is not located in an environmentally sensitive area.

SECTION 3: DESIGN REVIEW FINDINGS

Based upon the entire record made available at the December 12, 2023 public hearing, including the public hearing, the staff report, the oral presentation, and related documents submitted to the Planning Commission prior to and at the public hearing, the Planning Commission finds and determines that the proposed project is consistent with all applicable findings for approval of a Design Review Permit pursuant to the South Pasadena Municipal Code (SPMC), Section 36.410.040(I), as follows:

- 1. Is consistent with the General Plan, any adopted design guidelines and any applicable design criteria for specialized areas (e.g., designated historic district or other special districts, plan developments, or specific plans);**

The Design Review application was submitted and deemed complete prior to the new General Plan and Zoning updates. As such, review of the project will be considered under the previous General Plan (1998) and CG zoning district. With that said, the proposed project is consistent with the following General Plan (1998) goals and policies:

2.5B Economic Development/Commercial Revitalization

Goal 2: To maintain the character of South Pasadena's "main street" commercial areas, support the proprietary businesses of the city, avoid deterioration of commercial areas and the business tax base, and promote those forms of economic development that will provide additional jobs, services and opportunities to the city and its residents.

Policy 2.2: Strengthen retail. Encourage retail and sales tax producing businesses to remain in, expand in, or come to South Pasadena to promote healthy retail areas.

Policy 3.10: Encourage convenience business. Encourage the appropriate "convenience" commercial to serve residents within walking distance of homes.

The proposed project supports the goals, policies, actions of the General Plan by allowing an existing business to sell beer and wine, which would allow for the growth of local economic activity. The addition of alcohol sales will not substantially change

the nature of the business, but will however, enhance the existing commercial activity. Therefore, the request is consistent with the General Plan.

- 2. Will adequately accommodate the functions and activities proposed for the site, will not unreasonably interfere with the use and enjoyment of the neighboring, existing, or future developments, and will not create adverse pedestrian or traffic hazards;**

The project site will continue to be utilized as a gas station/convenience store. No changes are proposed for the function or activities of the site. The proposed demolition of the existing convenience store and repair garage; and replacement of the convenience store will not affect the site, rather the changes proposed are intended to enhance the pedestrian and commercial activity, which will be a benefit to the neighborhood. Accordingly, the proposed project will adequately accommodate the functions and activities proposed for the site, will not unreasonably interfere with the use and enjoyment of neighboring, existing, or future developments, and will not create adverse pedestrian or traffic hazards.

- 3. Is compatible with the existing character of the surrounding neighborhood and that all reasonable design efforts have been made to maintain the attractive, harmonious, and orderly development contemplated by SPMC Section 36.410.040 and the General Plan; and**

The existing character of the surrounding neighborhood consists of a variety of commercial buildings and multi-family residences (north) of various architectural styles. The project proposes a new convenience store to replace the previous convenience store. The proposed convenience store will be of Mediterranean influence with cement tile roof, Spanish tile accents, and brick veneer. The exterior will include cement plaster with a smooth sand finish and painted in earth tone colors. The earth tone color palette is used to harmonize with the surrounding buildings. The overall design of the commercial building will maintain an attractive, harmonious, and orderly development. Accordingly, the proposed project is compatible with the existing character of the surrounding neighborhood and all reasonable design efforts have been made to maintain the attractive, harmonious, and orderly development contemplated by this requirement, and the General Plan.

- 4. Would provide a desirable environment for its occupants and neighbors, and is aesthetically of good composition, materials, and texture that would remain aesthetically appealing with a reasonable level of maintenance and upkeep.**

The project proposes to update the existing gas station/convenience store by demolishing the convenience store and repair garage and replacing them with a larger convenience store. The stucco cladding is commonly seen in the immediate neighborhood, as well as brick veneer. The convenience store will be painted in an earth tone color palette to harmonize with the surrounding neighborhood; thus, the proposed project would provide a desirable environment for the project site, and is aesthetically of good composition, materials, and texture that would remain aesthetically appealing with a reasonable level of maintenance and upkeep.

SECTION 4: CONDITIONAL USE PERMIT FINDINGS

Based upon the entire record made available at the December 12, 2023 public hearing, including the public hearing, the staff report, the oral presentation, and related documents submitted to the Planning Commission prior to and at the public hearing, the Planning Commission finds and determines that the proposed project is consistent with all applicable findings to grant a Conditional Use Permit for the sale of beer and wine for off-site consumption (Type 20 ABC License). Pursuant to the South Pasadena Municipal Code (SPMC), Section 36.410.060, the Planning Commission finds as follows:

1. The proposed use is allowed with Conditional Use Permit approval within the applicable zoning district and complies with all applicable provisions of this Zoning Code;

The project site is zoned Commercial General (CG) which is intended for the development of a wide range of commercial retail and service land uses. The sale of alcohol at a convenience store is permitted in the CG zone with approval of a Conditional Use Permit. The proposed Conditional Use Permit for sale of beer and wine for off-site consumption (Type 20 License) is an ancillary use to the main gas station and convenience store operation and the project meets all the standards in the underline zoning district. Furthermore, as discussed in the staff report, the proposal meets all applicable zoning standards for alcoholic beverage sales concerning undue concentration, distance between surrounding uses, adherence to the City's noise standards and signage standards. Accordingly, the proposed use is allowed with Conditional Use Permit approval within the applicable zoning district and complies with all applicable provisions of this Zoning Code.

2. The proposed use is consistent with the General Plan and any applicable specific plan.

The CUP application was submitted and deemed complete prior to the new General Plan and Zoning updates. As such, review of the project will be considered under the previous General Plan (1998) and CG zoning district. With that said, the proposed project is consistent with the following General Plan (1998) goals and policies:

2.5B Economic Development/Commercial Revitalization

Goal 2: To maintain the character of South Pasadena's "main street" commercial areas, support the proprietary businesses of the city, avoid deterioration of commercial areas and the business tax base, and promote those forms of economic development that will provide additional jobs, services and opportunities to the city and its residents.

Policy 2.2: Strengthen retail. Encourage retail and sales tax producing businesses to remain in, expand in, or come to South Pasadena to promote

healthy retail areas.

Policy 3.10: Encourage convenience business. Encourage the appropriate "convenience" commercial to serve residents within walking distance of homes.

The proposed project supports the goals, policies, actions of the General Plan by allowing an existing business to sell beer and wine, which would allow for the growth of local economic activity. The addition of alcohol sales will not substantially change the nature of the business, but will however, enhance the existing commercial activity. Therefore, the request is consistent with the General Plan.

- 3. The establishment, maintenance, or operation of the use would not, under the circumstances of the particular case, be detrimental to the health, safety, or general welfare of persons residing or working in the neighborhood of the proposed use.**

The proposed sale of beer and wine for off-site consumption is an ancillary use to the gas station/convenience store operation and is reasonable given the project's location in a competitive commercially zoned area. As conditioned, the sale of beer and wine will be limited from 6:00 a.m. until 12:00 a.m., daily. Nevertheless, conditions are also imposed to ensure the proposed use is not detrimental to the health, safety, or general welfare of the general public. Accordingly, the establishment, maintenance, or operation of the use would not, under the circumstances of the particular case, be detrimental to the health, safety, or general welfare of persons residing or working in the neighborhood of the proposed use.

- 4. The use, as described and conditionally approved, would not be detrimental or injurious to property and improvements in the neighborhood or to the general welfare of the City.**

Approval of the Conditional Use Permit, as conditioned, would not be detrimental or injurious to the property and improvements in the neighborhood or to the general welfare of the City. Conditions of Approval are included, requiring no loitering on the property, and required training for employees who will sell beer and wine to ensure that the sales of alcoholic beverages would not be detrimental to the community.

The proposal meets all the conditions of approval as described in the SPMC. Therefore, the proposed use would not be detrimental or injurious to property and improvements in the neighborhood or the general welfare of the City.

- 5. The subject site is adequate in terms of size, shape, topography, and circumstances and has sufficient access to streets and highways which are adequate in width and pavement type to carry the quantity and quality of traffic expected to be generated by the proposed use.**

The request is for a CUP for off-site beer and wine sales at an existing gas station with a convenience store slated to be demolished and a larger convenience store proposed. The applicant is proposing to remove one point of access on Mission Street; however, the points of access will remain from Mission Street and Fremont Avenue. The proposed gas station/convenience store use is not proposed to change, as such, the project as proposed and conditioned, is adequate in terms of size, access, and traffic expected to be generated.

- 6. The design, location, operating characteristics, and size of the proposed use would be compatible with the existing and future land uses in the vicinity, in terms of aesthetics, character, scale, impacts on neighboring properties.**

The proposed convenience store is compatible with existing commercial land uses within the vicinity. The existing character of the surrounding neighborhood consists of a variety of commercial buildings and multi-family residences (north) or various architectural styles. The project proposes a new convenience store to replace the previous convenience store. The proposed convenience store will be of Mediterranean influence with cement tile roof, Spanish tile accents, and brick veneer. The exterior will include cement plaster with a smooth finish and painted in earth tone colors to harmonize with the surrounding neighborhood; thus, the design, location, operating characteristics, and size of the proposed use would be compatible with the existing and future land use in the vicinity in terms of aesthetics, character, scale, and impacts on neighboring properties.

SECTION 5: RECORD OF PROCEEDING

The documents and other materials that constitute the record of the proceedings upon which the Planning Commission's decision is based, which include, but are not limited to, the staff reports, as well as all materials that support the staff reports for the proposed project, are located in the Community Development Department of the City of South Pasadena at 1414 Mission Street, South Pasadena, CA 91030. The custodian of these documents is the City Clerk of the City of South Pasadena.

SECTION 6: DETERMINATION

Based upon the findings outlined in Sections 2 through 4 above and provided during the public hearing, the Planning Commission of the City of South Pasadena hereby approves Project No 2495-NID/DRX/CUP and the applications for a Design Review Permit and a Conditional Use Permit for the proposed demolition of an existing convenience store and repair garage and newly constructed convenience store with beer and wine sales for off-site consumption located at 1400 Mission Street (APN: 5315-002-030), subject to the Conditions of Approval that are attached hereto as "Exhibit A".

SECTION 7: APPEAL

Any interested person may appeal this decision or any portion of this decision to the City Council. Pursuant to the South Pasadena Municipal Code, any such appeal must be filed with the City, in writing, and with appropriate appeal fee, no later than fifteen (15) days, following the date of the Planning Commission's final action.

SECTION 8: CERTIFICATION OF THE RESOLUTION

The Secretary shall certify that the foregoing Resolution was adopted by the Planning Commission of the City of South Pasadena at a duly noticed regular meeting held on the 12th day of December, 2023.

PASSED, APPROVED, AND ADOPTED this 12th day of December, 2023 by the following vote:

AYES:

NOES:

ABSENT:

ABSTAIN:

Laura Dahl, Chair

ATTEST:

Amitabh Barthakur, Secretary to the Planning Commission

EXHIBIT "A"
CONDITIONS OF APPROVAL
PROJECT NO. 2495-NID/DRX/CUP
1400 MISSION STREET (APN: 5315-002-030)

The following approvals are granted as described below and as shown on the development plans submitted to and approved by the Planning Commission on December 12, 2023:

1. **Notice of Intent to Demolish (NID)** a 643-square-foot convenience store and a 1,221-square-foot repair garage;
2. **Design Review Permit (DRX)** for the review of the design aspects of the proposed 1,981-square-foot convenience store and 127-square-foot trash enclosure; and,
3. **Conditional Use Permit (CUP)** for the sale of beer and wine for off-site consumption (Type 20 ABC License). Hours of alcohol sales are from 6:00 a.m. until 12:00 a.m., daily.

Note: As a convenience to the applicant, the development requirements from applicable Departments/Agencies are listed herein. These requirements list what the applicant will be required to comply with in order to receive a Building Permit, a Certificate of Occupancy, or other Department-issued entitlement.

PLANNING DIVISION:

- P1. Approval by the Planning Commission does not constitute a building permit or authorization to begin any construction. An appropriate permit issued by the South Pasadena Building Division must be obtained prior to construction, enlargement, relocation, conversion or demolition of any building or structure on any of the properties involved with the project.
- P2. This approval and all rights hereunder shall terminate within twelve (12) months of the effective date of their approval unless otherwise conditioned and/or unless action is taken to secure Building Permits and maintain active Building Permits with the Building Division beginning with the submittal of the plans for Plan Check review.
- P3. The off-site beer and wine license (Type 20 ABC License) shall be acquired from the California Department of Alcoholic Beverage Control (ABC); the alcohol entitlement shall terminate within twelve (12) months from approval date of the Building Permit final for the newly constructed convenience store.
- P4. All other requirements of any law, ordinance, or regulation of the State of California, City of South Pasadena, and any other government entity shall be complied with.
- P5. Compliance with and execution of all conditions listed herein shall be necessary prior to obtaining any occupancy inspection clearance and/or prior to obtaining any occupancy clearance.
- P6. The applicant and each successor in interest to the property which is the subject of this project approval (collectively referred to herein as the "applicant"), shall defend, indemnify

and hold harmless the City of South Pasadena and its agents, officers and employees from any claim, action or proceeding against the City or its agents, officers or employees to attack, set aside, void or annul any approval of the City, City Council or Planning Commission concerning this approval. In the event of any claim or lawsuit, the applicant and/or successor shall submit a deposit in such amount as the City reasonably determines necessary to protect the City from exposure to fees, costs or liability with respect to such claim or lawsuit.

- P7. The construction site and the surrounding area shall be kept free of all loose materials resembling trash and debris in excess of that material used for immediate construction purposes. Such excess may include, but is not limited to: the accumulation of debris, garbage, lumber, scrap metal, concrete, asphalt, piles of earth, salvage materials, abandoned or discarded furniture, appliances or other household fixtures.
- P8. The hours of construction shall be limited to the following: 8:00 am and 7:00 pm Monday through Friday, 9:00 am and 7:00 pm Saturday, and construction on Sundays limited to 10:00 am to 6:00 pm.
- P9. During construction, the clearing, grading, earth moving, or excavation operations that cause excessive fugitive dust emissions shall be controlled by regular water or other dust preventive measures using the following procedures:
 - a. All material excavated or graded shall be sufficiently watered to prevent excessive amounts of dust. Watering shall occur at least twice daily with complete coverage, preferable in the late morning and after work is done for the day;
 - b. All material transported on-site or off-site shall be either sufficiently watered or securely covered to prevent excessive amounts of dust;
 - c. The area disturbed by clearing, grading, earth moving, or excavation operations shall be minimized so as to prevent excessive amounts of dust; and
 - d. Visible dust beyond the property line emanating from the project shall be prevented to the maximum extent feasible.
- P10. The applicant shall submit final landscape and irrigation plans showing compliance with state law and the City's Water Efficient Landscape Ordinance (SMPC Section 35.50), for approval by the Community Development Director.
- P11. The construction plan shall show that all lighting on the site will be directed downward and shielded to prevent off-lighting on adjacent properties.
- P12. Any proposed signage for the service station or convenience store shall be submitted and approved by the Community Development Department prior to installation.
- P13. A construction sign with contact information for the contractor shall be clearly posted on-site during construction.
- P14. Any proposed revision to the approved plans shall require review and approval by the Community Development Department prior to construction. The Community Development Department may refer the proposed revision to the Planning Commission or Planning Commission Chair for approval.
- P15. The hours of beer and wine sales shall be limited from 6:00 a.m. until 12:00 a.m. daily.
- P16. The sale of beer and wine for off-site consumption shall be incidental to the operation of the gas station/convenience store; beer and wine shall not exceed ten (10) percent of the sales floor area.

- P17. No advertising for alcoholic beverages may be displayed in store windows or outside the convenience store.
- P18. All beer and wine sale cases/displays shall be located in such a manner to prevent “grab-and-run” thefts. The sales cases/displays shall be located in sight of the sales counter at all times, if possible.
- P19. Employees who will be engaged in the sale of beer and wine must complete the California Department of Alcoholic Beverage Control’s mandated training, as well as the store’s internal training on the sale of alcoholic beverages.
- P20. Any individuals discovered loitering on the property shall immediately be informed to leave the premises, by the gas station/convenience store management and/or staff. Should this fail to abate the problems, the South Pasadena Police Department and/or other enforcement agencies reserve the right to take appropriate enforcement actions to abate the problem, and the permit/alcohol licenses may be subject to revocation.
- P21. The Conditional Use Permit issued for the sale of alcoholic beverages and a copy of the conditions of approval for the permit shall be displayed on the premises of the establishment in a place where it may readily be viewed by any member of the general public.

BUILDING DIVISION:

- B1. The second sheet of building plans is to list all conditions of approval and to include a copy of the Planning Decision letter. This information shall be incorporated into the plans prior to the first submittal for plan check.
- B2. Plans prepared in compliance with the code in effect shall be submitted to Building Division for review prior to permit issuance.
- B3. Fees shall be paid to the County of Los Angeles Sanitation District prior to issuance of the building permit.
- B4. Park Impact Fee to be paid at the time of permit issuance.
- B5. Per Chapter 16A of the City of South Pasadena Municipal Code, Growth fee to be paid at the time of permit issuance.
- B6. In accordance with paragraph 5538(b) of the California Business and Professions Code, plans are to be prepared and stamped by a licensed architect.
- B7. Structural calculations prepared under the direction of an architect, civil engineer or structural engineer shall be provided.
- B8. A geotechnical and soils investigation report is required, the duties of the soils engineer of record, as indicated on the first sheet of the approved plans, shall include the following:
 - a. Observation of cleared areas and benches prepared to receive fill;

- b. Observation of the removal of all unsuitable soils and other materials;
 - c. The approval of soils to be used as fill material;
 - d. Inspection of compaction and placement of fill;
 - e. The testing of compacted fills; and
 - f. The inspection of review of drainage devices.
- B9. The geotechnical and soils engineer shall review and approve the project grading and foundation plans to show compliance that their recommendations have been properly implemented.
- B10. The owner shall retain the soils engineer preparing the Preliminary Soils and/or Geotechnical Investigation accepted by the City for observation of all grading, site preparation, and compaction testing. Observation and testing shall not be performed by another soils and/or geotechnical engineer unless the subsequent soils and/or geotechnical engineer submits and has accepted by Building Division, a new Preliminary Soils and/or Geotechnical Investigation.
- B11. A grading and drainage plan shall be approved prior to issuance of the building permit. The grading and drainage plan shall indicate how all storm drainage including contributory drainage from adjacent lots is carried to the public way or drainage structure approved to receive storm water.
- B12. Stormwater Planning Program LID Plan Checklist (MS4-1 Form) completed by Engineer of Record shall be copied on the first sheet of Grading Plans. The form can be found at the following link
- <https://www.dropbox.com/s/5p4yf08beipzyot/SP%20MS4-1%20LID%20Determination%20Form.pdf?dl=0>
- B13. All State of California disability access regulations for accessibility shall be complied with.
- B14. Approval is required from the Los Angeles County Health Department for food handling and/or storage.
- B15. The property shall be surveyed, and the boundaries marked by a land surveyor licensed by the State of California.
- B16. Foundation inspection will not be made until the excavation has been surveyed and the setbacks determined to be in accordance with the approved plans by a land surveyor licensed by the State of California. THIS NOTE IS TO BE PLACED ON THE FOUNDATION PLAN IN A PROMINENT LOCATION.
- B17. Electrical plan check is required.
- B18. Mechanical plan check is required.
- B19. Plumbing plan check is required.

- B20. Plumbing fixtures shall be provided as required by the Chapter 4 of the California Plumbing Code. Additional fixtures may be required if not in compliance.
- B21. Project shall comply with the CalGreen Nonresidential mandatory requirements.
- B22. No form work or other construction materials will be permitted to encroach into adjacent property without written approval of the affected property owner.
- B23. Demolition permit is required for any existing buildings which are to be demolished.
- B24. Separate plan review and permit is required for each detached structure.
- B25. When required by Fire Department, all fire sprinkler hangers must be designed, and their location approved by an engineer or an architect. Calculations must be provided indicating that the hangers are designed to carry the tributary weight of the water filled pipe plus a 250-pound point load. A plan indicating this information must be stamped by the engineer or the architect and submitted for approval prior to issuance of the building permit. A separate permit is required for Fire Sprinklers.

PUBLIC WORKS DEPARTMENT:

- PW1. The applicant shall obtain City approval for any modifications or revisions to the approval of this project. Deviations not identified on the plans may not be approved by the City, potentially resulting in the need for the project to be redesigned.
- PW2. The applicant shall pay all applicable City and LA County fees, including Public Works Department plan review fee of \$922 for two (2) reviews and an additional fee of \$153 for each additional review and permit fees per the current adopted Master Fee Schedule which can be found on the City's website. The applicant shall provide receipts of all applicable fees paid prior to submitting plans for review.
- PW3. The applicant shall be responsible for all costs incurred by the City and the Public Works Department for the use of professional services or consultants in the review, investigation, and/or plan check of the public improvement plans. The applicant shall deposit monies into an approved project account from which the City shall draw funds to pay for said professional services.
- PW4. Mission Street and Fremont Street shall be photographed and video recorded before the start of construction and after construction for assessing the damage caused to the street by construction related traffic. The applicant will be responsible to restore the road to its original condition. These video recordings and photographs shall be submitted to the City before the start of the project and immediately upon completion of the project.
- PW5. Provide a 24-hour emergency contact number for the applicant and contact information of all utility agencies involved/impacted/potentially impacted by this project on the title sheet of the plans.
- PW6. Prior to issuance of a permit, the applicant shall perform a video inspection of the existing sewer lateral for obstructions and remove any obstructions observed. Provide a copy of the inspection video of the cleared pipe for review.

- PW7. If applicable, the applicant shall pay all applicable City sewer and/or water capacity charges per SPMC Section 16B.3.
- PW8. Show the location of all existing utilities on adjacent street(s), as well as location and size of all existing or proposed services serving the property. Show all utility points of connection (POC).
- PW9. If applicable, the applicant shall provide a new sewer connection to the property. The proposed sewer lateral shall be a four-inch (4") diameter vitrified clay pipe (VCP) that connects to the City sewer main within the public right-of-way.
- PW10. The applicant shall contact the City of South Pasadena Water Division to verify the existing water meter connection is adequate for the proposed structure/fire sprinkler system. Coordinate the size, location, and associated fee for a new water meter connection, as applicable. Please contact the Water Operations Manager at (626) 460-6393 for additional information.
- PW11. Provide clearance letter from utility companies for any proposed relocation of utility lines that encroach on the properties prior to obtaining permits for the project.
- PW12. Improvement plans for underground utilities (i.e. water, sewer, electrical, telecommunications, etc.) to be placed in the public right-of-way or easement that will be owned and maintained by other entities shall be reviewed by the City prior to Utility Agency approval. The City shall have a place on the title sheet to accept the plans with a statement: "The City's acceptance is limited to the placement of utilities relative to public infrastructure clearances, uses, and future plans within the right-of-way.
- PW13. Show the existing grade, location, and dimensions of all existing and proposed conditions within public right-of-way including, but not limited to: curb and gutter, sidewalk, driveway, traffic striping, signage, utilities, storm drain facilities, trees, and other features.
- PW14. The applicant shall replace all broken, damaged, or out-of-grade curb and gutter, sidewalk, and driveway and repaint all curb markings fronting the property on Mission Street and Fremont Avenue to the satisfaction of the City Engineer. In addition, existing sidewalk and driveway approaches that are below current city standards shall be replaced regardless of when or how such condition originally occurred per SPMC Section 31.54. All improvements within the public right-of-way shall conform to the current editions of the Standard Specifications for Public Works Construction (SSPWC) and Standard Plans for Public Works Construction (SPPWC).
- PW15. If the street light to be relocated, the applicant shall submit a street lighting plan per City standards.
- PW16. The applicant shall bring the existing parkway on Mission Street and Fremont Avenue up to current standards per SPMC Section 31.48. [The applicant shall submit a parkway landscape plan for review and the landscape design shall conform to the Model Water Efficient Landscape Ordinance (MWELO) as stipulated in SPMC Chapter 35, Article III.]
- PW17. Provide an arborist report and clear site plan of what trees are being removed. Submit a design narrative with the arborist report explaining why certain trees are being

removed and what alternative options were considered to preserve the existing trees.

PW18. Show all existing and proposed trees, including size and species, and indicate their disposition. If any trees (12" in diameter or greater and/or native trees) are to be removed, apply for a tree removal permit with the Public Works Department per City Ordinance No. 2328 amending Section 34.10 of SPMC. See SPMC Section 34.12 for the required information and process for the trees that are proposed to be removed and/or impacted during construction. Replacement trees shall be planted per SPMC Section 34.12-5. If existing trees are to remain on site, the applicant shall note on the plans methods of protecting existing trees during construction.

PW19. The proposed building structure shall not be constructed within critical root zone area of any trees. For native and protected species, use the tree trunk's diameter measured at breast height (DBH) (X5) as the minimum critical root mass. For non-native and protected species, use the tree's DBH (X3) as the minimum critical root mass.

PW20. Any construction activity that may require roadway closures will require a traffic control plan prepared by a CA licensed civil or traffic engineer or a C-31 licensed contractor to be submitted for review. At least 48 hours advance notice shall be given to residents for street and lane closures. Safe pedestrian access, including ADA and bicycle, must be maintained at all times. All street closures will require an encroachment permit from the Public Works Department.

PW21. Street closures are only allowed between 9:00 am and 3:00 pm. Whenever there will be a street closure exceeding thirty minutes in duration, the applicant shall provide written notification about the street closure to all impacted businesses and resident at least 48 hours in advance of the street closure.

PW22. No overnight storage of materials or equipment within the public right-of-way shall be permitted.

PW23. Temporary bins (low boy), if used, shall be "roll off" style to be provided by Athens Services. Athens Services has an exclusive agreement with the City for the provision of trash removal services: only Athens dumpsters can be used. Any dumpsters placed on the roadway shall require a protective barrier underneath (such as plywood) to protect the pavement. The applicant shall obtain dumpster permit from the Public Works Department.

PW24. The applicant shall obtain oversize/overload permits from the Public Works Department for any oversized equipment used during the stages of construction, including, but not limited to: demolition; clearing and grubbing; grading; material disposal; drilling for piles and/or caissons; trenching for footings; excavation for retaining walls; core sampling of soils; etc.

PW25. The applicant shall be responsible for posting a project sign at the entrance to the project site displaying the City's construction hours per SPMC Section 19A.13. The project sign shall be 24" x 36" and made of durable weather-resistant material. The applicant shall provide a 24-hour emergency contact number for the designated contact who will be responsible for maintaining the public right-of-way during the all stages of construction until the project is complete.

PW26. The applicant shall obtain an encroachment permit from the Public Works Department for any work proposed within the public right-of-way.

PW27. Trucks over 3 tons are prohibited from entering Fremont Avenue. The applicant shall post signs prohibiting trucks over 3 tons from entering Fremont Avenue at the west driveway. The applicant shall provide an on-site circulation plan for trucks entering and exiting the gas station. Additionally, the applicant shall include the on-site circulation plan for the trucks entering to refill the fuel storage tanks.

FIRE DEPARTMENT:

FD1. All construction must comply with all appropriate fire protection installation standards as adopted by the South Pasadena Fire Department.

FD2. Shall comply with all current 2022 adopted California Building Code, California Fire Code, NFPA's and South Pasadena Municipal Code. Requirements are based on occupancy classification.

FD3. Means of Egress for Existing Buildings. Means of egress in existing buildings shall comply with the minimum egress requirements where specify in Table 1103.1, as further enumerated in Sections 1104.2 through 1104.25, and the building code that applied at the time of construction, the most restrictive provision shall apply.

FD4. Where required by the fire code official, approved signs or other approved notices or markings that include the words NO PARKING-FIRE LANE shall be provided for fire apparatus access roads to identify such roads or prohibit the obstruction thereof.

FD5. Address Identification. New and existing buildings shall have approved address numbers, building numbers or approve building identification placed in a position that is plainly legible and visible from the street or road fronting the property.

FD6. Knox Box required. Where access to or within a structure or an area is restricted because of secure openings or where immediate access is necessary for life-saving or fire-fighting purposes, the Fire Code Official is authorized to require a key box to be installed in an approved location. (506.1 CFC)

FD7. Portables Fire extinguishers. Structures under construction, alteration or demolition shall be provide with no less one approved portable fire extinguisher in accordance with Section 905 and sized for not less than ordinary hazard as follows:

- a. In every storage and construction shed.
- b. Where special hazards exist including but not limited to and the storage and use of combustible and flammable liquids. (3315.1 CFC)
- c. At each stairway on all floor levels where combustible materials have accumulated.

FD8. Portables fire extinguishers shall be install in all of the following locations:
In new and existing Group A, B, E, F, H, I, L, M, R-1, R-2, R-2.1, R-3.1, R-4 and S occupancies. (906.1 CFC)

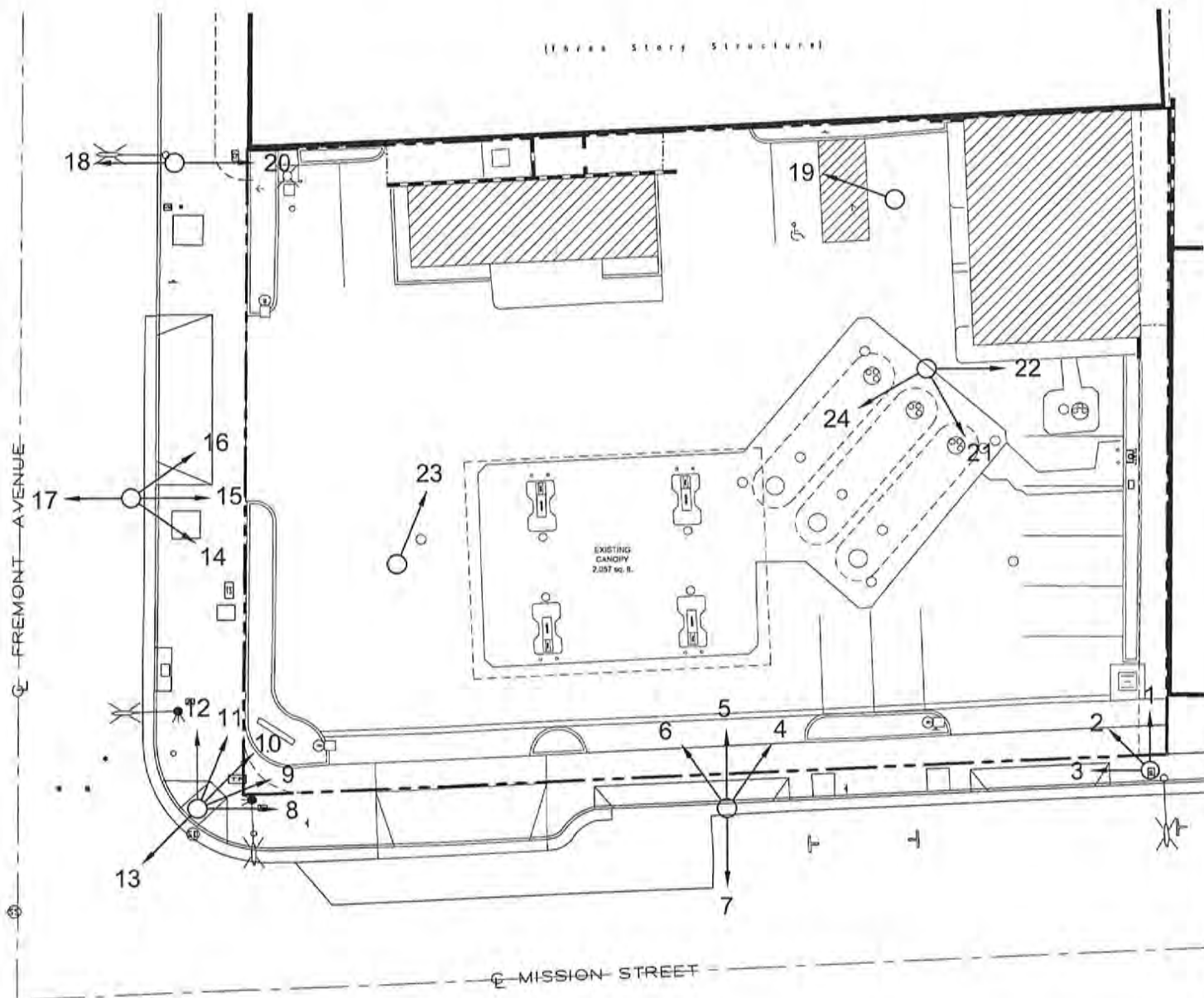
FD9. Compress gases in storage or use not regulated by the material-specific provisions of Chapters 6, 54, 55, and 60 through 67, including asphyxiant, irritant and radioactive gases, shall comply with this Section in addition to other requirements of this chapter (5307 CFC).

FD10. The applicant must show placement and type of fire extinguishers at time of submittal.

FD11. The City of South Pasadena Fire Department reserves the right to change or otherwise modify requirements based upon receiving additional project information or other unforeseen circumstances.

ATTACHMENT 2

Site and Neighborhood Images



5/3/22

PREPARED BY:



Travis Companies, Inc.

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SITE PHOTOGRAPHIC SURVEY KEY MAP

G&M OIL COMPANY FACILITY No.: 151

1400 MISSION STREET

SOUTH PASADENA, CA 91030



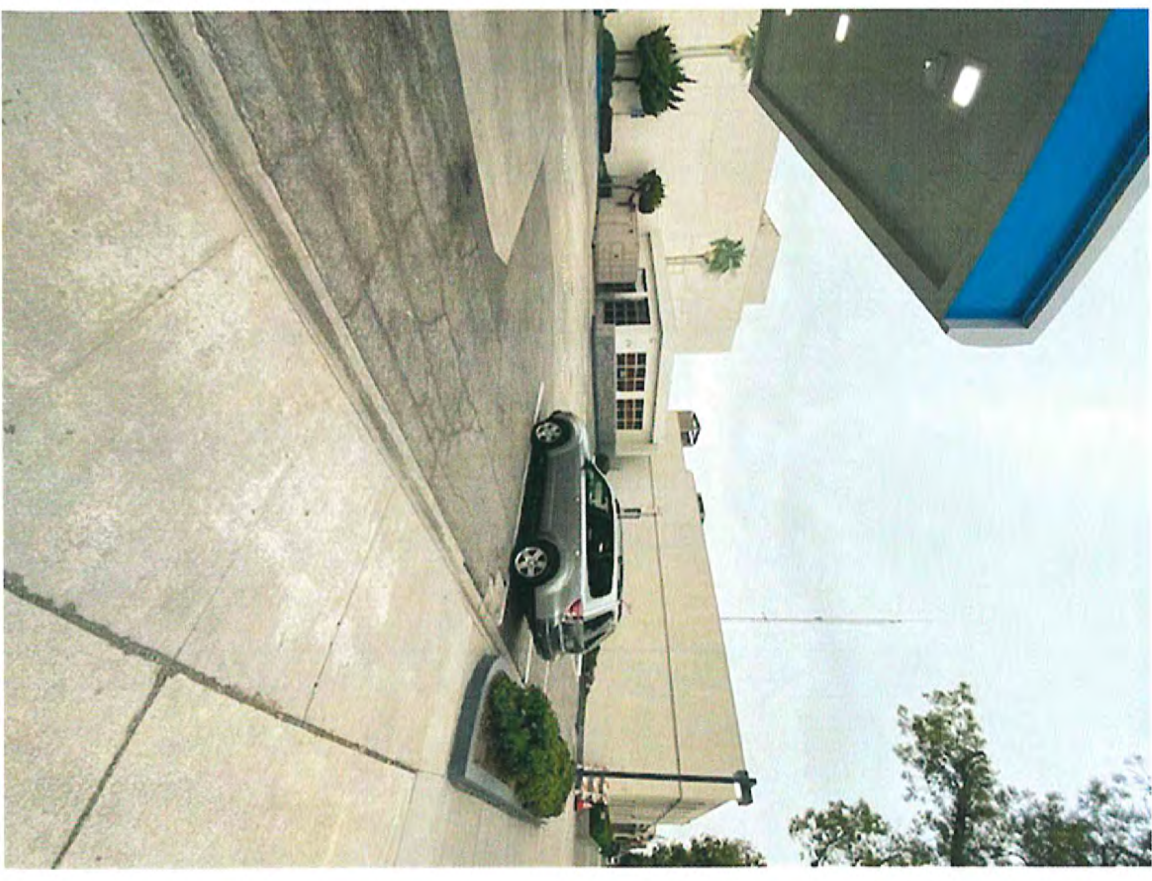
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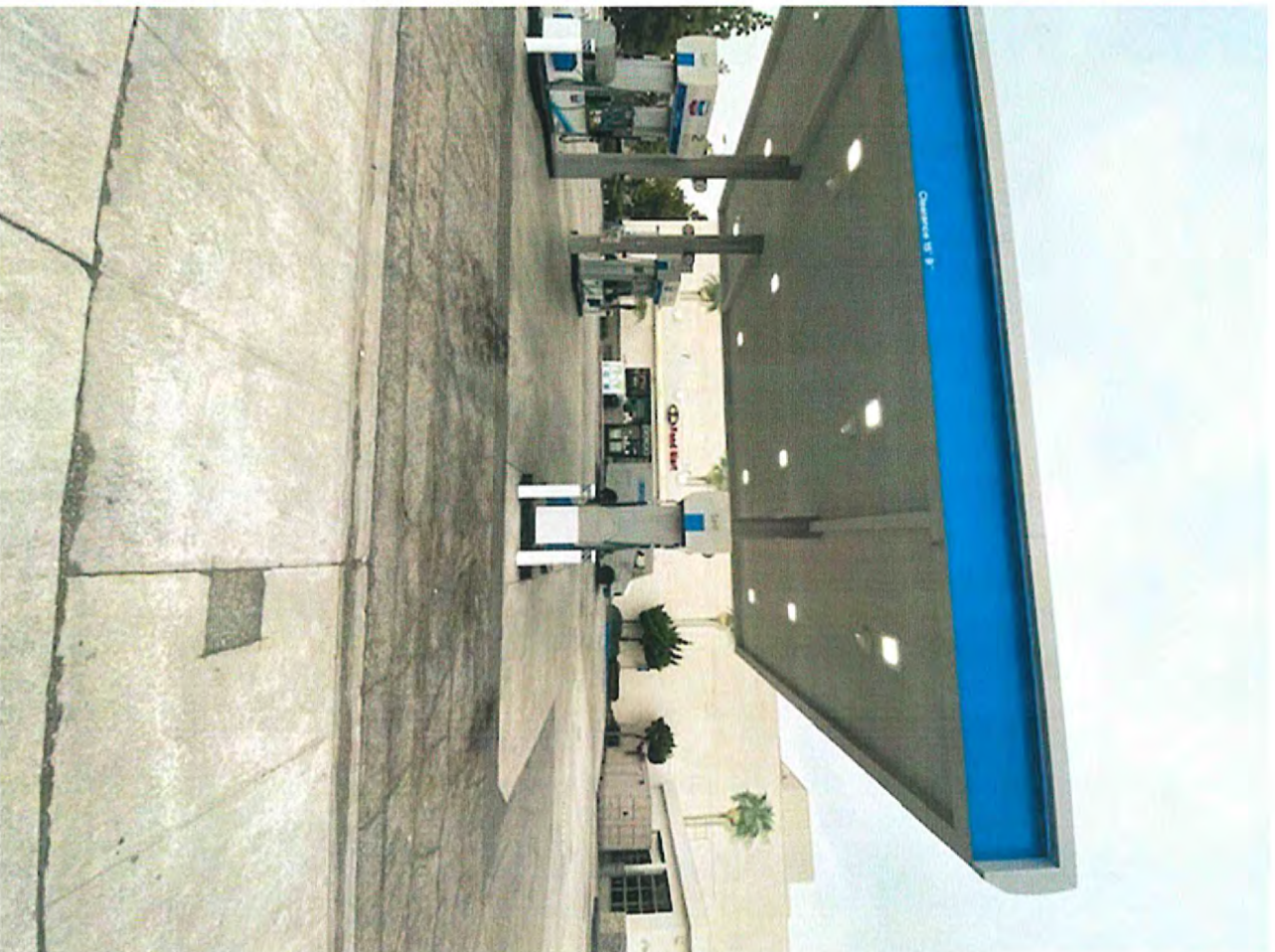
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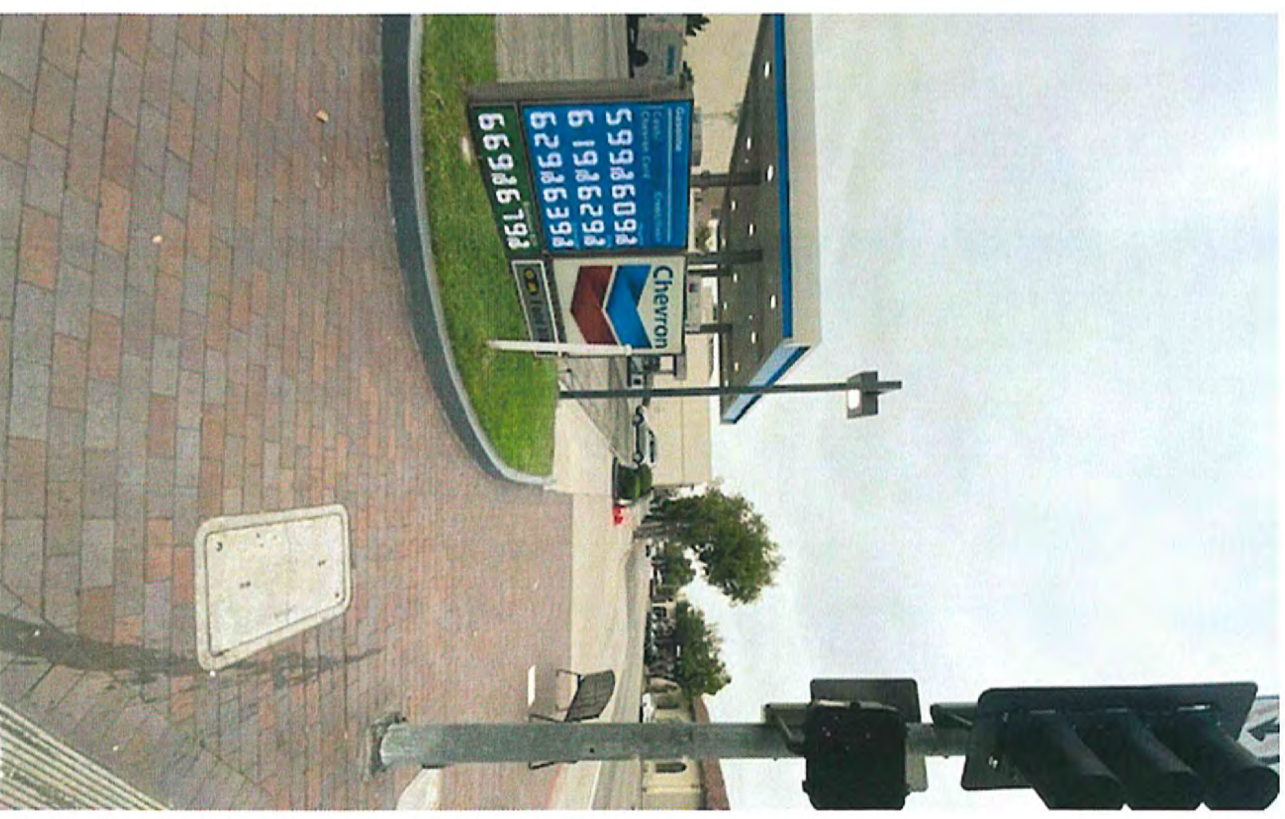
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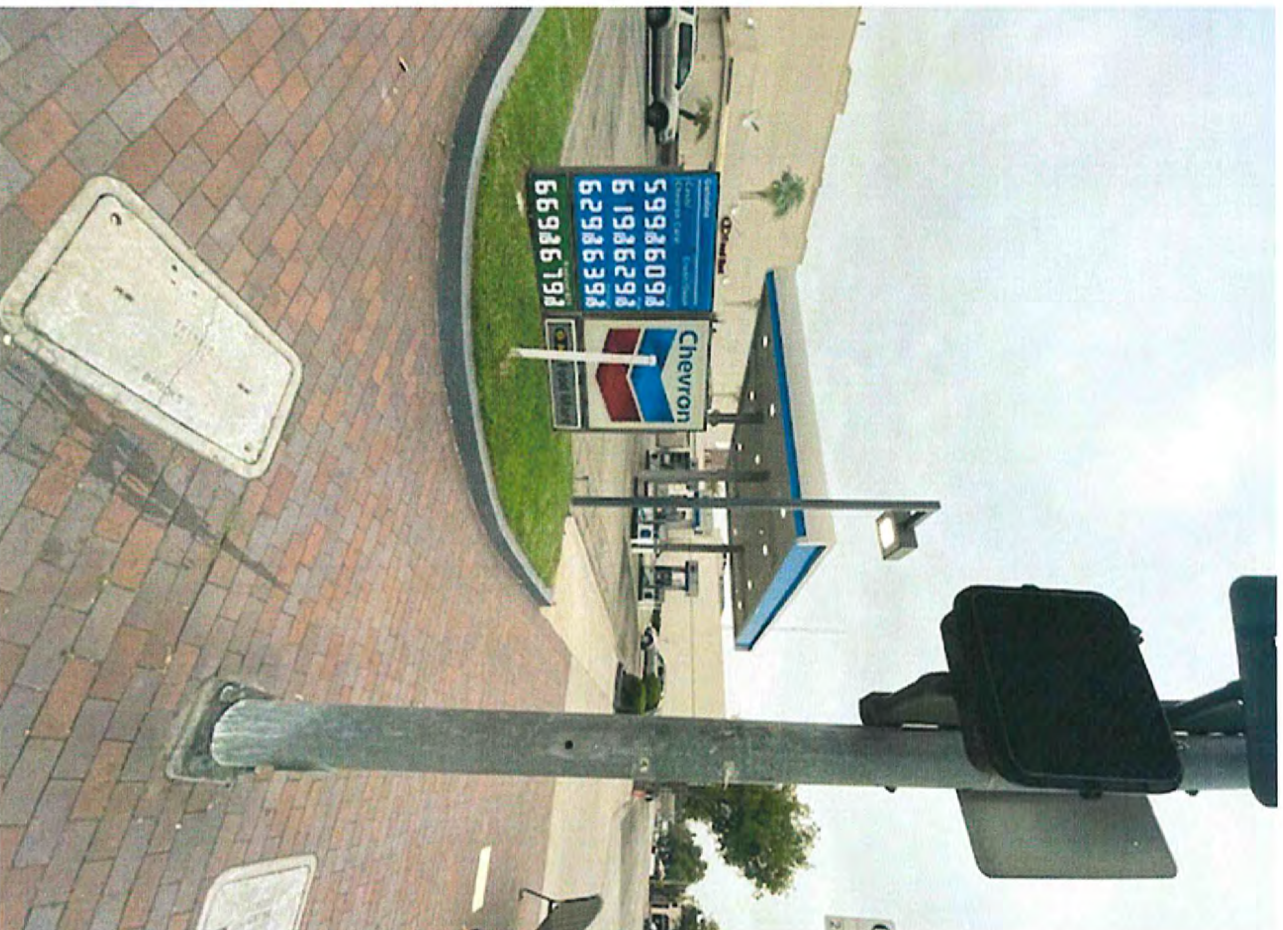
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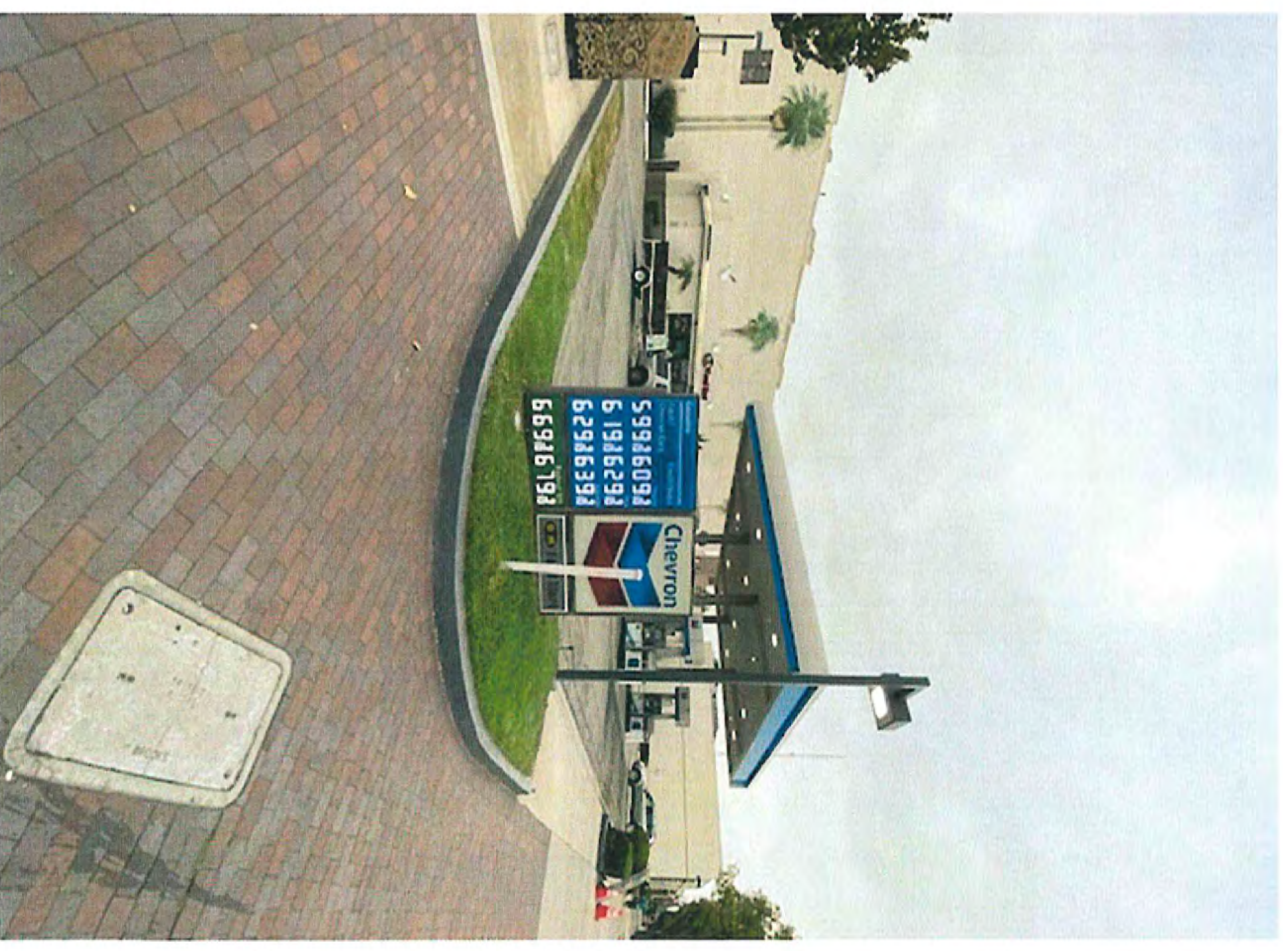
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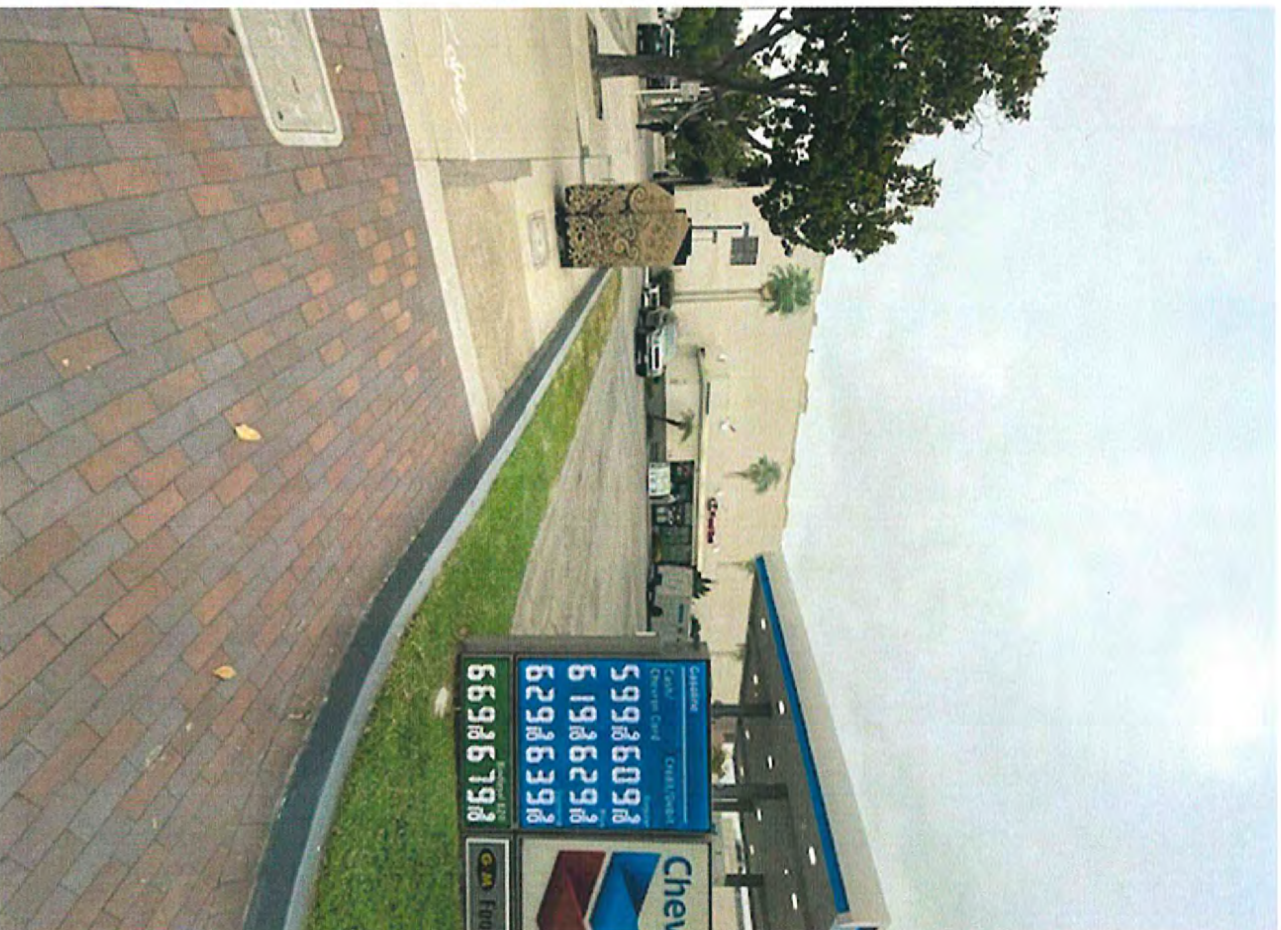
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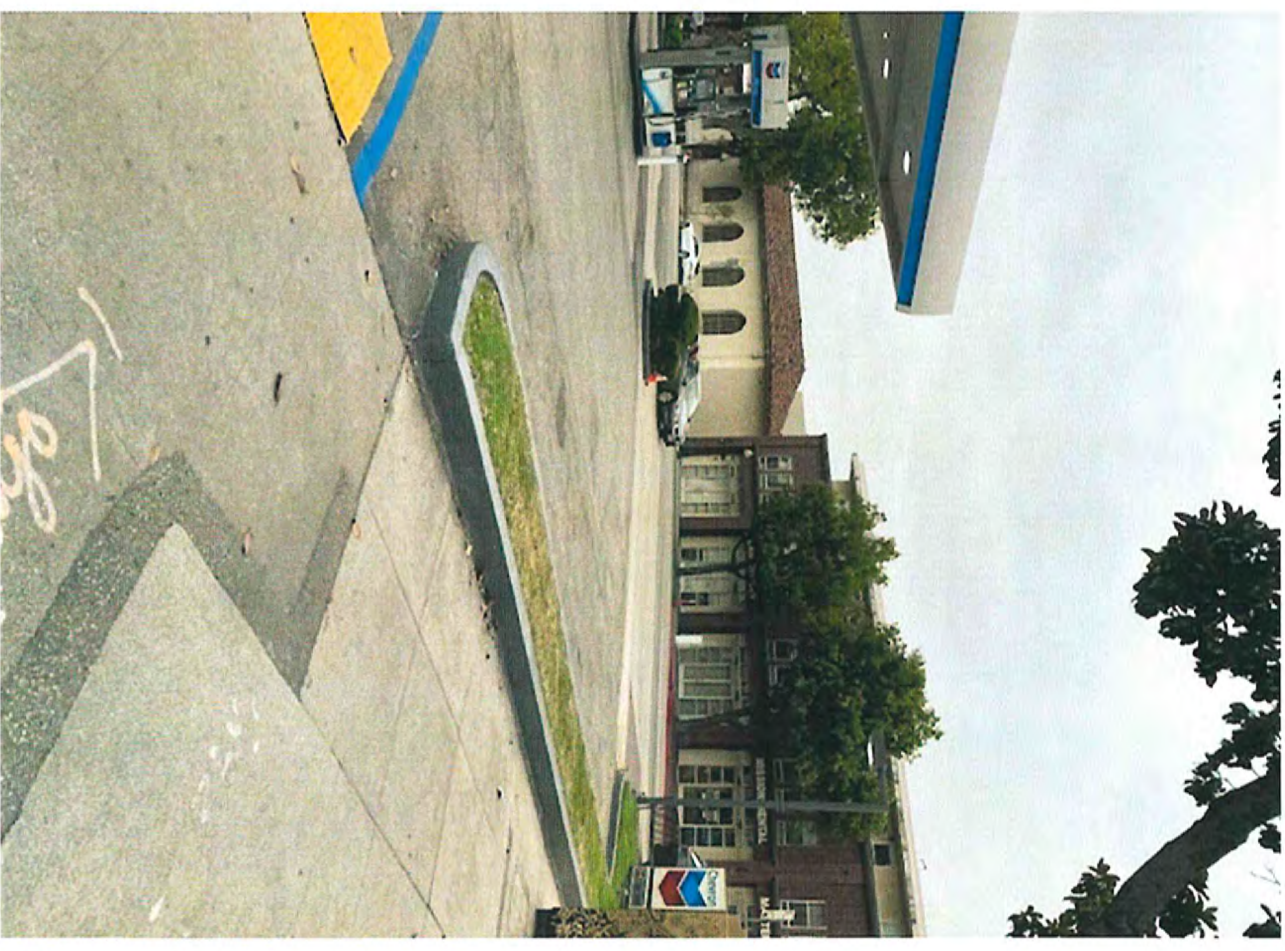
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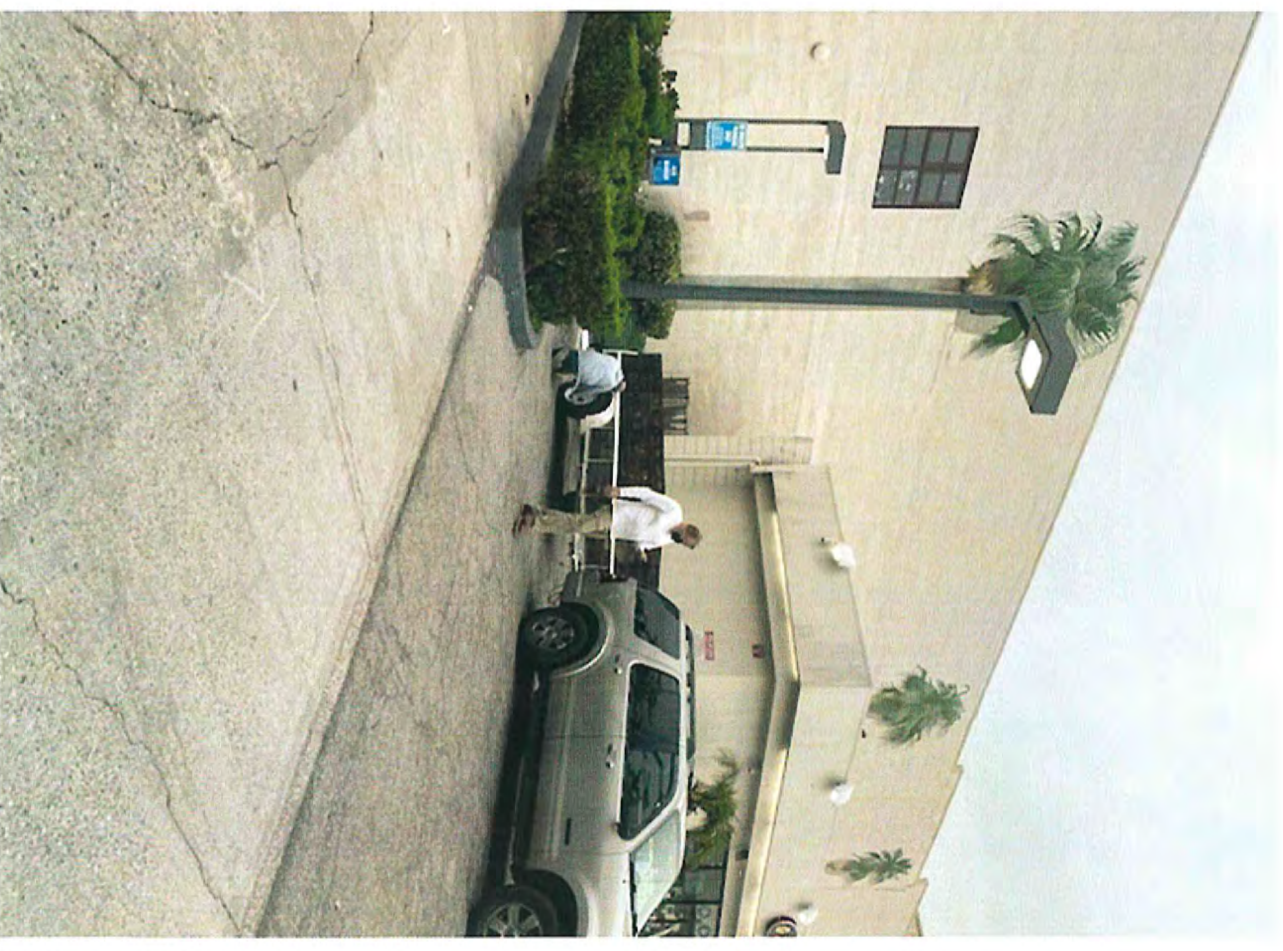
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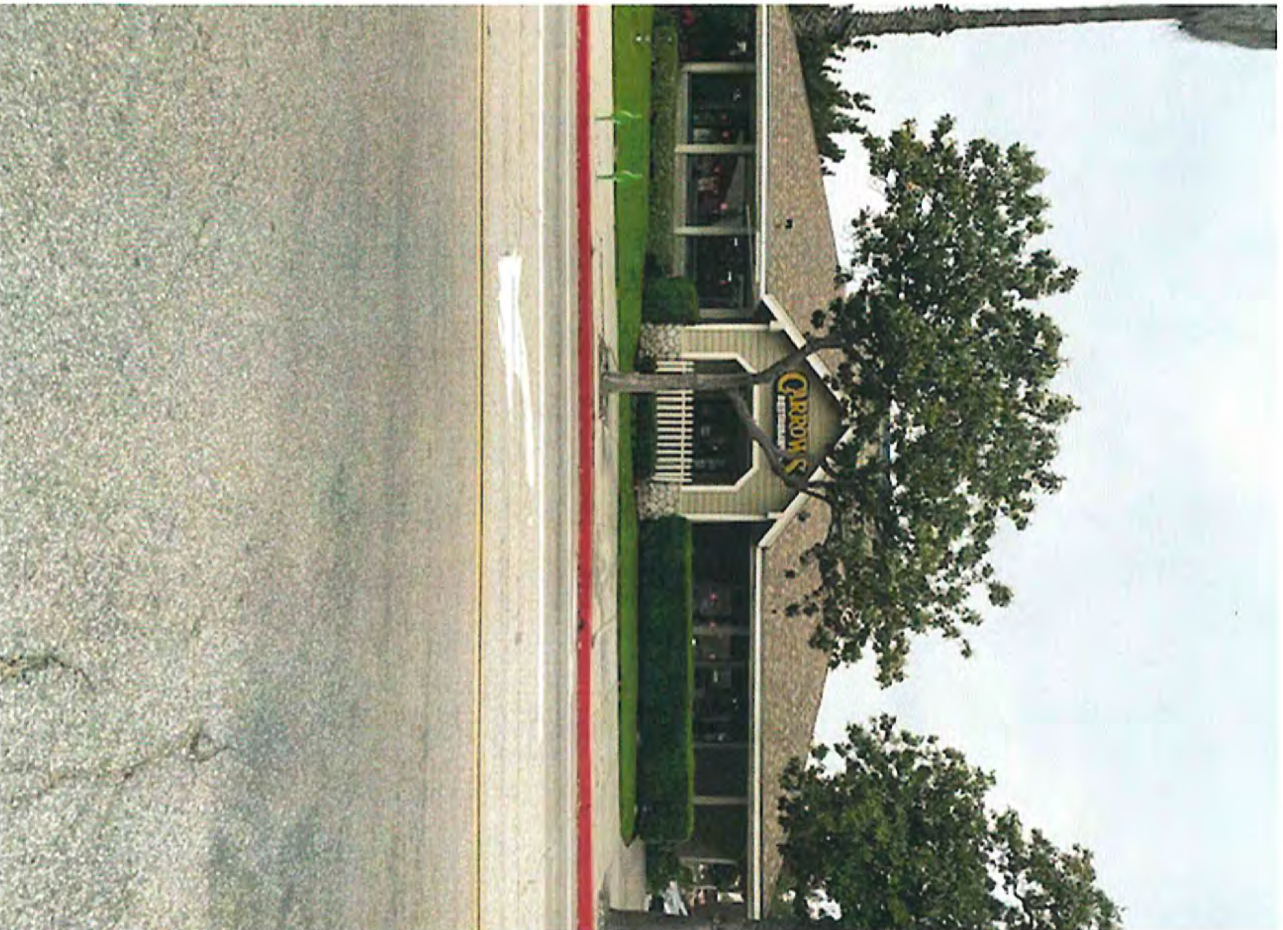
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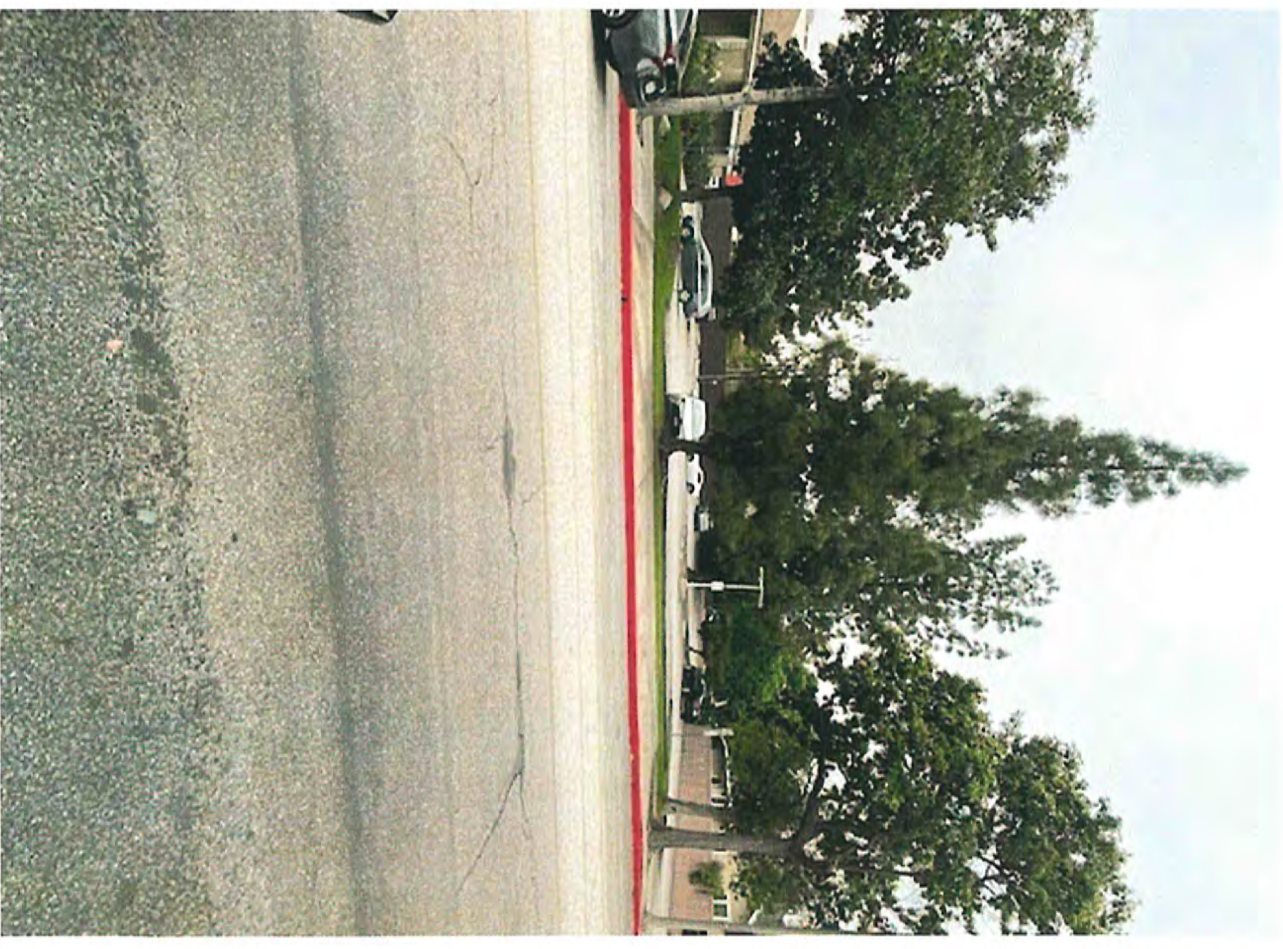
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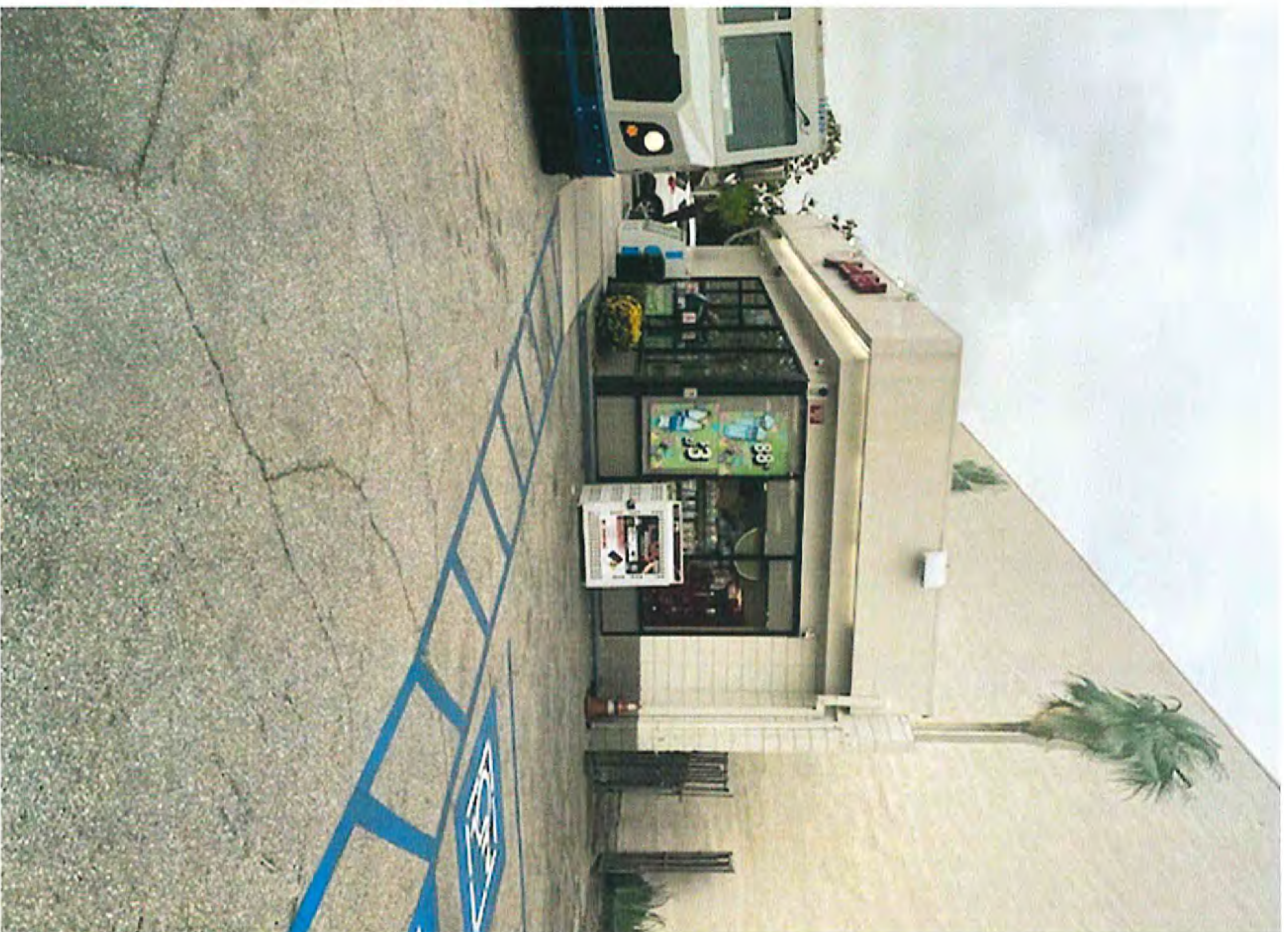
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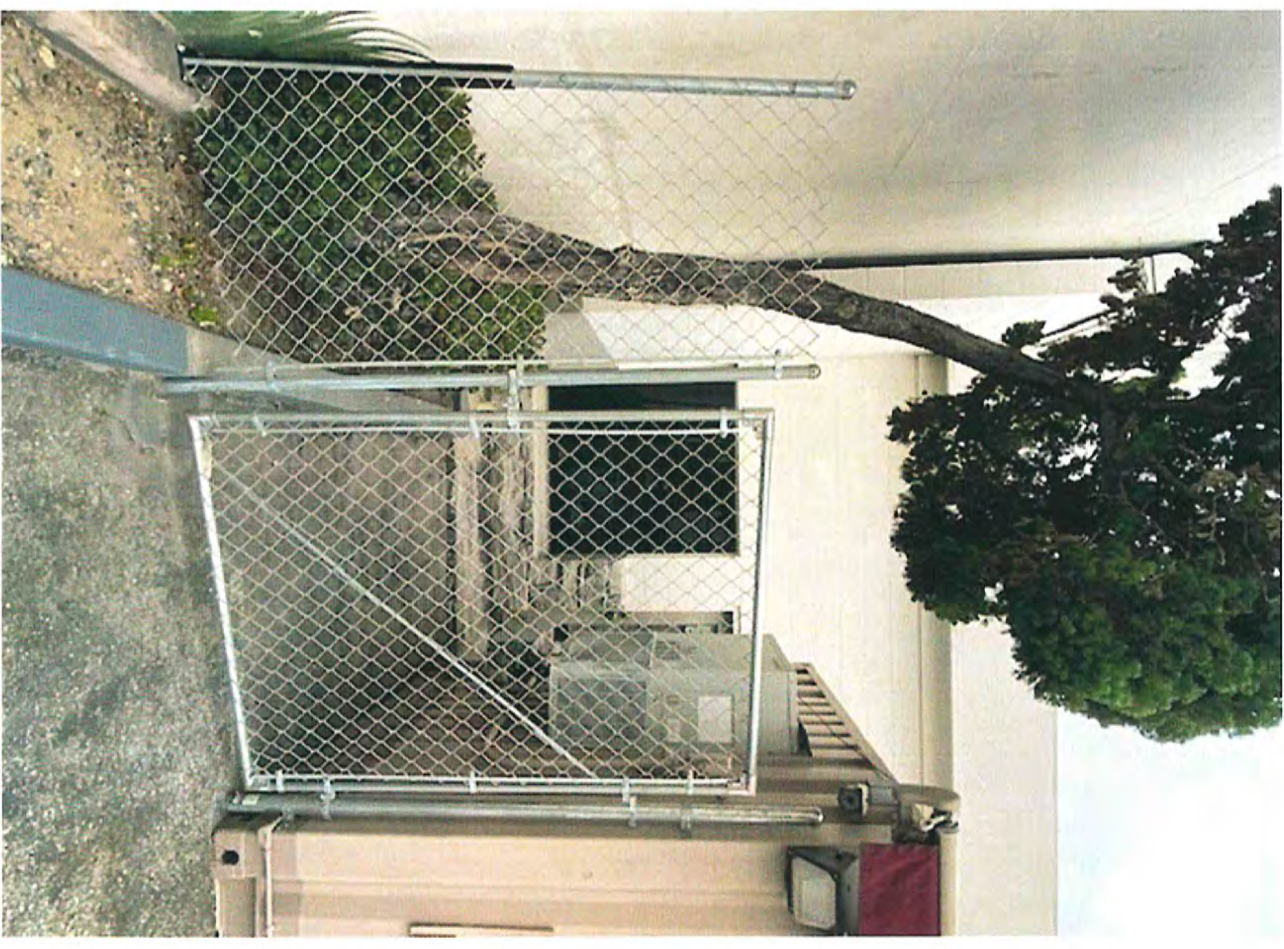
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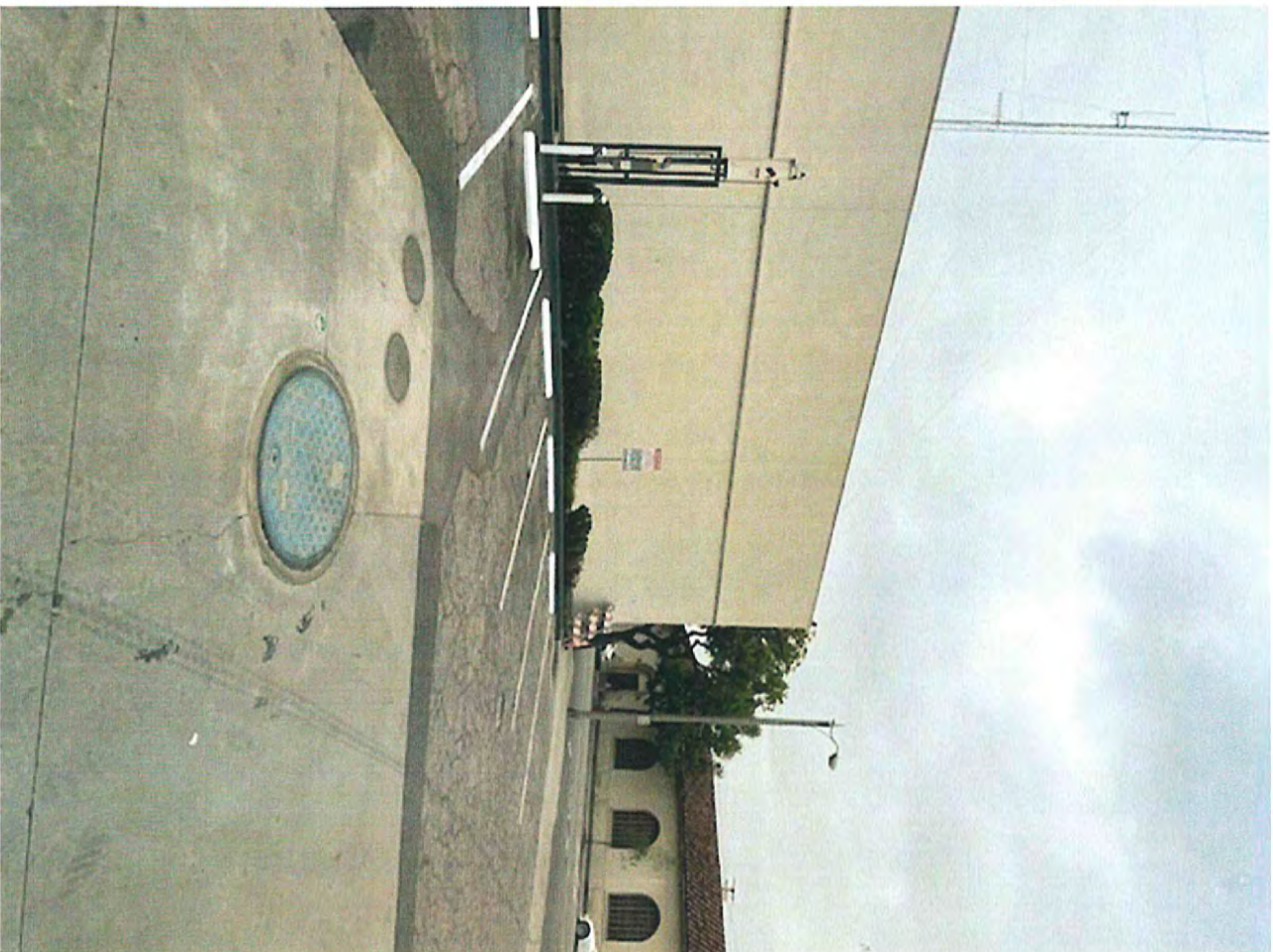
Photograph #18



Photograph #19



Photograph #20



Photograph #21



Photograph #22



Photograph #23



Photograph #24

ATTACHMENT 3

Project Narrative

**G&M Oil #151 - South Pasadena
1400 Mission Street, South Pasadena, California**

Project Narrative and Description

Project Description

The proposed project site is located at the northeast corner of the intersection of Fremont Avenue and Mission Street. The street address for the project site is 1400 Mission Street. The project site is currently zoned CG (Commercial General) and is currently occupied with the existing G&M Oil commercial use (retail gasoline station, convenience store and automotive repair/service bay building). The project site is currently improved with existing building structures, one raised canopy structure, multiple fuel dispensing devices, underground storage tanks, paving and site improvements along with minor landscape and driveway improvements.

The proposed project involves the demolition of both existing buildings, the elimination of the automotive repair use in its entirety and the construction of a new single story convenience store building. In all a total of 1,864 square feet of building area will be demolished and a total of 2,057 square feet of building area constructed. This results in a new gain of 193 square feet of building area. The proposed building will be one-story and 2,057 square feet in size. The convenience store will continue to operate as a local neighbor store providing for the sale of typical neighborhood and community goods such as coffee and beverages, pre-package goods, convenience items and of course the sale of gasoline products..

The building improvements will include a new walk-in cooler, a unisex ADA compliant restroom, a storage area, transaction/cashier area, utility room, sales area, snack bar and a coffee island. The exterior of the building will be constructed to provide compatible building materials to those found on surrounding and nearby buildings such as brick, stucco, awnings and storefront glazing. The proposed project also includes a request for the approval of a Type 20 (Beer and Wine for Off-Site Consumption) ABC license and to allow for the sale of beer and wine products for offsite consumption.

The project will also include site improvements which will include new and additional landscaping and planters, site lighting, paving and parking improvements, a covered and secured trash enclosure unit and the closure of one driveway on Mission Street.

The existing fuel operations, underground storage tanks, fuel dispensers, fuel canopies and pump islands are NOT A PART of this project proposal. They will all remain as is.

Operations

The operational plan of the project is consistent and reflective of the existing site activity and the current CG zoning (except for the service bays which are being removed). Key site operation details are as follows.

1. Hours of Operation – The project proposes to maintain the existing 24 hour operations for the convenience mart and retail gas sales.
2. Days of Operation – The site is open seven (7) days a week.
3. Number of Shifts – There are currently three shifts per day.

4. Employees per Shift – The number of employees per shift can vary from 1 to 2 depending on the time of year and time of day. During most typical shift changes there will be two employees on site.
5. On Site Manufacturing - None.
6. On Site Automotive Services - None are proposed once the service bay building is removed.

G&MOil#151-01--ProjectDescription

ATTACHMENT 4

Alcohol Sales & Gas Station Training Program

Security Policy and Procedures for On-Site Alcoholic Beverage Sales

Minors:

- It is everyone's job to ensure customers who are buying alcohol are at least 21 years of age.
- We will request proof of age (I.D.) from any customer who appears 30 years of age or year. To help employees do their job, managers will post the following sign in the business:

NOTICE: We do not sell alcohol to anyone under 21. If you are under 30, be prepared to show ID!

- We may accept the following as proof of age:
 - Valid United States driver's license (refer to the *ID Checking Guide* if needed)
 - Valid United States identification card (refer to the *ID Checking Guide* if needed)
 - Military identification card
 - Government issued Passport
- We have the right to, and will, refuse service to any customer who does not have proper I.D.

Alcohol Sales:

- Management and supervisors will support employee's decisions to refuse service to any customer. If they do not, employees might not act so responsibly in the future.
- We will not sell alcohol to any person who looks or acts intoxicated, even if they are not driving. This includes regular customers who may "always act that way".
- Drinking alcohol during your shift, after your shift or at closing time is not allowed.
- We will Not sell high-risk beverages, including fortified wines, wine coolers, 40oz beers, or malt liquor. If we do sell these products, we will keep them in sight of the cashier and away from exits to prevent "grab and runs."
- We will display wine coolers with other alcohol products.

Safe Rides:

- If a customer is intoxicated sale will be refused. And if the employee sees they are driving they will call 911 to report a drunk driver.

Good Neighbor Policies:

- As required by law, we will abide by the Retail Operating Standards (Form ABC-569) and keep a copy on the premises.
- We will keep our trash receptacles properly covered and emptied regularly. Trash cans at pumps and in front of the store are emptied two times a day.
- Burned-out light bulbs will be replaced by Optimum, lighting vendor, within 24-48 hours.

Signage:

- We will maintain posted signage required by State and local laws.

Interior:

- We will keep interior lighting adequate and bulbs working.
- Alcohol merchandise will be neatly and safely displayed and away from exits.
- Aisles will be free of debris and litter.
- We will not display adult material (e.g. magazines) to children.

Staffing:

- All staff will be trained in responsible beverage sales.
 - Age restricted sales will be covered in New Hire Training
 - Employee will be required to take the Monthly Review on *Age Restricted Sales Policies*
- All staff will be continually updated by management (meetings, communications, etc.)
- We will provide targeted training for employees who need practice in selling alcohol.
- All alcohol sellers will read and sign a Clerk's affidavit, as required by law.
- Staff will be trained in handling emergencies if the manager/supervisor is not present.

Security:

- We will allow free access to all law enforcement officers. This includes ABC agents, police officers, and sheriff deputies, all of whom may be wearing uniforms or plainclothes. Access will be given to those with appropriate I.D.
- We will not tolerate problem customers. If needed, we will call the police or sheriff for help. We will permanently refuse to admit any chronic problem customer.
- We will record any serious problem (such as fights, injuries, vandalism, or thefts) on MySupport.
- We will maintain a close working relationship with the police or sheriff. We will maintain emergency numbers (police, fire, store manager and supervisor) posted near the telephone.
- We will maintain fire extinguishers, properly mounted and readily accessible; properly charged.
- We will keep bushes/trees trimmed to not obstruct view of the store.
- We will keep surveillance cameras working and review the recordings often.
- We will maintain convex mirrors to view large areas.



Age Restricted Sales Training Plan

Required Training/Documentation	State Required?	Employees Required to take the training?	Format	Tolerance	Notes
New hire checklist	No	ALL	In person	Immediately	This company required training is for the manager to administer to new and/or current employees within 3 days of employment. Includes: Age Restricted Sales topics such as Company policies for age restricted sales, We Card Rules, Restricted times for alcohol sales, how to identify 3 rd party sales, etc.
New hire orientation/Annual certification training	No	ALL	In person	Within 30 days of the employees start date/30 days from the anniversary of the employees previous training	Introduces the employees to the company and nature of the work that they will be in. Includes topics such as: - How to I.D. for age restricted items - We Card Rules - How to identify 3 rd party sales - company policies for age restricted sales
Clerk's Affidavit	Yes	ALL	In person	Immediately	This document verifies that the employee understands the laws and repercussions surrounding the sales of alcohol. These affidavits are kept in a binder at the station.



Age Restricted Sales Training Plan

Required Training/Documentation	State Required?	Employees Required to take the training?	Format	Tolerance	Notes
LEAD (License, Education, Alcohol, Drugs)	Required in some counties	All in required counties	Online	30 days from the employees start date	This program provides attendees with practical information on serving alcoholic beverages safely, responsibly, and legally, with emphasis on preventing sales to minors, sales to obviously intoxicated persons, and illicit drug activity.
<u>Monthly Policy Reviews:</u> Age restricted Sales is one of 6 additional monthly policy reviews that are mandatory for all station employees.	No	ALL	Online	Every 30 Days	These policies are reviewed with new employees during their on-boarding process, and employees sign a form indicating their understanding of the information. It is then reviewed monthly via these trainings to ensure station employees understand these G&M Policies and Procedures. This is a mandatory monthly review.

Required Training/Documentation	State Required?	Areas/ Store type the training is required for	Employees Required to take the training	Format	Tolerance	Notes
New hire checklist	No	ALL	ALL	In person	Immediately	This company required training is for the manager to administer to new and/or current employees. It was intended to cover the gap between the time employees started working and the time they would have taken their new hire orientation and DO training(s).
DO/Emergency response training	Yes	ALL	ALL	In person	Prior to the employee working alone and within 30 days of the employees start date	This state required training will teach employees items such as: - How to deal with an emergency situation related to the UST's (i.e. - pump stops) - Where to meet in an emergency after taking the necessary preliminary steps (e.g. - fire, etc.).
New hire orientation/Annual recertification training	No	ALL	ALL	In person	30 days from the employees start date/30 days from the anniversary of the employees previous training	Introduces the employees to the company and nature of the work that they will be in. Covers topics such as: - Robbery deterrence - How to I.D. for age restricted items - Safety
ServeSafe	Yes	ALL	Manager	In person	30 days from the employees start date	This training provides more advanced information on food handling and is required for all managers.
Food handler's	Yes	ALL	ALL	In person	30 days from the employees start date	This training teaches employees the basics of proper food handling and is required for employees to take before preparing food
Rule 461 - initial training	Yes	ALL	Manager, Assistant, & Primary 2nd Shift	In person	30 days from the employees start date	This training teaches employees how to inspect the pumps and nozzle's, as well as other required items to be checked on the daily inspections log.
Rule 461 - refresher training	No	ALL	Manager, Assistant, & Primary 2nd Shift	In person	30 days from the anniversary of the employees previous training	This is not state required but is required by the company to ensure employee have up-to-date knowledge on how to inspect the fuel pumps properly.
Clerk's Affidavit	Yes	Stores that sell Alcohol	ALL	In person	Immediately	This a document verifies that the employee understands the laws and repercussions surrounding the sales of alcohol.
LEAD (License, Education, Alcohol, Drugs)	Required in San Marcos and Riverside counties, but will expand to the entire State of California	Stores that sell Alcohol	ALL	In person	30 days from the employees start date	The program provides attendees with practical information on serving alcoholic beverages safely, responsibly, and legally, with emphasis on preventing sales to minors, sales to obviously intoxicated persons, and illicit drug activity at the licensed establishment.

Monthly Policy Reviews: 1) Age restricted Sales 2) Cash Handling and Robbery Prevention 3) Credit, Debit, Mobile Text Digital Coupon and Gift Card Policy Final 4) Harassment, Discrimination, or Retaliation Training 5) Safe Work Practices 6) Uniform & Visitor Policy	No	ALL	ALL	Online	Every 30 Days	These trainings verify that station employees understand the general G&M Policies and Procedures at our stations.
Variety of Online Training Programs, such as Propane handling, Food Prep, Workplace Harrassment prevention, PinPad Skimmer training, and many more.	No	Varies by Store	ALL	Online	varies by training module based on refresher training needs	G&M Learning Management System auto-enrolls employees into these various online training modules dependent on refresher needs (some are every 3 months, 6 months, or annually).

ATTACHMENT 5

Materials Brochures

PREPARED FOR :



G&M Oil Company, Inc.
16868 A Lane
Huntington Beach, Ca 92647

COLOR LEGEND

- A. DUNN EDWARDS
#DE6128 - "SAND DUNE"
- B. DUNN EDWARDS
#DE6130 - "WOODEN ACRE"
- C. DUNN EDWARDS
#DEA161 - "WILD MUSTANG"

MATERIAL LEGEND

- 1. ALUMINUM FRAMED CANVAS AWNING
SUNBRELLA
#6031-0000 - "BURGUNDY"
- 2. DECORATIVE WALL MOUNTED LIGHT FIXTURE
ARTE DE MEXICO
WM168-3 - ANTIQUE UMBER FINISH
- 3. 6"x6" ACCENT TILE
FORT WORTH BRICK & TILE
REGULAR SALTILLO - SEALED
- 4. BRICK VENEER
CORONADO STONE
SPECIAL USED BRICK - "EAGLE BUFF"
- 5. 6"x6" ACCENT TILE
TIERRA Y FUEGO
GUADALAJARA - #10131-6
RUST - #10812-6
- 6. WALL MOUNTED TRELLIS
GREEN SCREEN
GLOSS POWDER COAT FINISH - "GREEN"
- 7. CONCRETE ROOF TILE
EAGLE ROOFING
CAPISTRANO - #3636 - "PIEDMONT BLEND"



A



1



2



3



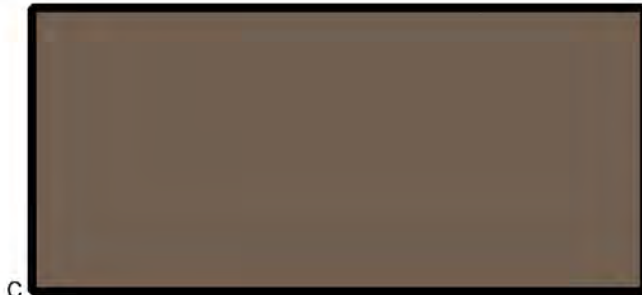
B



4



5



C



6



7



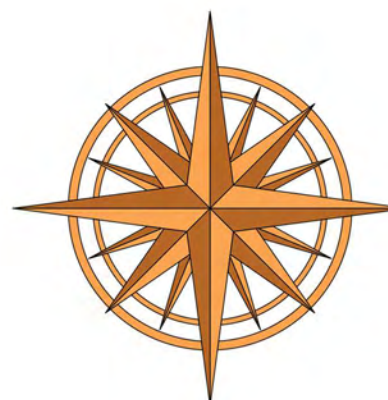
Travis Companies, Inc.

4430 E. Miraloma Avenue , Suite F , Anaheim , California 92807

NOTE: This information is conceptual in nature and is subject to adjustments pending further verification and client, tenant and governmental agency approval. No warranties or guarantees of any kind are given or implied by the architect.

ATTACHMENT 6

Rendering



Travis Companies, Inc.

4430 E. Miraloma Avenue, Suite F, Anaheim, California 92807

NOTE: This information is conceptual in nature and is subject to adjustments pending further verification and client, tenant and governmental agency approval. No warranties or guaranties of any kind are given or implied by the architect.

ATTACHMENT 7

Architectural Plans



G&M OIL COMPANY
FACILITY No.: 151
1400 MISSION STREET
SOUTH PASADENA, CA 91030

ENTITLEMENT PACKAGE

SUBMITTALS	
No.	DATE
1	4/29/2022
2	8/21/2023
3	
4	

	LEGAL DESCRIPTION	OCCUPANT LOAD CALCULATION (PER CBC TABLE 1004.5)	CODE INFORMATION	SITE SUMMARY	VICINITY MAP																																																																																																																																																																																																															
	<p>THE LAND REFERRED TO HEREIN BELOW IS SITUATED IN THE COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AND IS DESCRIBED AS FOLLOWS:</p> <p>LOTS 4 AND 5 IN BLOCK 5 OF DIVISION NO. 1 OF THE RAYMOND IMPROVEMENT COMPANY'S OF TRACT, IN THE CITY OF SOUTH PASADENA, AS PER MAP RECORDED IN BOOK 24 PAGE 3 OF MISCELLANEOUS RECORDS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.</p> <p>EXCEPT FROM SAID LOTS 4 AND 5, THOSE PORTIONS INCLUDED WITHIN THE LINES OF FREMONT AVENUE, 80 FEET WIDE, AS SHOWN ON THE MAP OF THE MARY U. HART TRACT, AS PER MAP RECORDED IN BOOK 11 PAGE 101 OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.</p> <p>APN: 5315-002-030</p> <p>THIS DESCRIPTION DESCRIBES ALL THAT REAL PROPERTY DESCRIBED IN TITLE REPORT IDENTIFIED AS CHICAGO TITLE COMPANY, ORDER NO. 00023717-994-X49, DATED MAY 2, 2014.</p>	<table><tr><th>ROOM / DESIGNATION</th><th>OCCUPANT LOAD FACTOR</th><th>AREA (Net)</th><th>OCCUPANT LOAD</th></tr><tr><td>SALES AREA:</td><td>60</td><td>1,126 Sq.Ft.</td><td>18.77</td></tr><tr><td>Sales Area</td><td></td><td></td><td></td></tr><tr><td>Cashier Area</td><td></td><td></td><td></td></tr><tr><td>Snack Bar Area</td><td></td><td></td><td></td></tr><tr><td>RESTROOM:</td><td>100</td><td>67 Sq.Ft.</td><td>0.67</td></tr><tr><td>Restroom</td><td></td><td></td><td></td></tr><tr><td>WALK-IN-BOX:</td><td>300</td><td>252 Sq.Ft.</td><td>0.84</td></tr><tr><td>Walk-In Cooler</td><td></td><td></td><td></td></tr><tr><td>Walk-In Freezer</td><td></td><td></td><td></td></tr><tr><td>BACK STORAGE ROOM:</td><td>300</td><td>387 Sq.Ft.</td><td>1.29</td></tr><tr><td>Utility Room</td><td></td><td></td><td></td></tr><tr><td>Storage Room</td><td></td><td></td><td></td></tr><tr><td colspan="3">SUB-TOTAL:</td><td>21.57</td></tr><tr><td colspan="3">TOTAL OCCUPANT LOAD:</td><td>22</td></tr></table>	ROOM / DESIGNATION	OCCUPANT LOAD FACTOR	AREA (Net)	OCCUPANT LOAD	SALES AREA:	60	1,126 Sq.Ft.	18.77	Sales Area				Cashier Area				Snack Bar Area				RESTROOM:	100	67 Sq.Ft.	0.67	Restroom				WALK-IN-BOX:	300	252 Sq.Ft.	0.84	Walk-In Cooler				Walk-In Freezer				BACK STORAGE ROOM:	300	387 Sq.Ft.	1.29	Utility Room				Storage Room				SUB-TOTAL:			21.57	TOTAL OCCUPANT LOAD:			22	<p>1. APPLICABLE CODES:</p> <table><tr><td>Building Code:</td><td>2022 California Building Code</td></tr><tr><td>Plumbing Code:</td><td>2022 California Plumbing Code</td></tr><tr><td>Electrical Code:</td><td>2022 California Electrical Code</td></tr><tr><td>Mechanical Code:</td><td>2022 California Mechanical Code</td></tr><tr><td>Fire Code:</td><td>2022 California Fire Code</td></tr><tr><td>Green Code:</td><td>2022 California Green Building Stds. Code</td></tr><tr><td>Energy Code:</td><td>2022 Building Energy Efficiency Standards</td></tr></table> <p>2. BUILDING DESCRIPTION:</p> <table><tr><th></th><th>Proposed C-Store</th><th>Proposed Canopy</th></tr><tr><td>Construction Type:</td><td>V-B (Unprotected)</td><td>II-B</td></tr><tr><td>Occupancy Use Group:</td><td>M (Mercantile)</td><td>M (Mercantile)</td></tr><tr><td>Fire Sprinklers</td><td>No</td><td>No</td></tr><tr><td>Allowable Area:</td><td>9,000 Sq.Ft.</td><td>12,500 Sq.Ft.</td></tr><tr><td>Actual Building Area:</td><td>1,981 Sq.Ft. (Gross)</td><td>2,057 Sq.Ft. (Gross)</td></tr><tr><td>Allowable Height:</td><td>1 Story - (40'-0" Max.)</td><td>2 Story - (55'-0" Max.)</td></tr><tr><td>Actual Height:</td><td>1 Story - (25'-0")</td><td>1 Story - (±18'-9")</td></tr></table> <p>3. BUILDING AREA TABULATION:</p> <table><tr><td>Sales Area:</td><td>1,126 Sq.Ft.</td></tr><tr><td>Restroom:</td><td>67 Sq.Ft.</td></tr><tr><td>Walk In Box</td><td>252 Sq.Ft.</td></tr><tr><td>Storage / Utility Room(s)</td><td>387 Sq.Ft.</td></tr><tr><td>Total (Net):</td><td>1,832 Sq.Ft.</td></tr></table> <p>4. OCCUPANCY AND EGRESS</p> <table><tr><td>Number of Employee(s):</td><td>2</td></tr><tr><td>Occupancy Load:</td><td>22</td></tr><tr><td>Exits Required:</td><td>1</td></tr><tr><td>Exits Provided:</td><td>1</td></tr></table> <p>5. PLUMBING FIXTURES</p> <table><tr><td>Male:</td><td>Required: 1 WC, 1 Lav, 0 Urinal</td><td>Provided: 1 WC, 1 Lav, 0 Urinal</td></tr><tr><td>Female:</td><td>1 WC, 1 Lav</td><td>1 WC, 1 Lav</td></tr><tr><td>Service Sink:</td><td>1</td><td>1</td></tr><tr><td>Drinking Fountain:</td><td>Not Required</td><td>1 - Water Service is Provided Directly to the Customer</td></tr></table> <p>(Note: Unisex facility provided pursuant to 2022 C.P.C. Section 422.2, Exception 3)</p>	Building Code:	2022 California Building Code	Plumbing Code:	2022 California Plumbing Code	Electrical Code:	2022 California Electrical Code	Mechanical Code:	2022 California Mechanical Code	Fire Code:	2022 California Fire Code	Green Code:	2022 California Green Building Stds. Code	Energy Code:	2022 Building Energy Efficiency Standards		Proposed C-Store	Proposed Canopy	Construction Type:	V-B (Unprotected)	II-B	Occupancy Use Group:	M (Mercantile)	M (Mercantile)	Fire Sprinklers	No	No	Allowable Area:	9,000 Sq.Ft.	12,500 Sq.Ft.	Actual Building Area:	1,981 Sq.Ft. (Gross)	2,057 Sq.Ft. (Gross)	Allowable Height:	1 Story - (40'-0" Max.)	2 Story - (55'-0" Max.)	Actual Height:	1 Story - (25'-0")	1 Story - (±18'-9")	Sales Area:	1,126 Sq.Ft.	Restroom:	67 Sq.Ft.	Walk In Box	252 Sq.Ft.	Storage / Utility Room(s)	387 Sq.Ft.	Total (Net):	1,832 Sq.Ft.	Number of Employee(s):	2	Occupancy Load:	22	Exits Required:	1	Exits Provided:	1	Male:	Required: 1 WC, 1 Lav, 0 Urinal	Provided: 1 WC, 1 Lav, 0 Urinal	Female:	1 WC, 1 Lav	1 WC, 1 Lav	Service Sink:	1	1	Drinking Fountain:	Not Required	1 - Water Service is Provided Directly to the Customer	<p>PROJECT NAME: G&M Oil Company Facility #151</p> <p>PROJECT ADDRESS: 1400 Mission Street, South Pasadena Ca 91030</p> <p>PARCEL NUMBER: 5315-002-030</p> <p>PROPERTY AREA: 18,930 S.F. (Total Overall) 0.43 Acres</p> <p>EXISTING STRUCTURE(S) AREA TO BE REMOVED:</p> <table><tr><td>Gas mart:</td><td>643 S.F.</td><td>COVERAGE: 3.4 %</td></tr><tr><td>Repair Garage:</td><td>1,221 S.F.</td><td>COVERAGE: 6.45 %</td></tr><tr><td>TOTAL REMOVED AREA:</td><td>1,864 S.F.</td><td>COVERAGE: 9.85 %</td></tr></table> <p>EXISTING STRUCTURE(S) AREA TO REMAIN:</p> <table><tr><td>Existing Gas Canopy:</td><td>2,057 S.F.</td><td>COVERAGE: 10.87 %</td></tr><tr><td>TOTAL REMAINING AREA:</td><td>2,057 S.F.</td><td>COVERAGE: 10.87 %</td></tr></table> <p>PROPOSED STRUCTURE(S) AREA:</p> <table><tr><td>New C-Store Building:</td><td>1,981 S.F.</td><td>COVERAGE: 10.46 %</td></tr><tr><td>New Trash Enclosure:</td><td>127 S.F.</td><td>COVERAGE: 0.67 %</td></tr><tr><td>TOTAL PROPOSED AREA:</td><td>2,108 S.F.</td><td>COVERAGE: 11.14 %</td></tr></table> <p>PARKING LOT AREA: 10,386 S.F. COVERAGE: 54.87 %</p> <p>LANDSCAPE AREA: 2,248 S.F. COVERAGE: 11.88 %</p> <p>PARKING SPACE ANALYSIS:</p> <table><tr><th>REQUIRED PARKING:</th><th>PARKING RATE</th><th>SIZE / RATE</th><th>REQUIRED</th></tr><tr><td>C-Store Building:</td><td>1 Per 250 S.F.</td><td>1,981 S.F.</td><td>8 Stalls</td></tr><tr><td>Total Stalls Required</td><td></td><td></td><td>8 Stalls</td></tr></table> <p>PROVIDED PARKING:</p> <table><tr><th></th><th>SIZE</th><th>PROVIDED</th></tr><tr><td>Regular Stalls:</td><td>9'-0" x 19'-0"</td><td>5 Stalls</td></tr><tr><td>Handicap Stalls (Van Accessible):</td><td>9'-0" x 19'-0"</td><td>1 Stalls</td></tr></table> <p>Pursuant to State of California Assembly Bill AB 2097 Section 65863.2(a) and 65863.2(b) No Additional Parking Spaces are Required.</p> <p>Distance to Nearest Transit Hub: 1,271 feet (Metro Rail Line Station)</p> <p>Distance to Nearest Transit Stop: 6 feet (Routes 258)</p> <p>Distance to Nearest Transit Stop: 594 feet (Routes 260)</p> <p>Total Stalls Provided: 6 Stalls</p>	Gas mart:	643 S.F.	COVERAGE: 3.4 %	Repair Garage:	1,221 S.F.	COVERAGE: 6.45 %	TOTAL REMOVED AREA:	1,864 S.F.	COVERAGE: 9.85 %	Existing Gas Canopy:	2,057 S.F.	COVERAGE: 10.87 %	TOTAL REMAINING AREA:	2,057 S.F.	COVERAGE: 10.87 %	New C-Store Building:	1,981 S.F.	COVERAGE: 10.46 %	New Trash Enclosure:	127 S.F.	COVERAGE: 0.67 %	TOTAL PROPOSED AREA:	2,108 S.F.	COVERAGE: 11.14 %	REQUIRED PARKING:	PARKING RATE	SIZE / RATE	REQUIRED	C-Store Building:	1 Per 250 S.F.	1,981 S.F.	8 Stalls	Total Stalls Required			8 Stalls		SIZE	PROVIDED	Regular Stalls:	9'-0" x 19'-0"	5 Stalls	Handicap Stalls (Van Accessible):	9'-0" x 19'-0"	1 Stalls	<div></div> <div><table><tr><th colspan="2">INDEX OF DRAWINGS</th></tr><tr><th></th><th>GENERAL</th></tr><tr><td>1</td><td>T1.0</td></tr><tr><td>2</td><td>1 of 2</td></tr><tr><td>3</td><td>2 of 2</td></tr><tr><td>4</td><td>ST1.0</td></tr><tr><td>5</td><td>ST1.1</td></tr><tr><td>6</td><td>ST1.2</td></tr><tr><td>7</td><td>ST1.3</td></tr><tr><td>8</td><td>L1.0</td></tr><tr><td>9</td><td>ST2.0</td></tr><tr><td>10</td><td>ES1.0</td></tr><tr><td>11</td><td>A1.0</td></tr><tr><td>12</td><td>A2.0</td></tr><tr><td>13</td><td>A2.1</td></tr><tr><td>14</td><td>A3.0</td></tr><tr><td>15</td><td>A4.0</td></tr></table></div>	INDEX OF DRAWINGS			GENERAL	1	T1.0	2	1 of 2	3	2 of 2	4	ST1.0	5	ST1.1	6	ST1.2	7	ST1.3	8	L1.0	9	ST2.0	10	ES1.0	11	A1.0	12	A2.0	13	A2.1	14	A3.0	15	A4.0
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TITLE SHEET

G&M OIL COMPANY FACILITY No.: 151
1400 MISSION STREET
SOUTH PASADENA, CA 91030

DRAWING NUMBER

T1.0

DRAWN BY: A.J.
DATE: 8/14
SCALE: NONE
PLOT: 1:1
REF: GMI15-T1.0
FILE: 0115-0089

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PREPARED FOR:
G&M Oil Company, Inc.
16868 A Lane
Huntington Beach
California, 92647-4831
(714) 375-4700

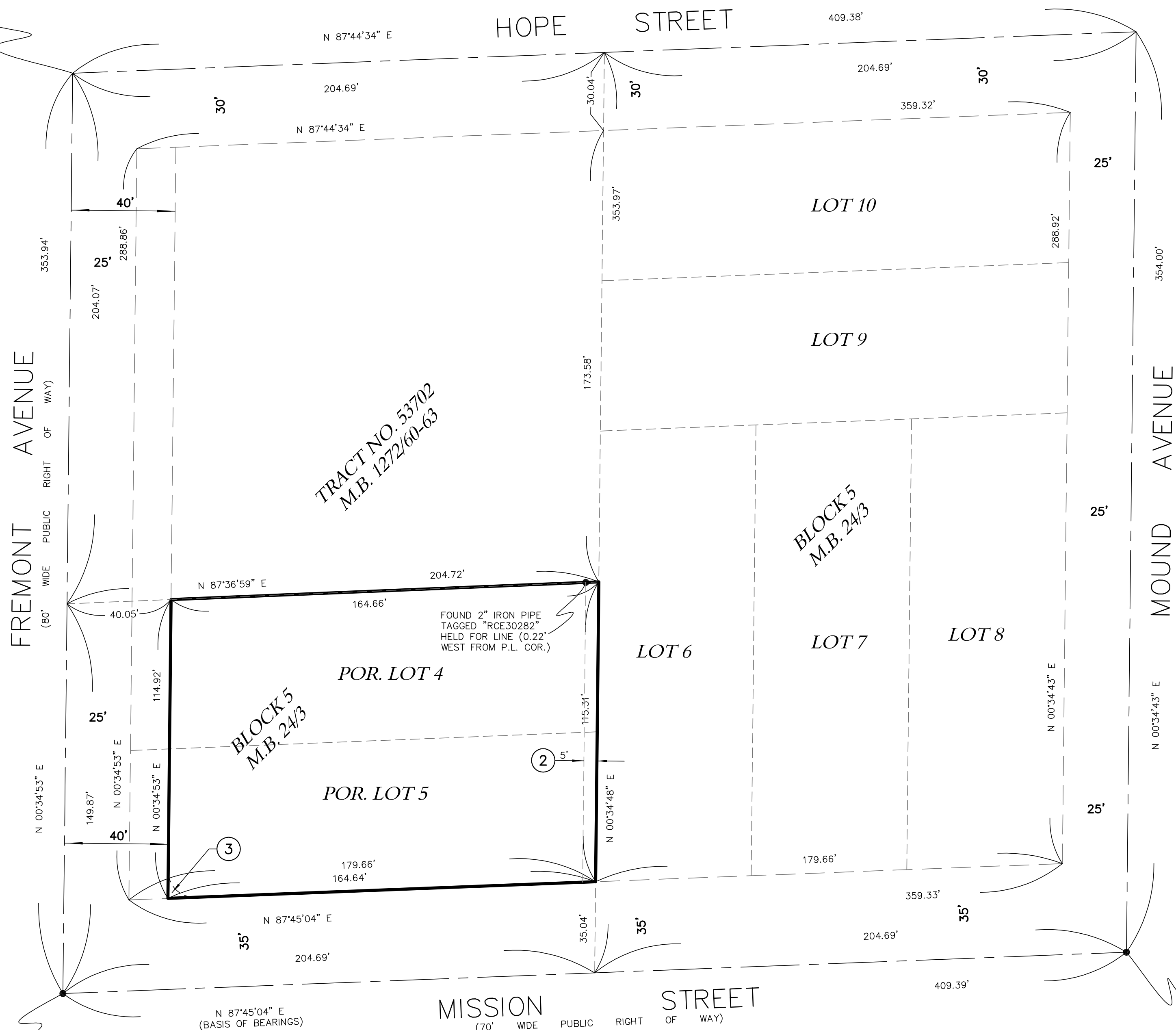
PREPARED BY:
Travis Companies, Inc.
4430 E. Miraloma Ave., Suite F, Anaheim, Ca 92807
Tel: (714) 693-9388 Fax: (714) 693-9393
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NO. 1 2 3 4
REVISION
DATE

TITLE SHEET
G&M OIL COMPANY FACILITY No.: 151
1400 MISSION STREET
SOUTH PASADENA, CA 91030

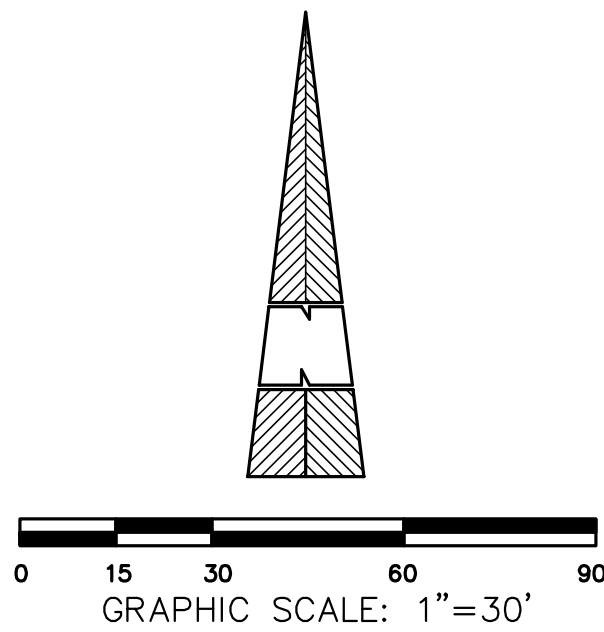
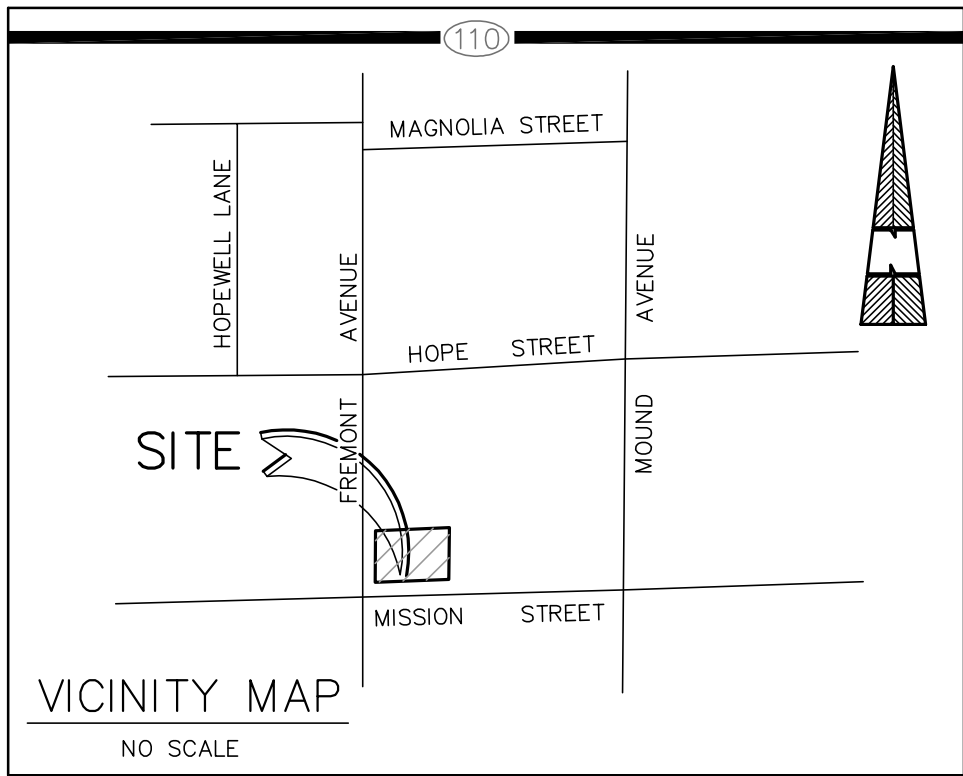
DRAWING NUMBER
T1.0

FOUND TIED MANHOLE
PER TRACT NO. 63234
M.B. 1362/80-81



FOUND SPIKE & WASHER
STAMPED "LS6999" PER
TRACT NO. 63234
M.B. 1362/80-81

FOUND SPIKE & WASHER
STAMPED "LS6999" PER
TRACT NO. 63234
M.B. 1362/80-81



PARKING STALLS:

- 8 STANDARD STALLS
- 1 HANDICAP STALL

LAND AREA:

18,930 SQUARE FEET
0.43 ACRES

FLOOD NOTE:

BY GRAPHIC PLOTTING ONLY, THIS PROPERTY IS IN ZONE
"X" OF THE FLOOD INSURANCE RATE MAP, COMMUNITY PANEL
NO. 065061-1635-F WHICH BEARS AN EFFECTIVE DATE OF
9-26-08 AND IS NOT IN A SPECIAL FLOOD HAZARD AREA.

SITE RESTRICTIONS:

THE SURVEYOR WAS NOT PROVIDED WITH ZONING
INFORMATION PURSUANT TO TABLE A ITEM NO. 6(B).

UTILITY NOTE:

BASED ON VISUAL OBSERVATION, THE SUBJECT
SITE IS SERVICED BY ALL THE NECESSARY UTILITIES
REQUIRED TO MAINTAIN NORMAL OPERATION.

LEGAL DESCRIPTION:

THE LAND REFERRED TO HEREIN BELOW IS SITUATED IN THE COUNTY OF LOS ANGELES, STATE
OF CALIFORNIA, AND IS DESCRIBED AS FOLLOWS:

LOTS 4 AND 5 IN BLOCK 5 OF DIVISION NO. 3 OF THE RAYMOND IMPROVEMENT COMPANY'S OF
TRACT, IN THE CITY OF SOUTH PASADENA, AS PER MAP RECORDED IN BOOK 24 PAGE 3 OF
MISCELLANEOUS RECORDS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

EXCEPT FROM SAID LOTS 4 AND 5, THOSE PORTIONS INCLUDED WITHIN THE LINES OF FREMONT
AVENUE, 80 FEET WIDE, AS SHOWN ON THE MAP OF THE MARY U. HART TRACT, AS PER MAP
RECORDED IN BOOK 11 PAGE 101 OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF
SAID COUNTY.

APN: 5315-002-030

THIS DESCRIPTION DESCRIBES ALL THAT REAL PROPERTY DESCRIBED IN TITLE REPORT
IDENTIFIED AS CHICAGO TITLE COMPANY, ORDER NO. 00023717-994-X49, DATED MAY 2, 2014.

NOTES CORRESPONDING TO SCHEDULE "B":

- EASEMENT(S) FOR STREET AND RIGHTS INCIDENTAL THERETO, AS GRANTED IN A DOCUMENT,
RECORDED IN IN BOOK 2310 PAGE 153 OF DEEDS. (THIS ITEM MAY AFFECT THE SUBJECT PROPERTY,
BUT IS NOT PLOTTED HEREON BECAUSE THE SUPPORTIVE DOCUMENT PROVIDED AT THE TIME OF SURVEY
IS ILLEGIBLE.)
- EASEMENT(S) FOR POLES AND RIGHTS INCIDENTAL THERETO, AS GRANTED IN A DOCUMENT, RECORDED
NOVEMBER 21, 1945 IN BOOK 22446 PAGE 326, OF OFFICIAL RECORDS. (THIS ITEM IS PLOTTED HEREON
AND DOES AFFECT THE SUBJECT PROPERTY.)
- EASEMENT(S) FOR PUBLIC ROAD AND RIGHTS INCIDENTAL THERETO, AS GRANTED IN A DOCUMENT,
RECORDED OCTOBER 20, 1969, INSTRUMENT NO. 2442 IN BOOK D4530 PAGE 609, OF OFFICIAL RECORDS.
(THIS ITEM IS PLOTTED HEREON AND DOES AFFECT THE SUBJECT PROPERTY.)
- THE LAND DESCRIBED HEREIN IS INCLUDED WITHIN A PROJECT AREA OF THE REDEVELOPMENT AGENCY
SHOWN BELOW, AND THAT PROCEEDINGS FOR THE REDEVELOPMENT OF SAID PROJECT HAVE BEEN
INSTITUTED UNDER THE REDEVELOPMENT LAW (SUCH REDEVELOPMENT TO PROCEED ONLY AFTER THE
ADOPTION OF THE REDEVELOPMENT PLAN) AS DISCLOSED BY A DOCUMENT RECORDED OCTOBER 21,
1974, INSTRUMENT NO. 3623, OF OFFICIAL RECORDS. (THIS ITEM IS BLANKET IN NATURE AND DOES
AFFECT THE SUBJECT PROPERTY.)
- THE LAND DESCRIBED HEREIN IS INCLUDED WITHIN A PROJECT AREA OF THE REDEVELOPMENT AGENCY
SHOWN BELOW, AND THAT PROCEEDINGS FOR THE REDEVELOPMENT OF SAID PROJECT HAVE BEEN
INSTITUTED UNDER THE REDEVELOPMENT LAW (SUCH REDEVELOPMENT TO PROCEED ONLY AFTER THE
ADOPTION OF THE REDEVELOPMENT PLAN) AS DISCLOSED BY A DOCUMENT RECORDED APRIL 15, 1977,
INSTRUMENT NO. 77-387245, OF OFFICIAL RECORDS. (THIS ITEM IS BLANKET IN NATURE AND DOES
AFFECT THE SUBJECT PROPERTY.)

BASIS OF BEARINGS:

THE BEARING NORTH 87°45'04" EAST BEING THE CENTERLINE OF
MISSION STREET AS SHOWN ON TRACT NO. 63234, FILED IN BOOK
1362, PAGES 80 AND 81 OF MAPS IN THE CITY OF SOUTH
PASADENA, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA WAS
USED AS THE BASIS OF BEARINGS FOR THIS SURVEY.

SURVEYOR'S NOTES:

THERE WERE NO MONUMENTS FOUND OR SET AT THE PROPERTY
LINE CORNERS UNLESS OTHERWISE NOTED.

THE INFORMATION COURSES AND DISTANCES SHOWN ON
THIS SURVEY PRINT ARE TRUE AND CORRECT AND ACCURATELY
REPRESENT THE BOUNDARIES AND AREA OF THE PREMISES.

THERE IS NO VISIBLE EVIDENCE OF CEMETERIES ON SUBJECT
PROPERTY.

ALL MEASURED AND RECORD DIMENSIONS ARE THE SAME
UNLESS NOTED OTHERWISE.

AT THE TIME OF SURVEY NO EVIDENCE OF RECENT EARTH MOVING
WORK, BUILDING CONSTRUCTION OR ADDITIONS WERE OBSERVED.

NO RECENT CHANGES IN STREET RIGHTS-OF-WAY WERE OBSERVED
AT THE TIME OF SURVEY.

NO VISIBLE EVIDENCE WAS OBSERVED THAT THE SITE IS BEING
USED AS A SOLID WASTE DUMP, SUMP OR SANITARY LANDFILL AT
THE TIME OF SURVEY.

THIS SURVEY HAS BEEN PREPARED FOR TITLE INSURANCE PURPOSES
ONLY. THIS SURVEY MAY NOT CONTAIN SUFFICIENT DETAIL FOR DESIGN
PURPOSES. THE BOUNDARY DATA AND TITLE MATTERS AS SHOWN
HEREON HAVE BEEN DEVELOPED FROM THE REFERENCED TITLE REPORT.

UNLESS THIS PLAN HAS THE SEAL AND SIGNATURE OF THE SURVEYOR
AND/OR ENGINEER RESPONSIBLE FOR ITS PREPARATION, THIS IS NOT AN
AUTHENTIC COPY OF THE ORIGINAL SURVEY AND SHALL NOT BE
DEEMED RELIABLE.

TEMPORARY BENCH MARK:

THE FINISHED FLOOR OF THE BUILDING WAS ASSUMED TO HAVE AN
ELEVATION OF 100.00

STATEMENT OF ENCROACHMENTS:

* THIS IS A LISTING OF OBSERVED IMPROVEMENTS THAT CROSS PROPERTY LINES.
STATEMENT OF OWNERSHIP OR POSSESSION IS NOT THE INTENT OF THIS LISTING.

SEE SHEET 2 OF 2 FOR STATEMENT OF ENCROACHMENTS.

SURVEYOR'S CERTIFICATION:

TO: THRIFTY OIL CO., A CALIFORNIA CORPORATION AND CHICAGO TITLE COMPANY.

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE
MADE IN ACCORDANCE WITH THE 2011 MINIMUM STANDARD DETAIL REQUIREMENTS FOR
ALTA/ACSM LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS,
AND INCLUDES ITEMS 2-5, 6(b), 7(a)(i)(c), 8, 9, 11(c), 13, 14, 16, 18 & 21 OF TABLE A
THEREOF. THE FIELD WORK WAS COMPLETED ON 6-4-14.

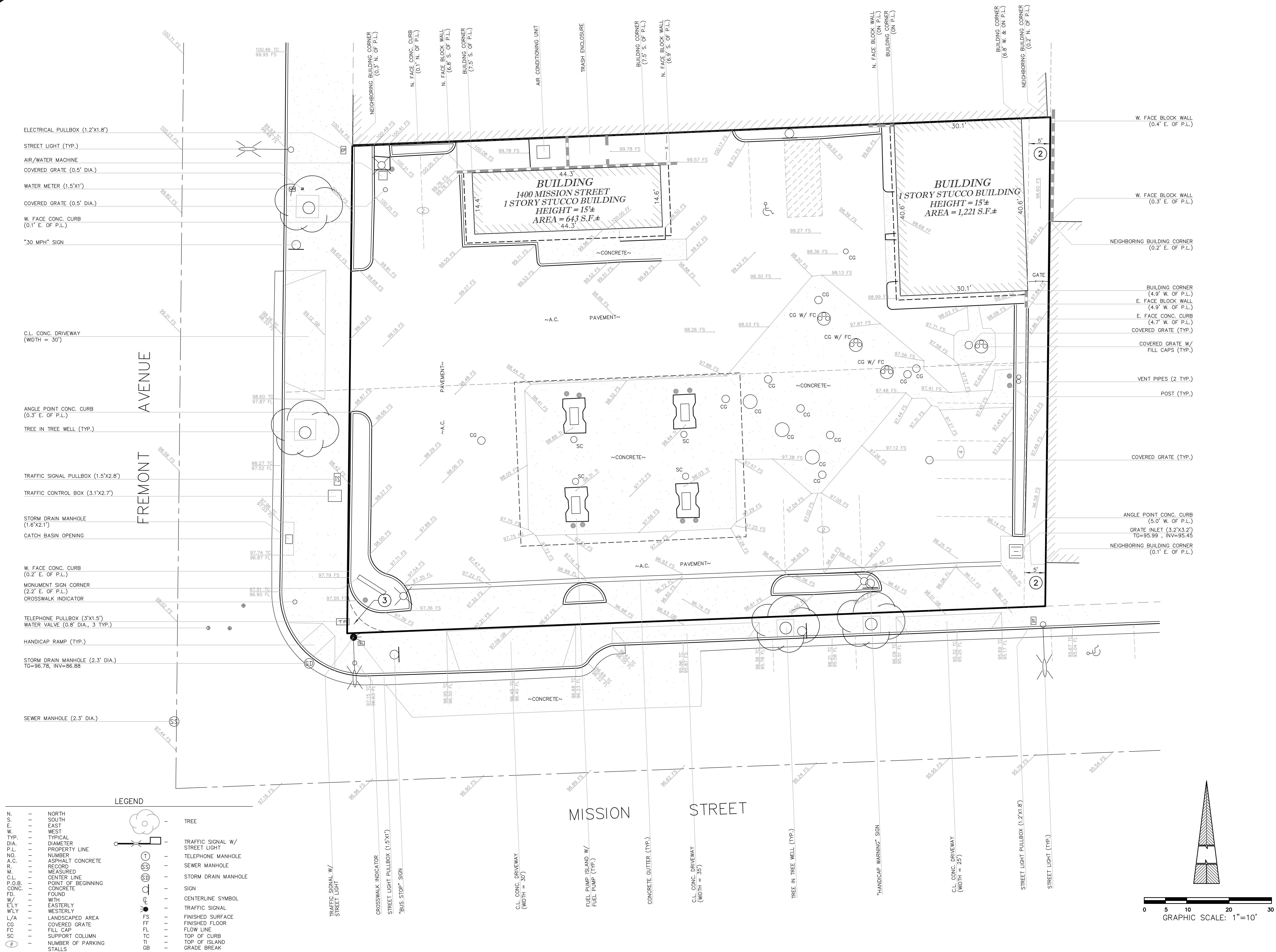
MICHAEL FURLONG, PLS 8899
LICENSE EXPIRES: 12-31-15



DATE OF LAST REVISION:

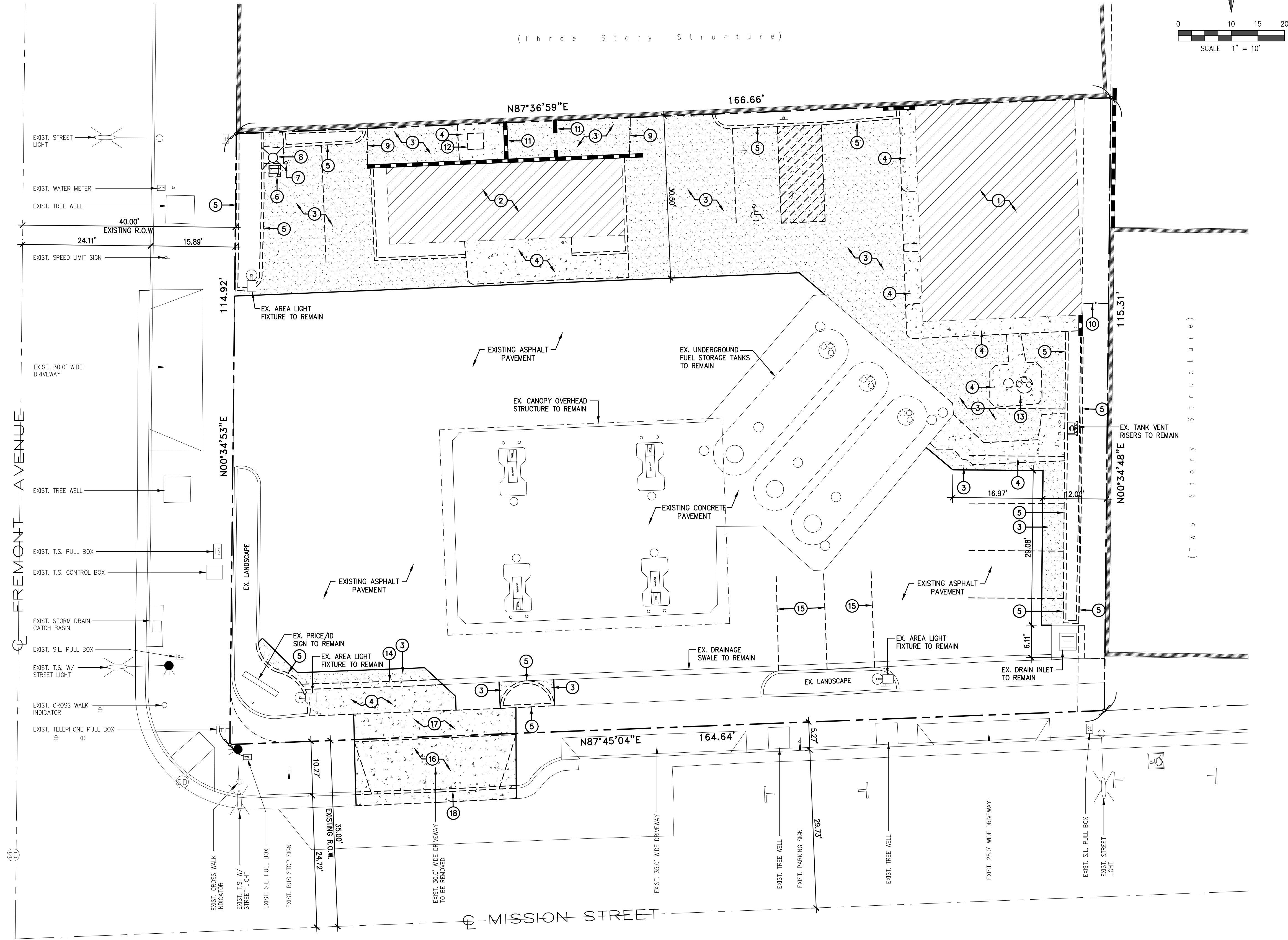
8-14-14
DATE



SHEET TITLE		ALTA/ACSM LAND TITLE SURVEY		SHEET NO.	
DATE		6/4/14		1	
SCALE		1"=30'		2	
DRAWN		C.A.		or	
CHECKED		M.F.			
SHEET NO.		1		2	
SITE:		1400 MISSION STREET SOUTH PASADENA, CALIFORNIA			
PROJECT ENGINEER:		O.K.O. ENGINEERING INC. CIVIL ENGINEERS/SURVEYORS/STRUCTURAL/ & CAD SPECIALISTS 23571 BIRCHER DRIVE LAKE FOREST, CALIFORNIA 92630 949/597-3577 FAX 949/597-3579			
NO.		NO.			
REVISIONS		DESCRIPTION			
ACCEPTED AND APPROVED FOR CONSTRUCTION		OWNER			
BY		DATE			
TENANT		BY			
CONTRACTOR		DATE			
THIS DRAWING MAY NOT BE USED FOR CONSTRUCTION WITHOUT THE ABOVE APPROVALS NOR WITHOUT THE REQUIRED PERMITS BEING OBTAINED.					



SHEET NO.	SHEET TITLE	DATE				PROJECT ENGINEER: O.K.O. ENGINEERING INC. CIVIL ENGINEERS/SURVEYORS/STRUCTURAL/ & CAD SPECIALISTS 23671 BIRCHER DRIVE LAKE FOREST, CALIFORNIA 92630 949/597-3577 FAX 949/597-3579	REVISIONS				ACCEPTED AND APPROVED FOR CONSTRUCTION			
		DATE	SCALE				DESCRIPTION	DATE	APP'D	OWNER				BY
2	SITE: 1400 MISSION STREET SOUTH PASADENA, CALIFORNIA	1" = 10'		DRAWN	C.A.	CHECKED	M.F.					TENANT	BY	DATE
												CONTRACTOR	BY	DATE
2														



DEMOLITION NOTES:

ITEM NO:	QTY:	UNITS:	DESCRIPTION:
1	1,221	S.F.	REMOVE AND DISPOSE OF EXISTING 2 BAY BUILDING STRUCTURE. DISCONNECT ANY AND ALL NECESSARY ELECTRICAL AND PLUMBING.
2	643	S.F.	REMOVE AND DISPOSE OF EXISTING FOOD MART BUILDING STRUCTURE. DISCONNECT ANY AND ALL NECESSARY ELECTRICAL AND PLUMBING.
3	3,238	S.F.	REMOVE AND DISPOSE OF EXISTING ASPHALT PAVING.
4	828	S.F.	REMOVE AND DISPOSE OF EXISTING CONCRETE PAVING.
5	1	L.F.	REMOVE AND DISPOSE OF EXISTING CONCRETE CURB.
6	1	EA.	REMOVE AND SALVAGE EXISTING AIR/WATER UNIT. DISCONNECT ANY AND ALL NECESSARY ELECTRICAL AND PLUMBING.
7	1	EA.	REMOVE AND DISPOSE OF EXISTING PROTECTIVE BARRIER POST AND CONCRETE FOOTING.
8	1	EA.	REMOVE AND DISPOSE OF EXISTING AREA LIGHT FIXTURE, POLE AND FOOTING. DISCONNECT ANY AND ALL NECESSARY ELECTRICAL.
9	14	L.F.	REMOVE AND DISPOSE OF EXISTING CHAINLINK FENCE.
10	5	L.F.	REMOVE AND DISPOSE OF EXISTING WOOD GATE.
11	11	L.F.	REMOVE AND DISPOSE OF EXISTING BLOCK WALL AND FOOTING.
12	1	EA.	REMOVE AND DISPOSE OF EXISTING MECHANICAL EQUIPMENT. DISCONNECT ANY AND ALL NECESSARY ELECTRICAL BACK TO SOURCE.
13	1	EA.	REMOVE AND DISPOSE OF EXISTING UNDERGROUND WASTE OIL TANK AND ANY ASSOCIATED PIPING.
14	25	L.F.	SAWCUT, REMOVE AND DISPOSE OF PORTION OF EXISTING CONCRETE RIBBON GUTTER.
15	3	EA.	REMOVE EXISTING PARKING STALL STRIPING.
16	303	S.F.	SAWCUT, REMOVE AND DISPOSE OF EXISTING CONCRETE DRIVEWAY APPROACH.
17	157	S.F.	SAWCUT, REMOVE AND DISPOSE OF EXISTING CONCRETE SIDEWALK PAVING.
18	30	L.F.	SAWCUT, REMOVE AND DISPOSE OF EXISTING CONCRETE CURB AND GUTTER.

DRAWN BY: A.J.
DATE: 8/14/24
SCALE: 1" = 10'
PLOT: 1:1
REF: GMS1-STL.0
FILE: 0115-5089

NOTICE
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PREPARED FOR:
G&M Oil Company, Inc.
16888 A Lane
Huntington Beach
California, 92647-4831
(714) 375-4700

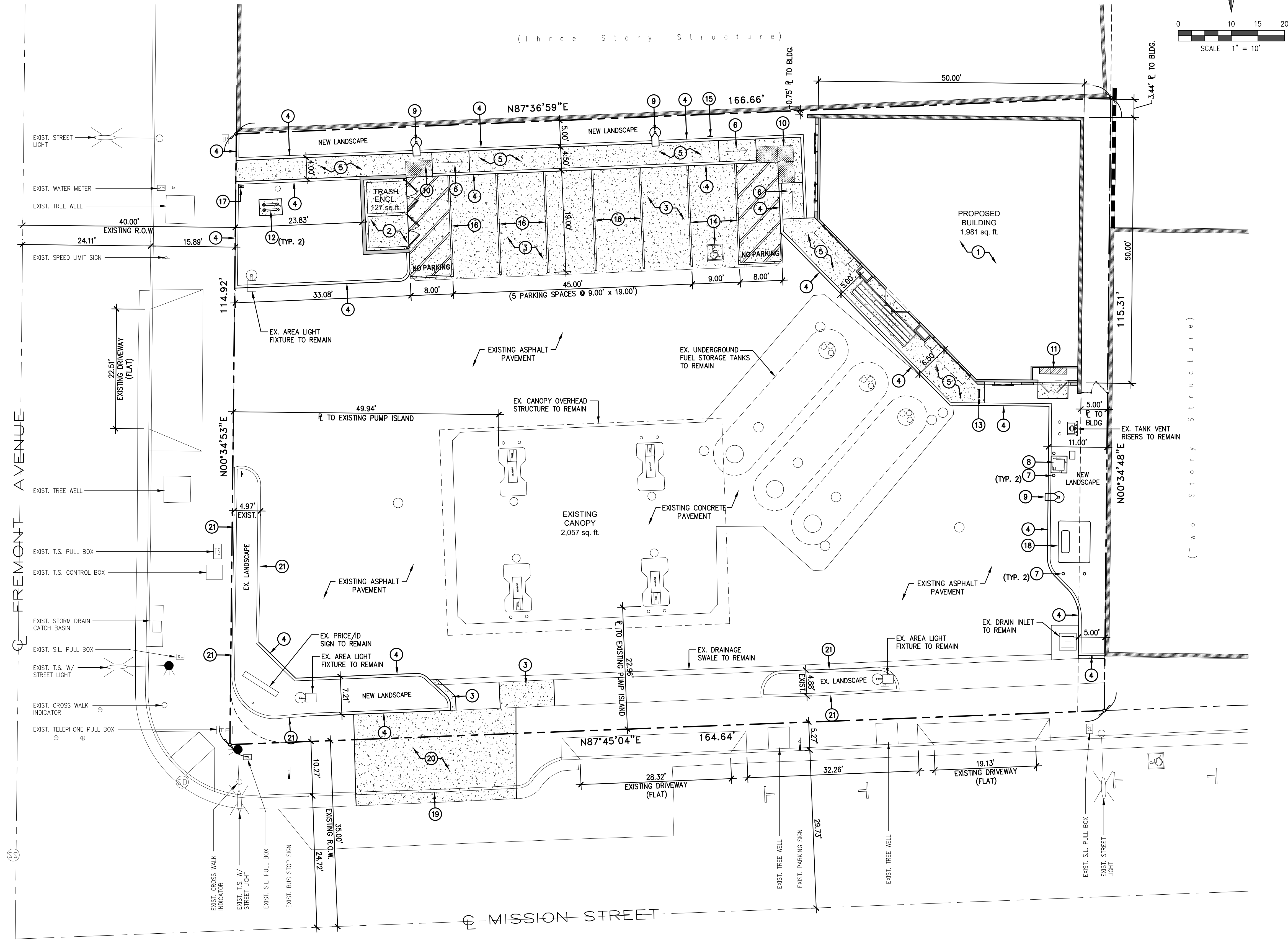
PREPARED BY:

Travis Companies, Inc.
4430 E. Miramonte Ave., Suite F, Anaheim, CA 92807
Tel: (714) 693-9388 Fax: (714) 693-9333
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NO.	REVISION	DATE
1		
2		
3		
4		

DEMOLITION SITE PLAN
G&M OIL COMPANY FACILITY No.: 151
1400 MISSION STREET
SOUTH PASADENA, CA 91030

DRAWING NUMBER
ST1.0



IMPROVEMENT NOTES:

ITEM NO:	QTY. (Est):	UNITS:	DESCRIPTION:
1	1,981	S.F.	NEW CONVENIENCE STORE STRUCTURE.
2	127	S.F.	NEW TRASH ENCLOSURE WITH ROOF STRUCTURE.
3	1,367	S.F.	NEW 6" THICK CONCRETE DRIVE SLAB.
4	472	L.F.	NEW 6" HIGH CONCRETE CURB.
5	753	S.F.	NEW 4" THICK CONCRETE SIDEWALK.
6	3	EA.	NEW PARALLEL CURB RAMP.
7	4	EA.	NEW 6" DIA. PROTECTIVE BARRIER POST.
8	1	EA.	NEW AIR AND WATER UNIT.
9	3	EA.	NEW AREA LIGHT FIXTURE AND POLE.
10	24	S.F.	NEW TRUNCATED DOMES AS SHOWN.
11	1	EA.	NEW MAIN SERVICE SWITCHBOARD "MSB".
12	2	EA.	NEW BACKFLOW PREVENTER DEVICE WITH ENCLOSURE FOR DOMESTIC AND LANDSCAPE IRRIGATION
13	1	EA.	NEW TWO BIKE LOOP STYLE RACK.
14	1	EA.	NEW ACCESSIBLE PARKING STALL STRIPING, ADJACENT AISLE STRIPING AND ACCESSIBLE PARKING STALL SYMBOL.
15	1	EA.	NEW ACCESSIBLE PARKING SIGN.
16	LOT	EA.	NEW 4" WIDE PARKING STALL STRIPING, PAINTED WHITE PER CITY STANDARDS.
17	1	EA.	NEW ACCESSIBLE ROUTE SIGNAGE.
18	1	EA.	NEW S.C.E. ELECTRICAL TRANSFORMER.
19	30	L.F.	NEW CONCRETE CURB AND GUTTER IN PUBLIC RIGHT-OF-WAY PER CITY OF SOUTH PASADENA STANDARDS.
20	446	S.F.	NEW CONCRETE SIDEWALK IN PUBLIC RIGHT-OF-WAY PER CITY OF SOUTH PASADENA STANDARDS.
21	--	--	EXISTING 6" HIGH CONCRETE CURB TO BE PROTECTED IN PLACE.

DRAWN BY: A.J.

DATE: 8/14/24

SCALE: 1" = 10'±

PLOT: 1:1

REF: GMS-STL1

FILE: 0115-0089

NOTICE

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PREPARED FOR:

G&M Oil Company, Inc.
16888 A Lane
Huntington Beach
California 92647-4831
(714) 375-4700

PREPARED BY:

Travis Companies, Inc.

4430 E. Miramonte Ave., Suite F, Anaheim, CA 92807
Tel: (714) 693-9388 Fax: (714) 693-9393
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NO.

DATE

REVISION

IMPROVEMENT SITE PLAN

G&M OIL COMPANY FACILITY No.: 151

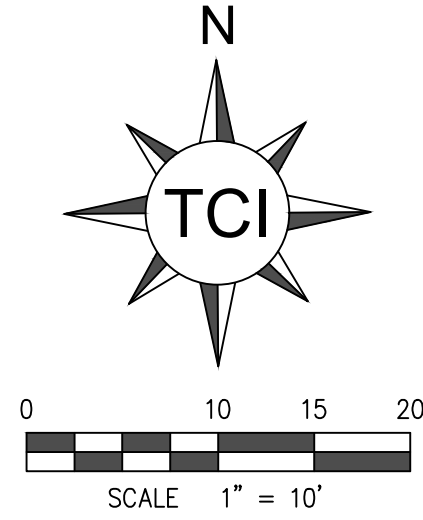
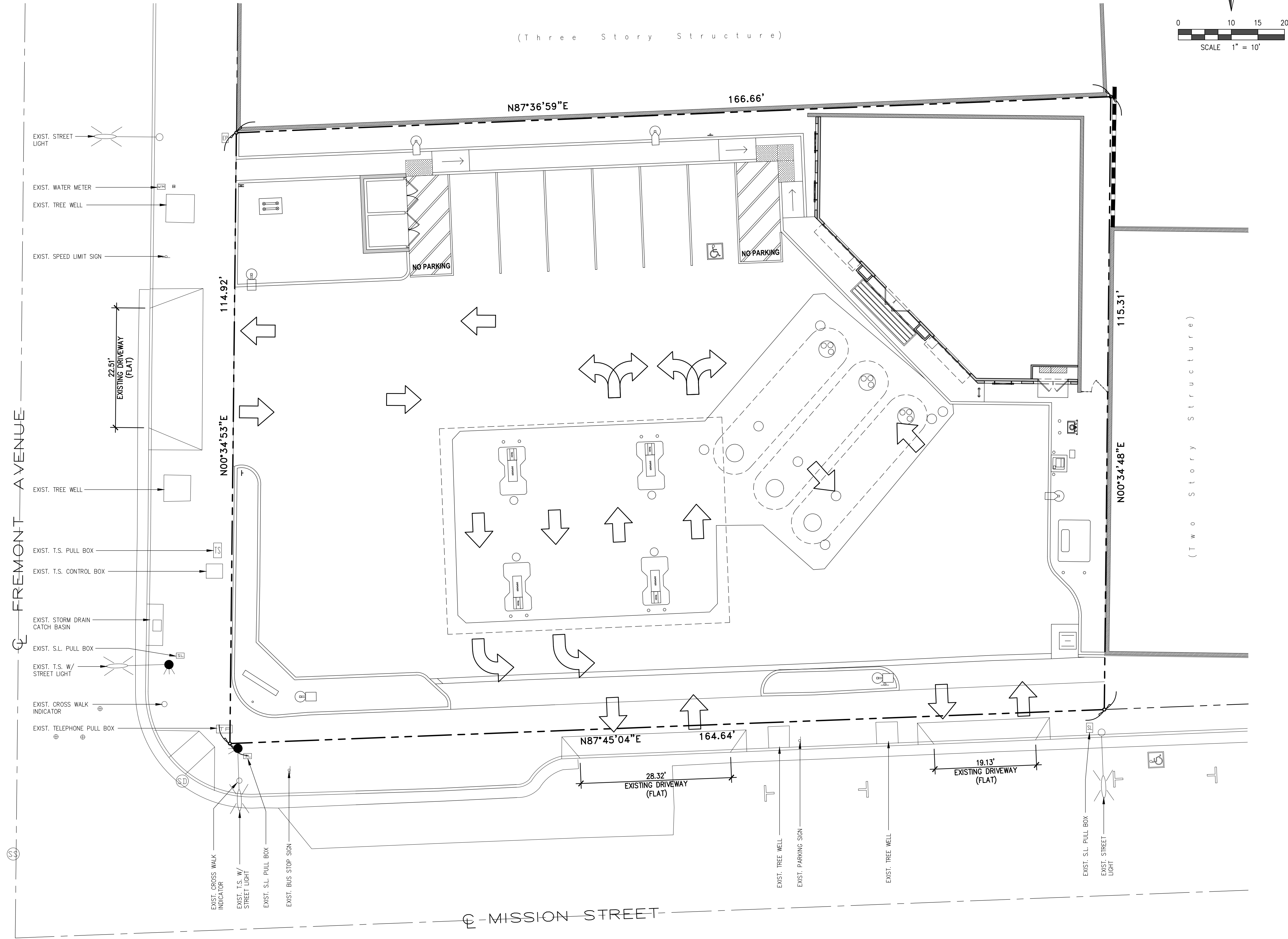
1400 MISSION STREET

SOUTH PASADENA, CA 91030

DRAWING NUMBER

ST1.1

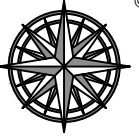
8/21/2023

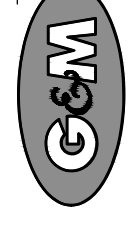


SITE CIRCULATION PLAN
G&M OIL COMPANY FACILITY No.: 151
1400 MISSION STREET
SOUTH PASADENA, CA 91030

DRAWING NUMBER
ST1.2

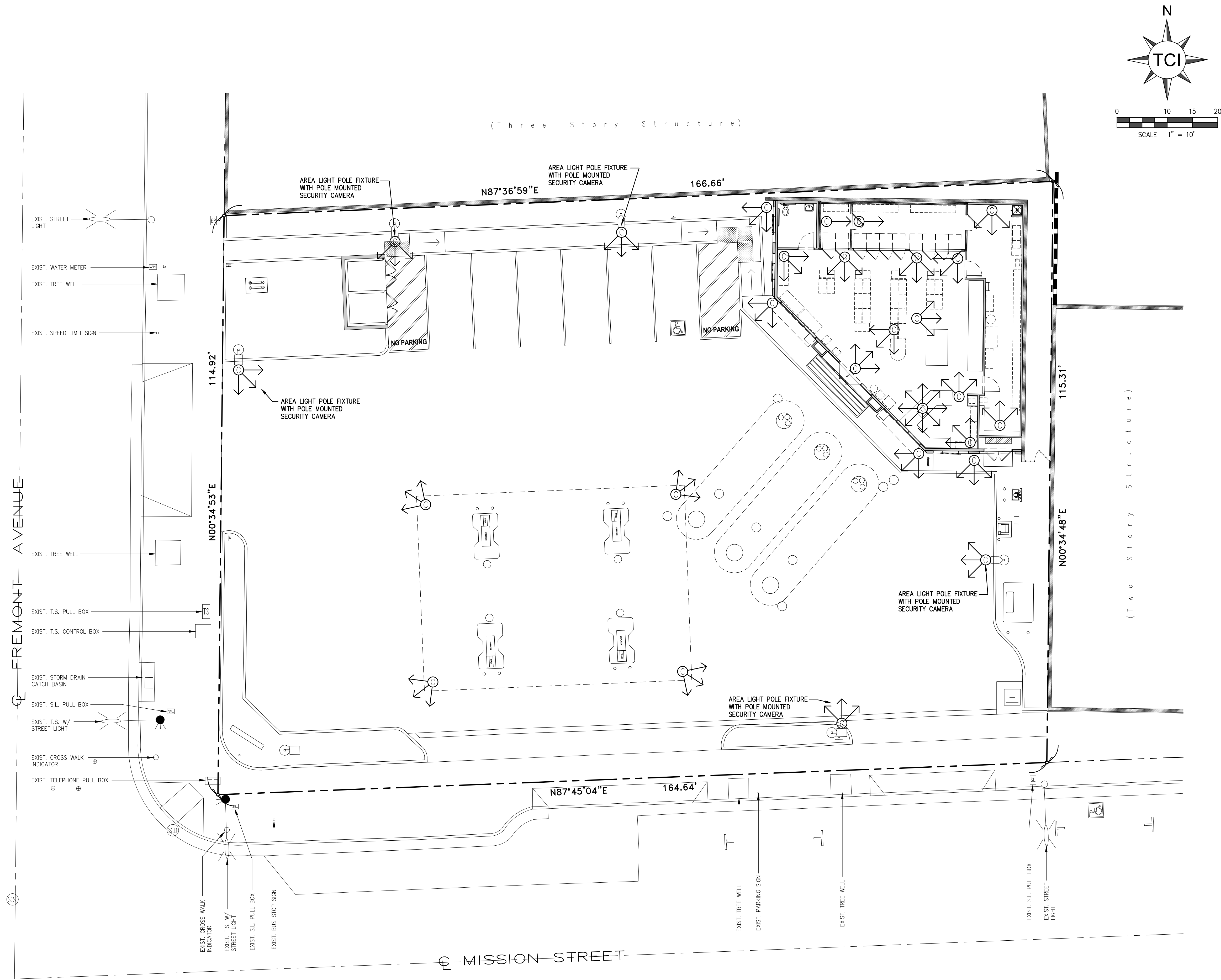
NO.	REVISION	DATE
1		
2		
3		
4		
5		

PREPARED BY:

Travis Companies, Inc.
4430 E. Miramonte Ave., Suite F, Anaheim, CA 92807
Tel: (714) 693-9388 Fax: (714) 693-9393
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PREPARED FOR:

G&M Oil Company, Inc.
16888 A Lane
Huntington Beach
California, 92647-4831
(714) 375-4700

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DRAWN BY: A.J.
DATE: 8/14/14
SCALE: 1" = 10'
PLOT: 1x1
REF: GMS1-ST1.2
FILE: 0115-0089



SECURITY PLAN

G&M OIL COMPANY FACILITY No.: 151

1400 MISSION STREET

SOUTH PASADENA, CA 91030

DRAWING NUMBER

ST1.3

PREPARED FOR:

Travis Companies, Inc.

4430 E. Miramonte Ave., Suite F, Anaheim, Ca 92807

Tel: (714) 693-9388 Fax: (714) 693-9393

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PREPARED BY:

G&M

G&M Oil Company, Inc.

16888 A Lane

Huntington Beach

California 92647-4831

(714) 375-4700

NO.

DATE

REVISION

DATE

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DATE:

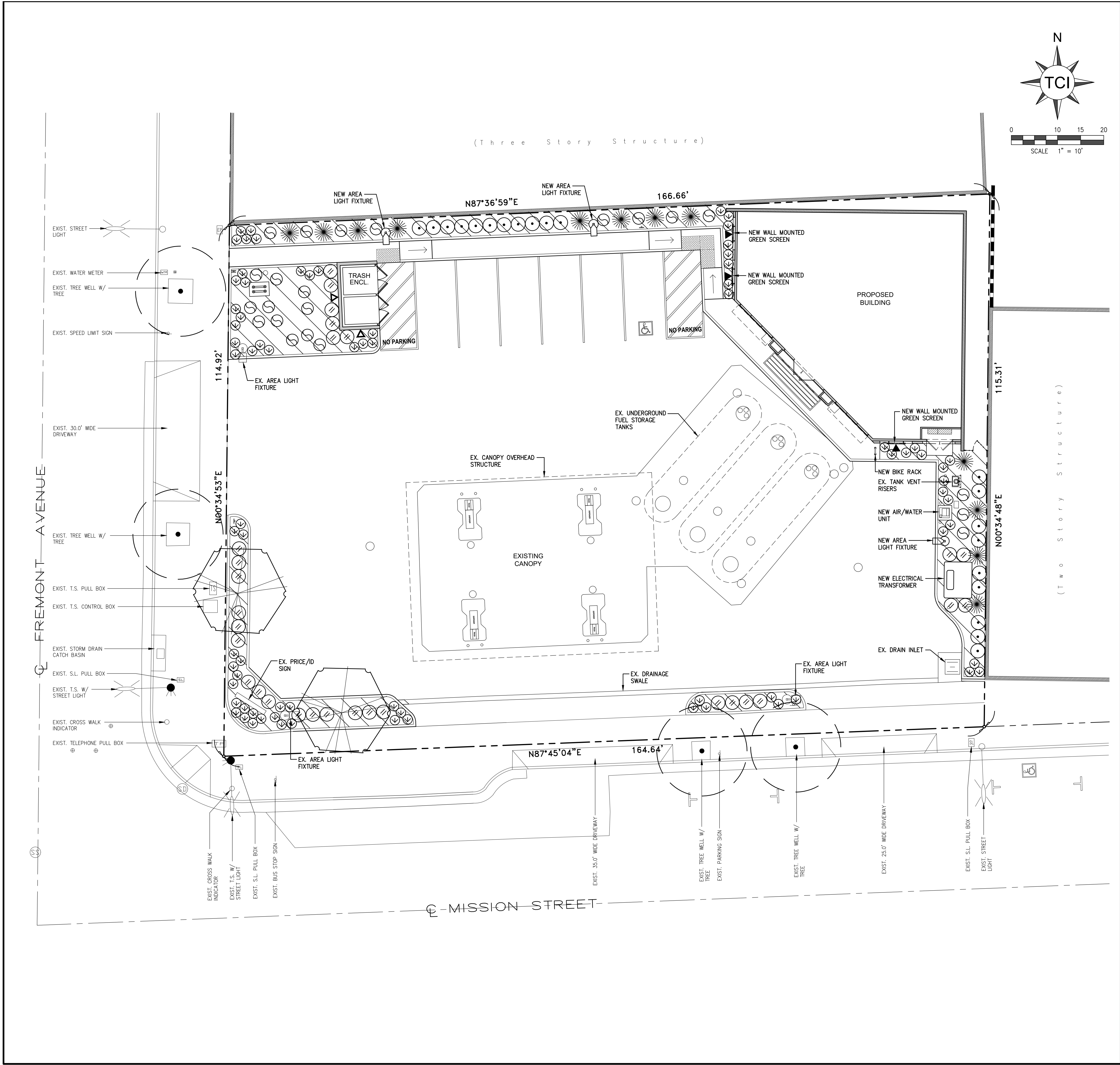
SCALE:

PLOT:

REF:

FILE:

8/21/2023



PROPOSED PLANT LEGEND				
SYMBOL	BOTANICAL NAME COMMON NAME	QTY.	CONTAINER SIZE MATURE H X W	WATER USE COMMENTS
	TREES:			
	LAGERSTROEMIA L. 'WATERMELON RED'	2	24" BOX	MODERATE
	GRAPE MYRTLE		25' x 25'	
	CUPRESSUS SEMPERVIRENS 'STRICTA'	12	15 GALLON	LOW
	ITALIAN CYPRESS		40' x 4'	
	ANIGOZANTHOS 'BUSH DEVIL'	77	1 GALLON	LOW
	RED KANGAROO PAW		2' x 2'	
	ELAEOAGNUS P. 'FRUTLANDII'	20	5 GALLON	LOW
	SILVERBERRY		4' x 3'	
	ILEX VOMITORIA 'STOKES'	29	5 GALLON	LOW
	DWARF YAUPON		3' x 3'	
	SALVIA GREGGII	22	5 GALLON	LOW
	AUTUMN SAGE		3' x 4'	
	BOUGAINVILLEA 'LA JOLLA'	3	5 GALLON	LOW
	BOUGAINVILLEA		5 GALLON	
	MACFADYENA UNGUIS-CATI	2	5 GALLON	LOW
	CAT'S CLAW VINE			
	DYMONDIA		FLATS	LOW
	GROUND COVERS:			
	DYMONDIA MARGARETAE		12" O.C.	
	DYMONDIA			
	NOTES:			
	PLANTING AREAS SHALL BE MULCHED WITH A THREE INCH (3") MINIMUM LAYER OF ORGANIC WOOD MULCH.			
	ROOT BARRIERS ARE REQUIRED WHEN TREE IS WITHIN 5' OF PAVING/CURB.			
	IRRIGATION WILL BE BY DRIPLINE WITH A WEATHER BASED AUTOMATIC CONTROLLER.			
	MAXIMUM APPLIED WATER ALLOWANCE			
	(48.0)(0.62)(0.45 x 1,919) = 21,762.0 GPY			
	TOTAL LANDSCAPE AREA 1,919 SQ. FT.			
	CORNER LANDSCAPE AREA 405 SQ. FT.			
	ESTIMATED TOTAL WATER USE			
	HZ 1 LOW (48.0)(0.62)(.2/.81) x 1,919) = 14,277.36 GPY			

DRAWN BY: A.J.
DATE: 8/14/23
SCALE: 1" = 10'-0"
PLOT: 1x1
REF: G&M151.0
FILE: 0115-0089

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PREPARED FOR:
G&M Oil Company, Inc.
16888 A Lane
Huntington Beach
California 92647-4831
(714) 375-4700

PREPARED BY:
THOMAS H. KOCH
LANDSCAPE ARCHITECT
24482 Emeryway Way
Pasadena, CA 91106
CA License 3602
AZ Registration 33915
thk@tkoarch.com

DATE: _____
REVISION: _____
NO. 1 2 3 4 5

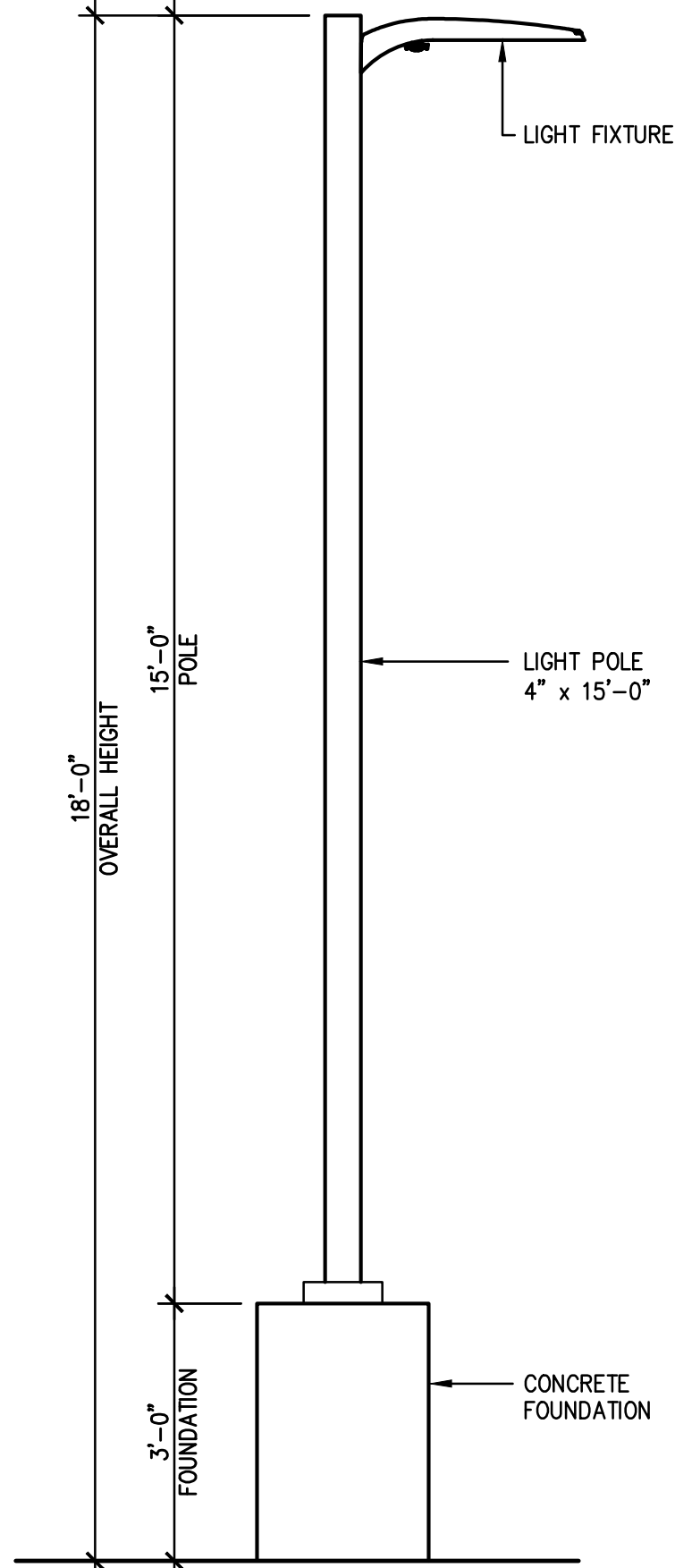
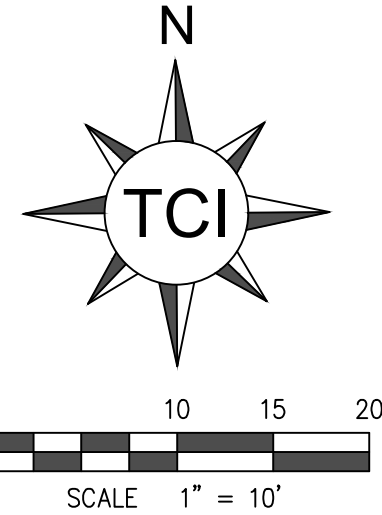
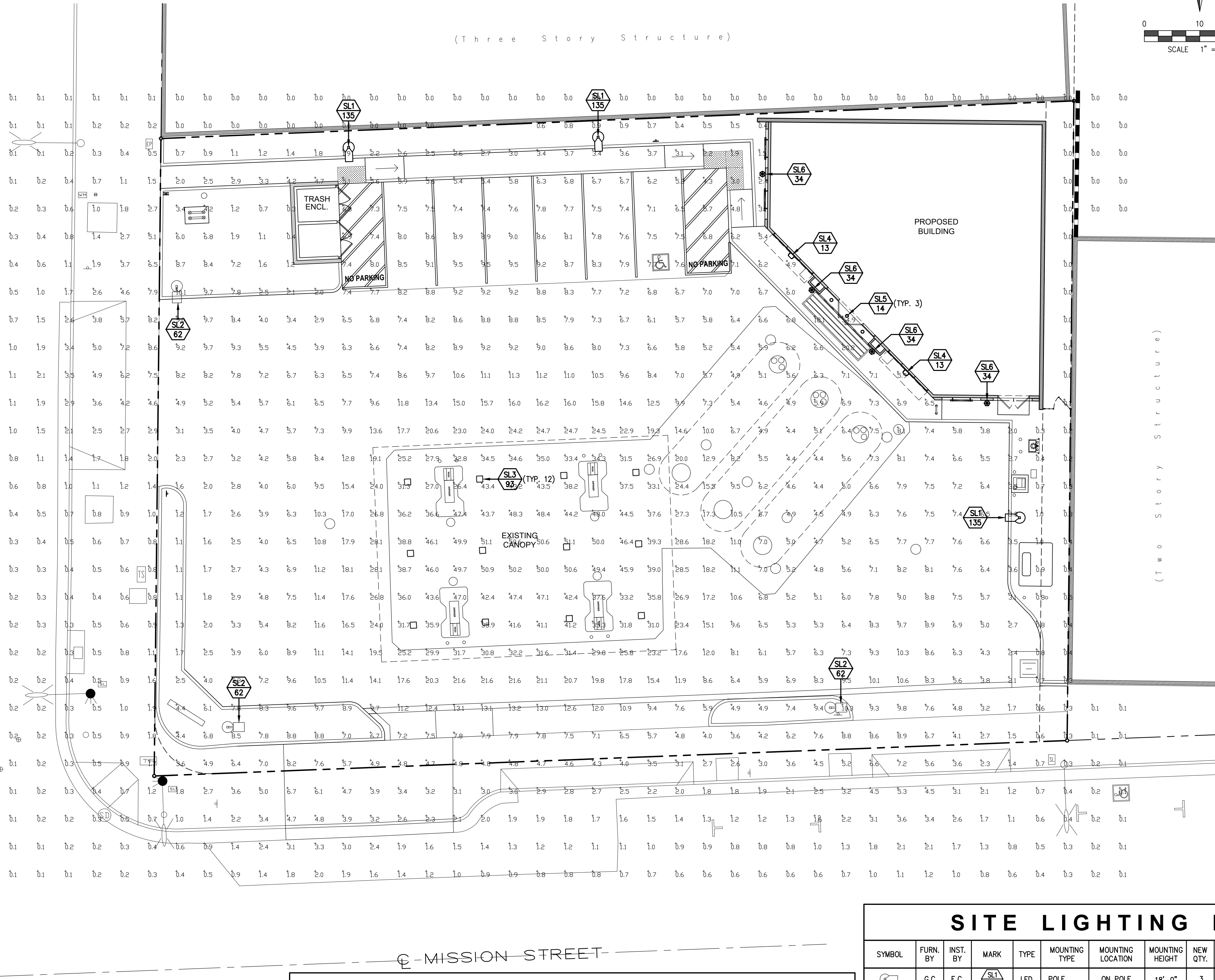
LICENSED LANDSCAPE ARCHITECT
THOMAS H. KOCH NO. 3602
Signature: 5-31-25
Renewal Date: 8-21-23
Date: _____
STATE OF CALIFORNIA

CONCEPTUAL LANDSCAPE PLAN
G&M OIL COMPANY FACILITY No.: 151
1400 MISSION STREET
SOUTH PASADENA, CA 91030

DRAWING NUMBER
L1.0

Q - FREMONT AVENUE

Q - MISSION STREET



E-DETL-30_150DW024

1 TYPICAL AREA LIGHT POLE & FIXTURE

1/2" = 1'-0"

CALCULATION SUMMARY

LABEL	CALC. TYPE	UNITS	AVG.	MAX.	MIN.	AVG/MIN	MAX/MIN	
ALL CALC POINTS @ GRADE	ILLUMINANCE	FC	4.78	54.9	0.0	N.A.	N.A.	
PROPERTY LINE	ILLUMINANCE	FC	4.03	9.40	0.4	10.08	23.50	
CANOPY	ILLUMINANCE	FC	38.81	51.1	17.6	2.21	2.90	
INSIDE CURB	ILLUMINANCE	FC	8.90	28.6	0.6	14.83	47.67	

SITE LIGHTING FIXTURE SCHEDULE

SYMBOL	FURN. BY	INST. BY	MARK	TYPE	MOUNTING TYPE	MOUNTING LOCATION	MOUNTING HEIGHT	NEW QTY.	MFR.	CATALOG NO.:	LAMPING					
											NO.:	VOLTS	WATTS	TYPE	COLOR TEMP.	LIGHT OUTPUT (LUMENS)
	G.C.	E.C.	SL1 135	LED	POLE	ON POLE	18'-0"	3	LSI	MRM LED 18L SIL FT UNV DIM 50 70CRI BRZ	1	120	135	LED	5000K	19,324
	EXIST.	EXIST.	SL2 62	LED	POLE	ON POLE	12'-0"	3	LSI	SLM LED 9L SIL FT UNV 50 70CRI BRZ	1	120	62	LED	5000K	9,856
	EXIST.	EXIST.	SL3 83	LED	RECESSED	UNDERSIDE OF CANOPY	16'-0"	12	LSI	CRUS SC LED SS 40 UE WHT	1	120	93	LED	4000K	13,449
	E.C.	E.C.	SL4 13	LED	SURFACE	ON WALL	10'-6"	2	LSI	XWS LED 2L SIL 3 UNV 40 70CRI BRZ	1	120	13	LED	4000K	2,058
	E.C.	E.C.	SL5 14	LED	RECESSED	UNDERSIDE OF SOFFIT	9'-6"	3	LSI	LCD6 LED 14L UNV DIM1 40 NF TR6BL HAZ	1	120	14	LED	4000K	1,432
	E.C.	E.C.	SL6 34	TRT	SURFACE	ON WALL	8'-0"	4	ARTE DE MEXICO	WM168-3 32TRT 120 44	1	120	34	TRT	---	---

REMARKS:

- AREA SITE LIGHTING ON 4" SQUARE x 15'-0" HIGH POLE ON 3'-0" HIGH ABOVE GRADE FOOTING.
- FIXTURE SHALL BE LISTED FOR WET LOCATIONS.

DRAWN BY: A.J.
DATE: 8/14/14
SCALE: 1" = 10'-0"
PLOT: 1:1
REF: GM15LE5.0
FILE: 0115-0089

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PREPARED BY:

DATE

REVISION

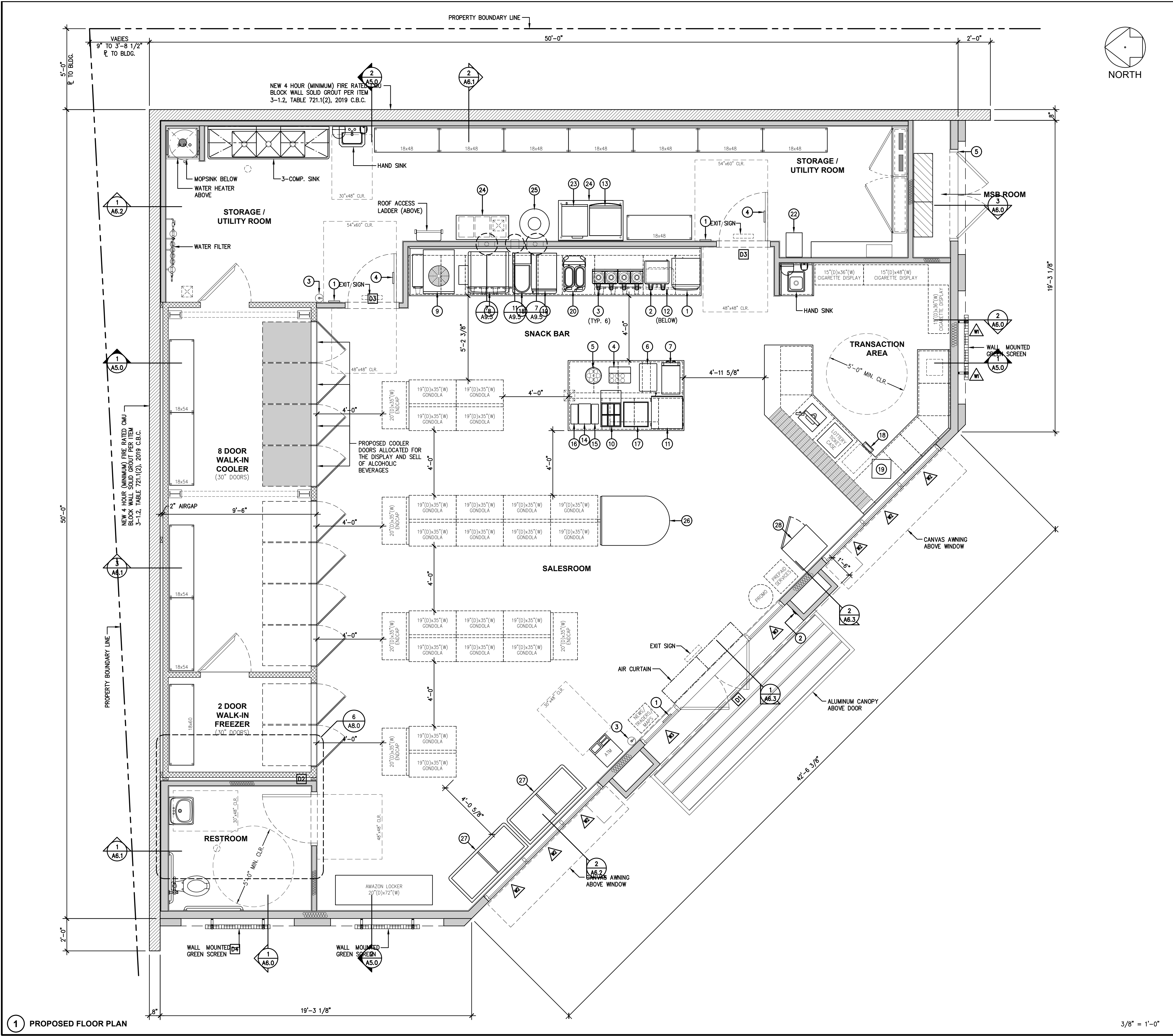
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PHOTOMETRIC SITE PLAN
G&M OIL COMPANY FACILITY No.: 151
1400 MISSION STREET
SOUTH PASADENA, CA 91030

DRAWING NUMBER

ES1.0

8/21/2023



ITEM	EQUIPMENT DESCRIPTION:
1	CAPPUCCINO DISPENSER
2	TWIN COFFEE BREWER
3	HOT COFFEE SERVERS (6)
4	COFFEE LID ORGANIZER
5	SYRUP CAROUSEL
6	REFRIGERATED CREAMER DISPENSER
7	ICED COFFEE DISPENSER
8	16 HEAD FOUNTAIN
9	3 FLAVOR FROZEN DRINK DISPENSER
10	REFRIGERATED CONDIMENT UNIT
11	SLANTED DISPLAY WARMER
12	MICROWAVE
13	PIZZA OVEN
14	CHIP RACK
15	CHILI DISPENSER
16	CHEESE DISPENSER
17	DISPLAY WARMING CABINET
18	F'REAL BLENDER
19	F'REAL FREEZER
20	2 PRODUCT FROZEN BEVERAGE DISPENSER
21	HYDROZONE ENDCAP MERCHANDISER
22	CHEST ICE CREAM MERCHANDISER
23	CONVECTION OVEN
24	30"x48" S.S. TABLE
25	BAG-N-BOX
26	Co2 TANK
27	TIME DELAY SAFE BELOW
28	LOTTO MACHINE
29	EMPLOYEE LOCKERS (2)

NOTE:
BEER/WINE SALES AREA:
10'x3' = 30 SQ. FT.

OVERALL BUILDING AREA:
1,981 SQ. FT.

TOTAL PERCENTAGE OF FLOOR AREA DEDICATED
TO BEER/WINE SALES = 1.51%

DRAWN BY: A.J.L.
DATE: 8/14/15
SCALE: 3/8" = 1'-0"
PLOT: 1:1
REF: GMIT61A1.0
FILE: 0115-0089

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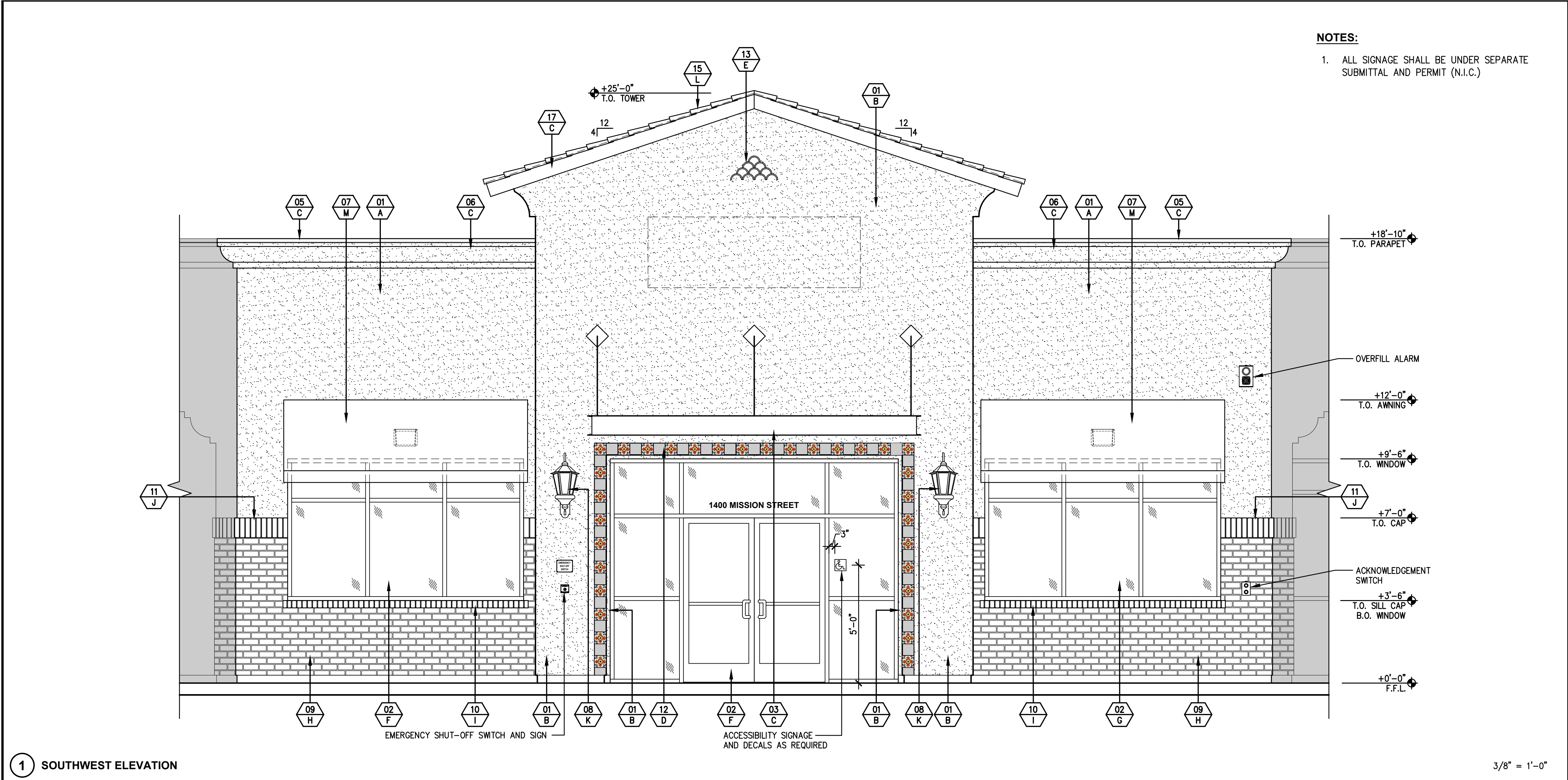
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DATE: _____
REVISION: _____
NO. 1 2 3 4 5 6 7 8 9 10 11 12 13 14 15 16 17 18 19 20 21 22 23 24 25 26 27 28 29

PROPOSED FLOOR PLAN
G&M OIL COMPANY FACILITY No.: 151
1400 MISSION STREET
SOUTH PASADENA, CA 91030

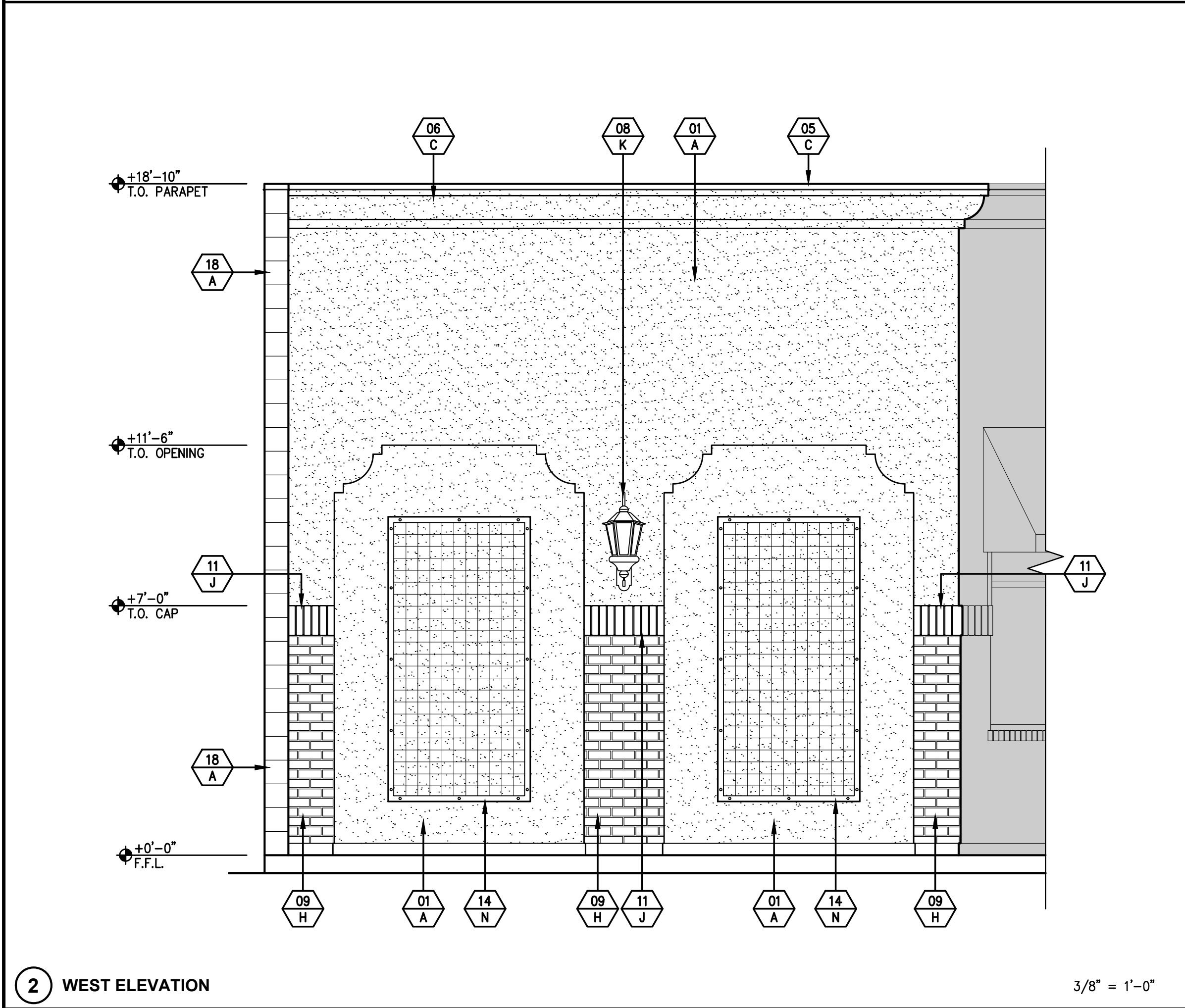
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A1.0

8/21/2023



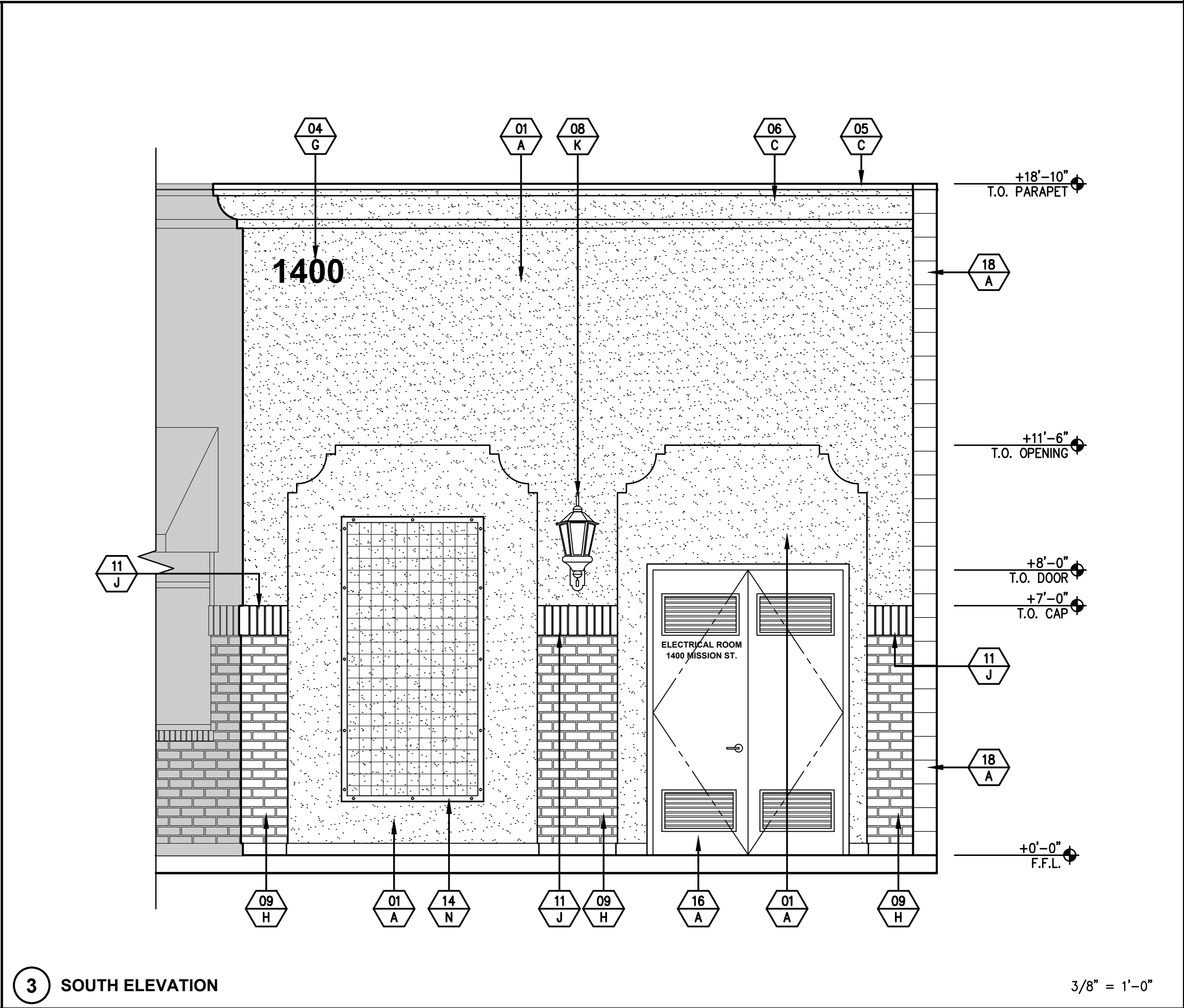
1 SOUTHWEST ELEVATION

3/8" = 1'-0"



2 WEST ELEVATION

3/8" = 1'-0"



3 SOUTH ELEVATION

3/8" = 1'-0"

EXTERIOR FINISH SCHEDULE

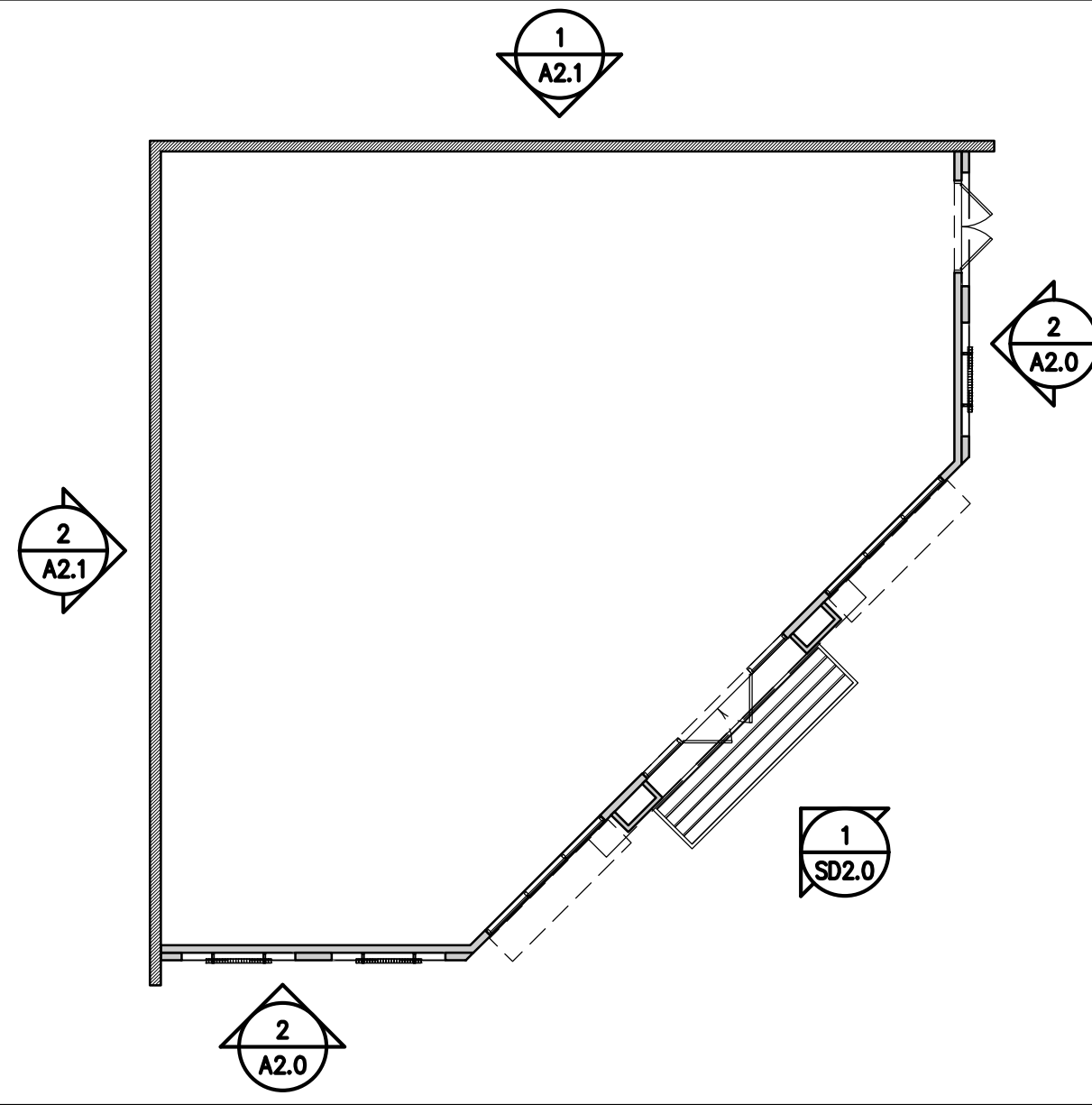
01 MATERIAL/FINISH
A COLOR

MATERIAL/FINISH:

- 7/8" EXTERIOR CEMENT PLASTER (3 COAT) OVER SELF FURRING DIAMOND MESH OVER 2 LAYERS GRADE "D" PAPER OVER SHEATHING FINISH: 20/30 FINE SAND FINISH
- ALUMINUM STOREFRONT SYSTEM WITH 1" CLEAR INSULATED GLAZING
- ALUMINUM CANOPY
- BUILDING ADDRESS NUMBERS
- METAL FLASHING
- FOAM SHAPE WITH CEMENT PLASTER FINISH
- ALUMINUM FRAMED CANVAS AWNING
- WALL MOUNTED LIGHT FIXTURE
- THIN BRICK VENEER
- BRICK SILL
- BRICK CAP
- ACCENT TILE
- FAUX GABLE VENT TUBE
- WALL MOUNTED TRELLIS
- CONCRETE ROOF TILE
- HOLLOW METAL DOOR AND FRAME
- WOOD FASCIA
- 8"x8"x16" CMU BLOCK - SMOOTH FACE

COLOR:

- A DUNN EDWARDS: #DE6128 - "SAND DUNE"
- B DUNN EDWARDS: #DE6130 - "WOODEN ACRE"
- C DUNN EDWARDS: #DEA161 - "WILD MUSTANG"
- D MANUFACTURER: TIERRA Y FUEGO - TEL: (619) 710-8885
MODEL NO.: TALAVERA
COLOR: GUADALAJARA - #10131-6
RUST - #10812-6
SIZE: 6"x6"
- E COLOR: TERRECOTTA VITRIFIED CLAY
SIZE: 6" DIA x 6" LONG
- F MANUFACTURER: ARCADIA, INC. - TEL: (323) 269-7300
MODEL NO.: AFG451
COLOR: DARK BRONZE ANODIZED FINISH
- G SIZE: 10"
FONT: HELVETICA
COLOR: BLACK - 2025
- H MANUFACTURER: CORONADO STONE - TEL: (800) 847-8663
STYLE: SPECIAL USED BRICK
COLOR: EAGLE BUFF
ICC NO.: ESR-2598
- I MANUFACTURER: CORONADO STONE - TEL: (800) 847-8663
STYLE: 2 1/4"x3 1/2" BRICK SILL
COLOR: TRIBECCA
ICC NO.: ESR-2598
- J MANUFACTURER: CORONADO STONE - TEL: (800) 847-8663
STYLE: 2 1/2"x10" BRICK CAP
COLOR: TRIBECCA
ICC NO.: ESR-2598
- K MANUFACTURER: ARTE DE MEXICO - TEL: (818) 753-4559
MODEL NO.: WM168-3
COLOR: ANTIQUE UMBER FINISH
- L MANUFACTURER: EAGLE ROOFING - TEL: (800) 300-3245
STYLE: CAPISTRANO
COLOR: #3636 - "PIEDMONT BLEND"
CRRC ID#: 0918-0066
ICC NO.: ESR-1900
- M MANUFACTURER: SUNBRELLA
COLOR: TO MATCH DUNN EDWARDS #DEA161 "WILD MUSTANG"
- N MANUFACTURER: GREEN SCREEN - TEL: (800) 450-3494
MODEL NO.: WALL MOUNTED TRELLIS PANEL
SIZE: 4'-0"(w) x 8'-0"(h) x 3"(d)
COLOR: "GREEN" - GLOSS POWDER COAT FINISH



DRAWN BY: A.A.
DATE: 8/14/14
SCALE: 3/8" = 1'-0"
PLOT: 1:1
REF: GMIT1403
FILE: 0115-0089

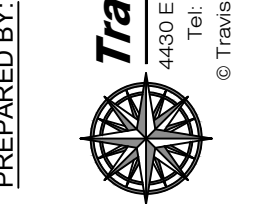
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DATE

REVISION

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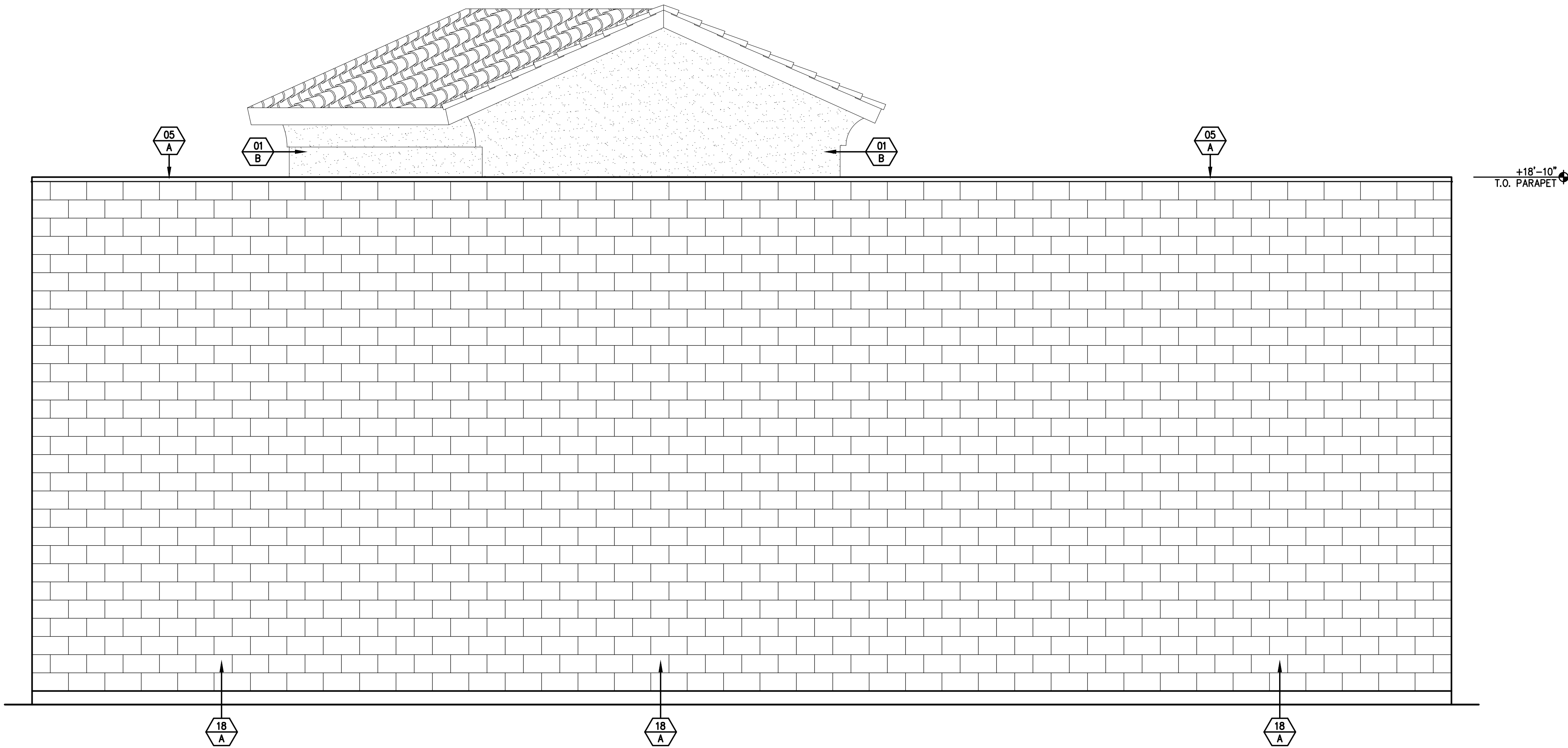
PROPOSED EXTERIOR ELEVATIONS
G&M OIL COMPANY FACILITY No.: 151
1400 MISSION STREET
SOUTH PASADENA, CA 91030

DRAWING NUMBER

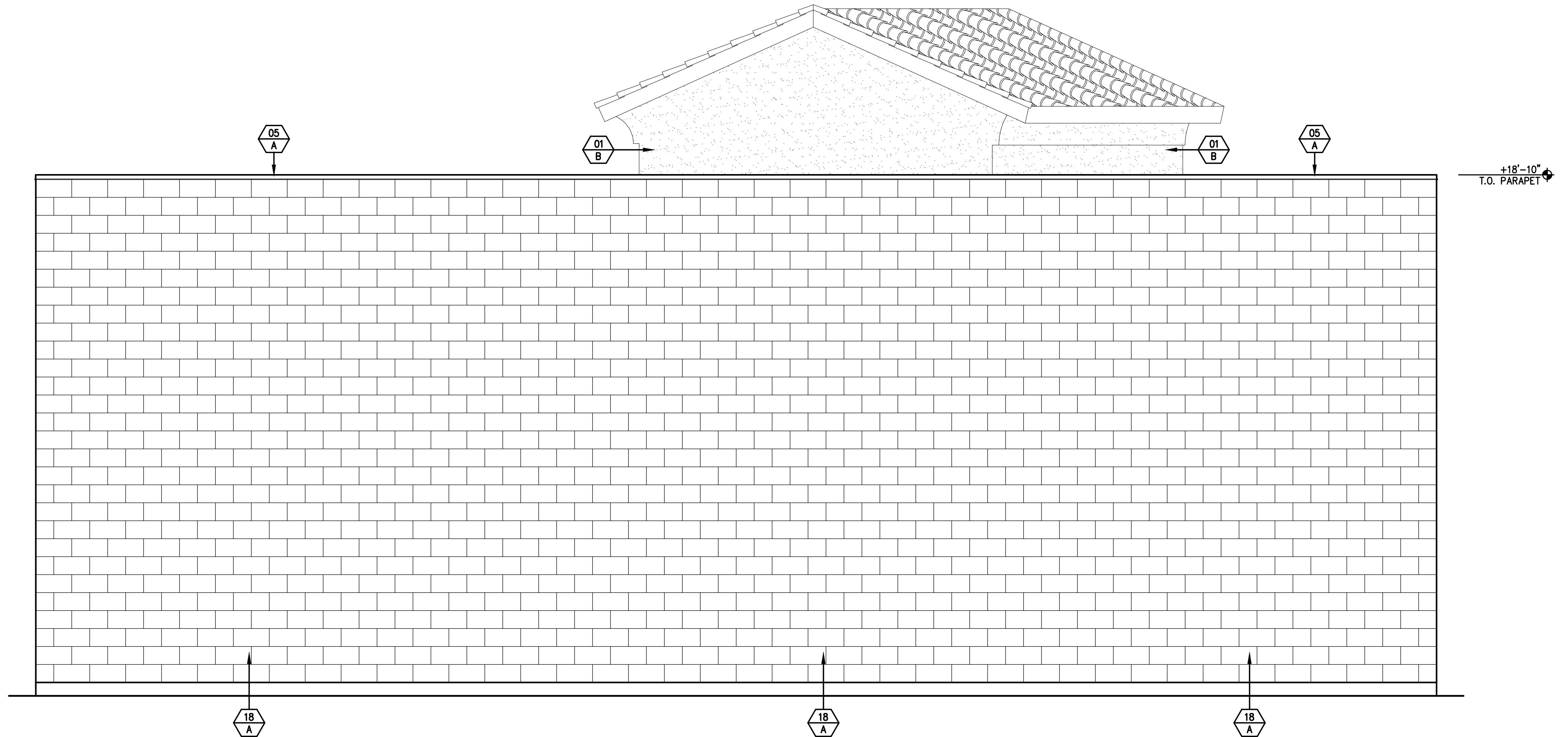
A2.0

8/21/2023

1 EAST ELEVATION



2 NORTH ELEVATION



EXTERIOR FINISH SCHEDULE

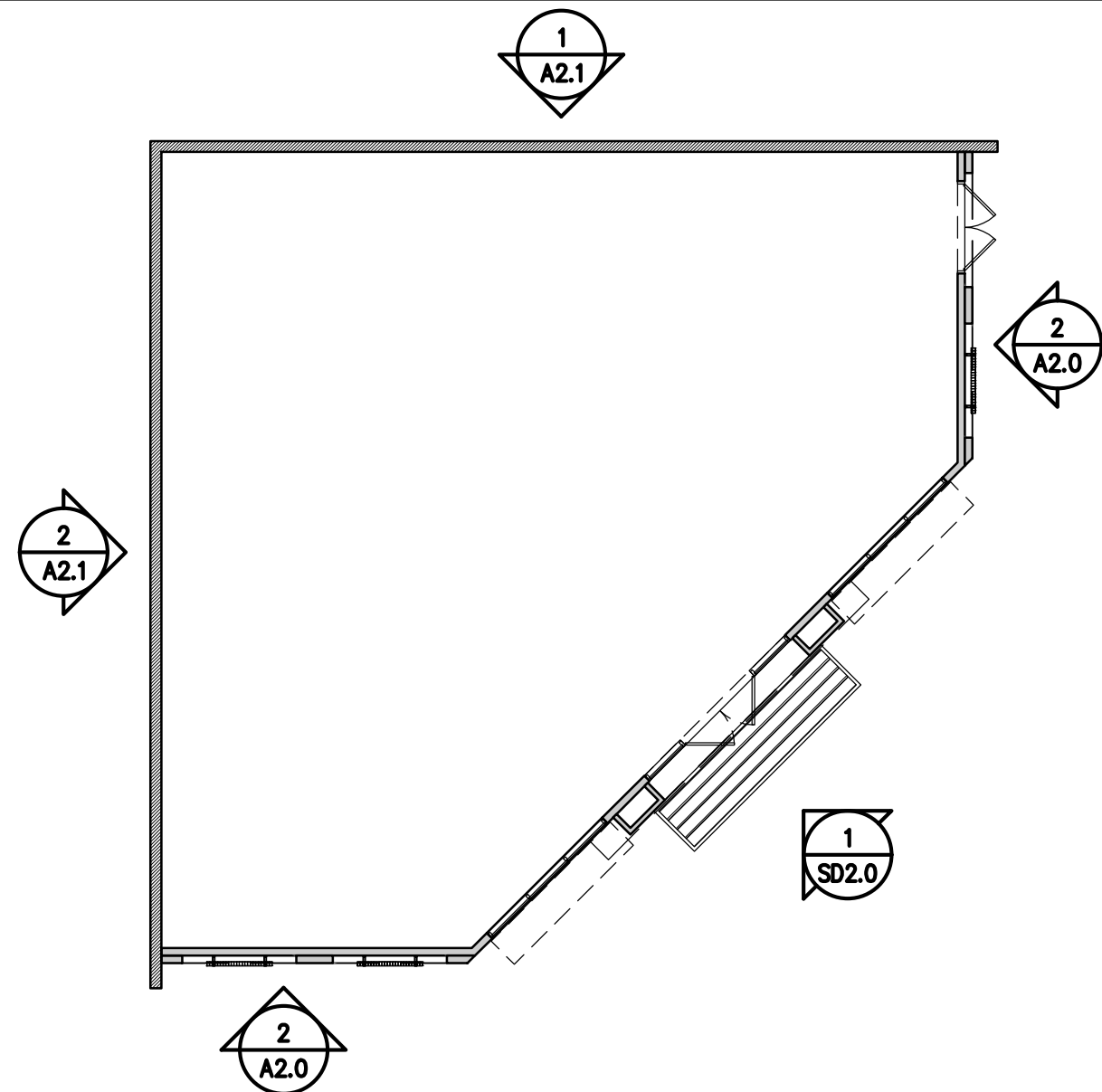
01 MATERIAL/FINISH
A COLOR

MATERIAL/FINISH:

- 7/8" EXTERIOR CEMENT PLASTER (3 COAT) OVER SELF FURRING DIAMOND MESH OVER 2 LAYERS GRADE "D" PAPER OVER SHEATHING
FINISH: 20/30 FINE SAND FINISH
- ALUMINUM STOREFRONT SYSTEM WITH 1" CLEAR INSULATED GLAZING
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- FOAM SHAPE WITH CEMENT PLASTER FINISH
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- WALL MOUNTED LIGHT FIXTURE
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- BRICK SILL
- BRICK CAP
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- FAUX GABLE VENT TUBE
- WALL MOUNTED TRELLIS
- CONCRETE ROOF TILE
- HOLLOW METAL DOOR AND FRAME
- WOOD FASCIA
- 8"x8"x16" CMU BLOCK – SMOOTH FACE

COLOR:

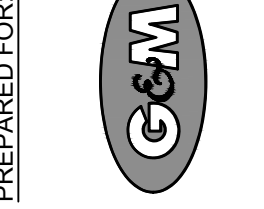
- A DUNN EDWARDS: #DE6128 – "SAND DUNE"
B DUNN EDWARDS: #DE6130 – "WOODEN ACRE"
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COLOR: GUADALAJARA – #10131-6
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H MANUFACTURER: CORONADO STONE – TEL: (800) 847-8663
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COLOR: EAGLE BUFF
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STYLE.: 2 1/2"x10" BRICK CAP
COLOR: TRIBECCA
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MODEL NO.: WM168-3
COLOR: ANTIQUE UMBER FINISH
L MANUFACTURER: EAGLE ROOFING – TEL: (800) 300-3245
STYLE: CAPISTRANO
COLOR: #3636 – "PIEDMONT BLEND"
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COLOR: TO MATCH DUNN EDWARDS #DEA161 "WILD MUSTANG"
N MANUFACTURER: GREEN SCREEN – TEL: (800) 450-3494
MODEL NO.: WALL MOUNTED TRELLIS PANEL
SIZE: 4'-0"(w) x 8'-0"(h) x 3"(d)
COLOR: "GREEN" – GLOSS POWDER COAT FINISH



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DATE: 8/14/14
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PLOT: 1:1
REF: GMT161A2.0
FILE: 0115-0089

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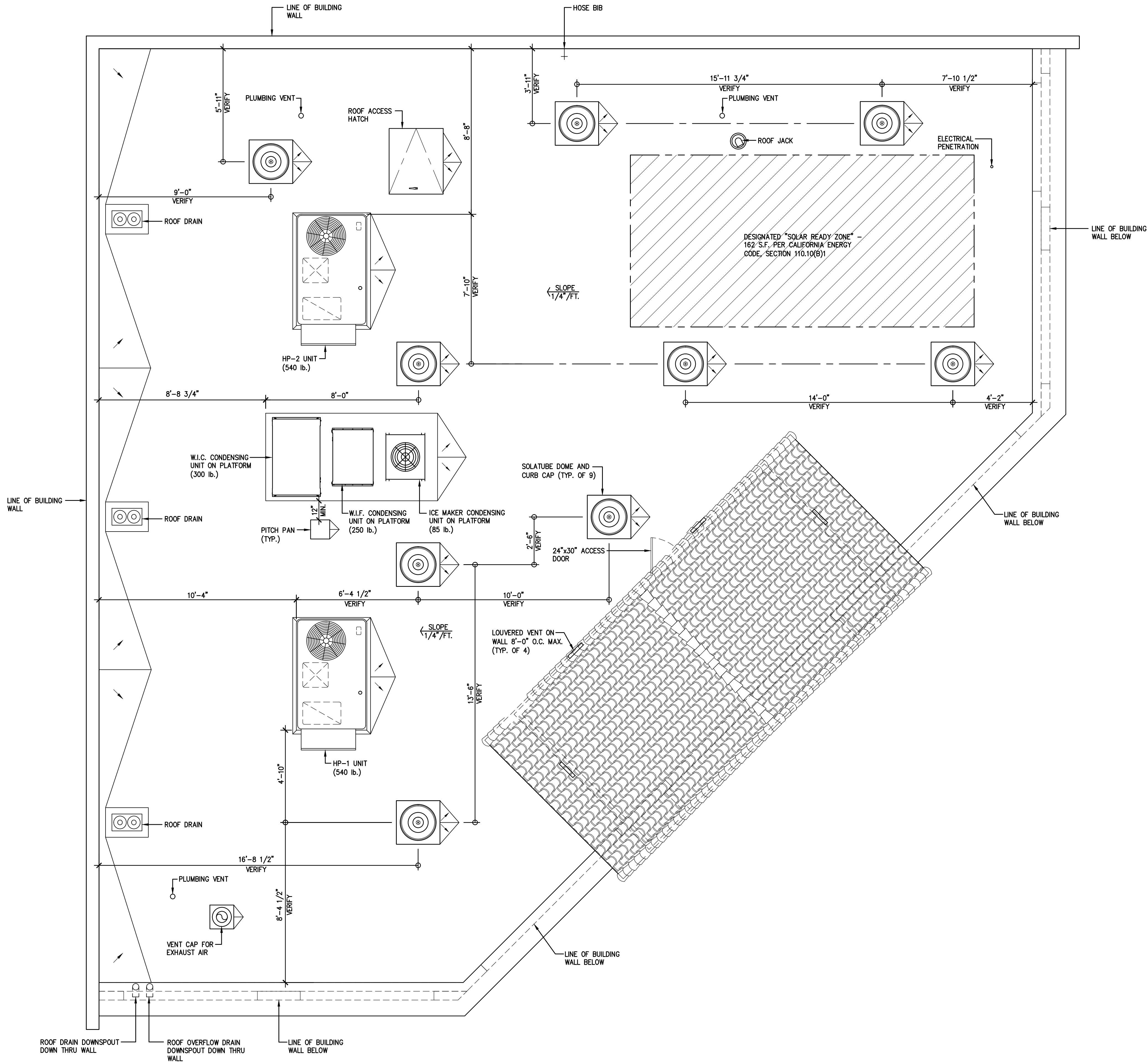
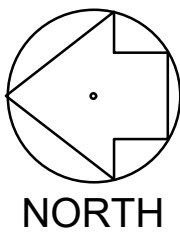
NO.	DATE	REVISION
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PROPOSED EXTERIOR ELEVATIONS
G&M OIL COMPANY FACILITY No.: 151
1400 MISSION STREET
SOUTH PASADENA, CA 91030

DRAWING NUMBER

A2.1

8/21/2023



PROPOSED ROOF PLAN
G&M OIL COMPANY FACILITY No.: 151
1400 MISSION STREET
SOUTH PASADENA, CA 91030

DRAWING NUMBER
A3.0

NO. ☐ ☐ ☐ ☐ ☐

REVISION
DATE

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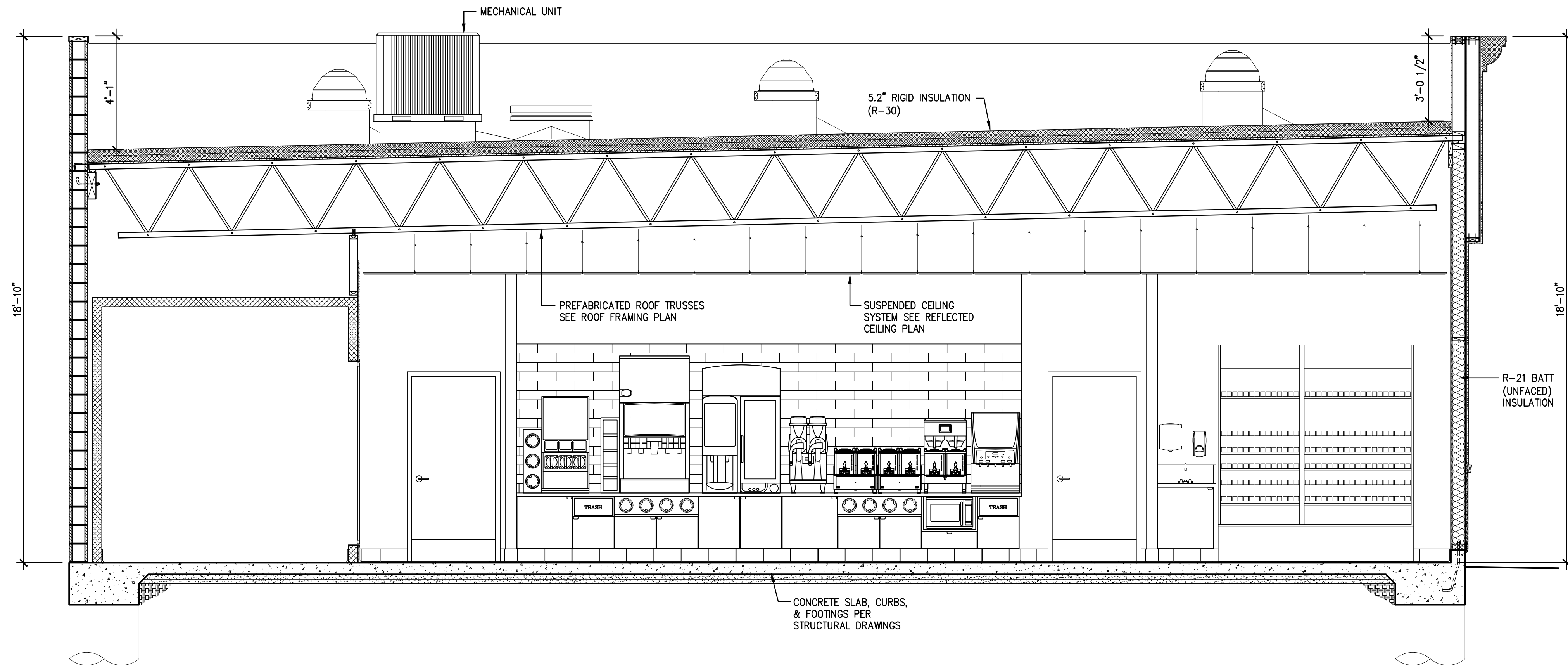
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Huntington Beach
California 92647-4831
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SCALE: 3/8" = 1'-0"
PLOT: 1:1
REF: GMT151A3.0
FILE: 0115-0089

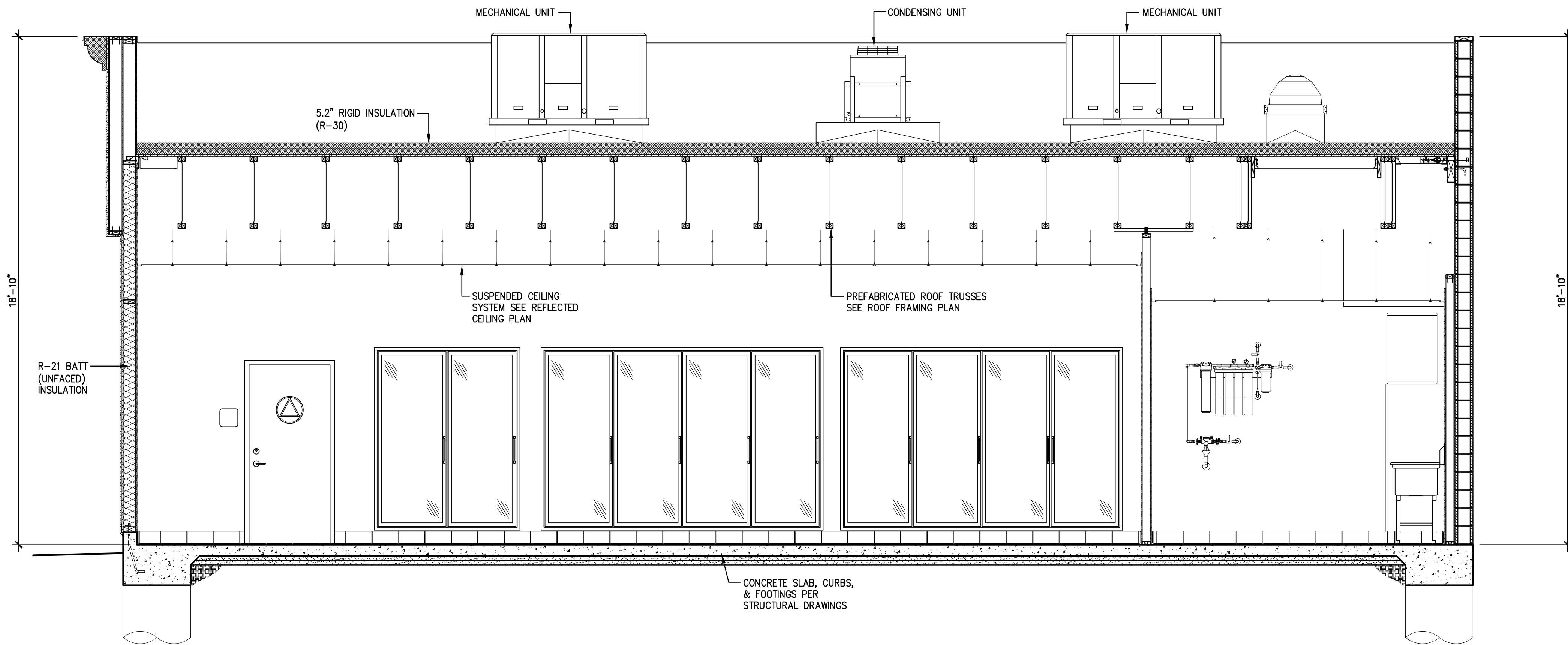
1 BUILDING CROSS SECTION

SCALE: 3/8"=1'-0"



2 BUILDING CROSS SECTION

SCALE: 3/8"=1'-0"



DRAWN BY: A.J.
DATE: 8/14/16
SCALE: 3/8" = 1'-0"
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FILE: 0115-0089

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(714) 375-4700
G&M

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PROPOSED BUILDING CROSS SECTION
G&M OIL COMPANY FACILITY No.: 151
1400 MISSION STREET
SOUTH PASADENA, CA 91030

DRAWING NUMBER
A4.0

8/21/2023



Planning Commission Agenda Report

ITEM NO. 9

DATE: December 12, 2023

FROM: Angelica Frausto-Lupo, Community Development Director
Alison Becker, AICP, Deputy Community Development Director
Matt Chang, Planning Manager

PREPARED BY: Braulio M. Madrid, Associate Planner

SUBJECT: Project Nos. 2593-EXT & 2602-EXT – Extension of time requests for a previously approved mixed-use development (Seven Patios), Project No. 2171-CUP/DRX/TTM/TRP located at 845-899 El Centro Street (APNs: 5315-019-045, 5315-019-046, and 5315-019-048) consisting of 57 residential units, and approximately 6,100 sq. ft. of commercial space, and three (3) townhomes. In accordance with the California Environmental Quality Act (CEQA), a Mitigated Negative Declaration (MND) was prepared. The City Council adopted the MND on March 3, 2021.

RECOMMENDATION

It is recommended that the Planning Commission adopt a Resolution (**Attachment 1 – Draft Resolution**):

1. **Project No. 2593-EXT** – Approving an extension of time to a Vesting Tentative Tract Map (Project No. 2171-TTM) to December 12, 2024. The original entitlement expiration date was March 3, 2023.
2. **Project No. 2602-EXT** – Approving an extension of time to a Conditional Use Permit, Design Review Permit, and Tree Removal Permit (Project No. 2171-CUP/DRX/TRP) to March 3, 2024. The current expiration date is December 28, 2023, due to the expiration of the plan check process.

BACKGROUND

Project Timeline

On November 17, 2020, the Planning Commission approved project entitlements and adopted a Mitigated Negative Declaration (MND) for Project No. 2171-CUP/DRX/TTM/TRP for a mixed-use development (Seven Patios) consisting of 57 residential units and approximately 6,100 sq. ft. of commercial space as well as three (3) townhomes located at 845-899 El Centro Street (APNs: 5315-019-045, 5315-019-046, and 5315-019-048).

On November 30, 2020, within the appeal period for the November 17, 2020, Planning Commission meeting, two Councilmembers filed a Request for Review by the City Council (Project No. 2385-RFR), with the City Clerk's Office pursuant to the South Pasadena Municipal Code (SPMC) Section 36.610.

On March 3, 2021, the City Council conducted a duly noticed public hearing and upheld the Planning Commission's decision, adopted the MND and Mitigation Monitoring and Reporting Program for the Seven Patios project, and approved the development project (Project No. 2171-CUP/DRX/TTM/TRP) subject to the conditions of approval. **(Attachment 2 – City Council Resolution No. 7709)**. The project included the following entitlements.

Project No. 2171-CUP/DRX/TTM/TRP:

1. **Conditional Use Permit (CUP)** for the development of a mixed-use project consisting of 57 residential units, approximately 6,100 sq. ft. of commercial retail space for restaurant (2,035 square feet) and retail uses (4,065 square feet) in the Mission Street Specific Plan (MSSP) zoning district and two levels of underground parking with bonus parking and height; and
2. **Design Review Permit (DRX)** for the proposed mixed-use development consisting of 57 residential units and 6,100 sq. ft. of commercial retail spaces with bonus parking and height in the MSSP zoning district and for three (3) two-story Craftsman style townhomes in the Residential Medium (RM) zoning district, totaling 60 residential units; and
3. **Vesting Tentative Tract Map No. 82394 (TTM)** to consolidate three existing parcels into one land parcel with 60 residential and five (5) commercial condominium airspace parcels to allow individual ownership of the residential and commercial units; and
4. **Tree Removal Permit (TRP)** for the removal of 20 trees (one protected tree).

In February of 2022, the applicant, Burke Farrar from Odyssey Development Services, submitted construction plans to the Building Division for plan check review. In accordance with the SPMC, the plan check review process shall be considered active for no more than 18 months from the date construction plans are submitted (expired August 2023).

On December 28, 2022, pursuant to SPMC Chapter 9 Section 9.1-106.7 Expiration of Plan Check Applications, the Community Development Department approved a one-year extension of the plan check process to December 28, 2023.

On March 1, 2023, the applicant submitted an application requesting a three-year extension of time (to March 3, 2026) for the approved TTM.

On October 19, 2023, Community Development Department (Planning and Building) staff met with the applicant to discuss associated project entitlements including the plan check expiration

date of December 28, 2023. The applicant expressed an interest to extend the entitlements in addition to the already filed TTM extension of time application.

On November 1, 2023, the applicant requested an extension of time for the entitlements for the Conditional Use Permit, Design Review Permit, and Tree Removal Permit that are associated with the project.

Expiration Dates

TTM application – The approved Vesting Tentative Tract Map is valid for 24 months (expiration of March 3, 2023) unless a Final Map has been filed with the City Engineer (Public Works Department).

CUP/DRX/TRP application – The approved CUP/DRX/TRP is valid for 12 months (expiration of March 3, 2022) unless construction plans have been submitted to the Building Official (Community Development Department, Building Division). Construction plans were submitted to the Building Division in February of 2022 and a one (1) year extension was granted to the plan check process on December 28, 2022. The new expiration date of the entitlements is December 28, 2023, due to the expiration of the plan check.

PROJECT DESCRIPTION

The previously approved project involves the demolition of an existing office building and parking lot and construction of new mixed-use and residential buildings. **(Attachment 3 – Architectural plans)** The project site is approximately 1.61 acres consisting of three (3) parcels located at 845 El Centro Street and 832 Orange Grove Place, with a common reference of 845-899 El Centro Street (APNs: 5315-019-045, 5315-019-046, and 5315-019-048). When the project was approved in 2021, the project site was located within two zoning districts, the property with APN: 5315-09-048 was zoned Mission Street Specific Plan (MSSP) and the properties with APNs: 5315-019-045 and 5315-019-046 were zoned Residential Medium (RM).

The extension of time requests consists of the following applications:

Project No. 2593-EXT:

- Requesting an extension of time to the previously approved Vesting Tentative Tract Map to March 3, 2026. The original entitlement expiration date was March 3, 2023.

Project No. 2602-EXT

- Requesting an extension of time to the previously approved Conditional Use Permit, Design Review Permit, and Tree Removal Permit to March 3, 2024. The current expiration date is December 28, 2023, due to the expiration of the building permits.

PROJECT ANALYSIS

The current expiration of the Vesting Tentative Tract Maps No. 82394 (**Attachment 4**) as allowed by the SPMC Section 36.510.140 is 24 months from its approval date. At the end of the 24 months, the approval shall become void unless a Final Map and related bonds and improvements agreements, have been filed with the City Engineer (Public Works Department) in compliance with Division 36.520 or if an extension of time has been granted in compliance with Section 36.510.150.

As of March 3, 2023, the applicant had not submitted a complete Final Map to the City Engineer for review. However, an application for extension of time was timely submitted to the Community Development Department prior to the expiration date. (**Attachment 5 – 2593-EXT**)

As mentioned above, although the CUP/DRX/TRP entitlement would have expired on March 3, 2022, the applicant successfully submitted and maintained an active building plan check, thus maintaining these entitlements active. The applicant will not be able to finalize the building plan check process by the upcoming expiration date on December 28, 2023, and the associated CUP/DRX/TRP entitlements will expire as well. An application for the CUP/DRX/TRP extension of time was filed by the applicant on November 1, 2023. (**Attachment 6 - 2602-EXT**)

The table listed below provides a summary of major timelines.

Timeline	TTM	CUP/DRX/TRP (Plan Check)
Original Approval	March 3, 2021 – (Expires March 3, 2023, unless a Final Tract Map submitted)	March 3, 2021- (Expires March 3, 2022, unless building plan check is submitted. Building plan check is active for 18 months)
Submittal to Departments	No submittal of Final Tract Map.	Plan check submittal in February 2022 (1-year extension of building plan check was granted on December 28, 2022)
Current Expiration Dates	March 3, 2023	December 28, 2023
Applicant's Request Dates	March 1, 2023 (request a 3-year extension to March 3, 2026)	November 1, 2023 (request expiration date of March 3, 2024)
Staff Recommended Expiration Dates	December 12, 2024 (to submit Final Map to the City Engineer)	March 3, 2024 (to submit plan check to Building Division)

The applicant is requesting the maximum allowed extensions by the SPMC for the TTM and the CUP/DRX/TRP entitlements due to unforeseen circumstances as described by the applicant in the project narrative (**Attachment 7 – Extension Request Letter**).

For the TTM extension, the Planning Commission may grant a maximum total of three years extensions to the initial time limit (SPMC Section 36.510.150).

For the CUP/DRX/TRP extension, the Planning Commission may extend the time for a zoning approval up to a maximum 36 months from the effective date of original approval (SPMC 36.420.040).

On October 30, 2023, the newly adopted General Plan (GP) and Downtown Specific Plan (DTSP) became effective. One of the subject parcels was rezoned from MSSP to DTSP. A table is provided below to show the previous and current GP and zoning designations of the three subject parcels.

Property (APN)	Previous GP (1998) /Zoning	Current GP/Zoning
5315-019-048 (1.25 acres)	MSSP / MSSP	Mixed-use Core / DTSP
5315-019-045 (0.16 acres)	Medium Density Residential / Residential Medium (RM)	Medium Density Neighborhood / Residential Medium (RM)
5315-019-046 (0.17 acres)	Medium Density Residential / Residential Medium (RM)	Medium Density Neighborhood / Residential Medium (RM)

General Plan / Zoning Consistency

The City has updated its General Plan to be consistent with the 2021-2029 (6th Cycle) Housing Element, which included a new Downtown Specific Plan (DTSP) to replace the Mission Street Specific Plan (MSSP), amendments to the Zoning Code and Zoning Map, the creation of a Mixed-Use Overlay District and development standards.

However, as addressed in the “Background” section of this staff report, the extension for the TTM was submitted and would have expired prior to the new adoption of the General Plan and Zoning updates. As such, the review of the project will be considered under the previous General Plan (1998) and Mission Street Specific plan. With that said, the proposed project is consistent with the General Plan (1998) and Mission Street Specific plan in that:

1. The proposed project supports the goals, policies, actions of the previous General Plan. The extension of time would be consistent with the General Plan, zoning code, and the overall project remains consistent with the approval that the City Council granted on March 3, 2021 as stated in the City Council Resolution No. 7709.
2. The proposed Seven Patios development, the use of the MSSP development bonus provision, and outdoor dining are allowed with approval of a Conditional Use Permit within the “Core Area/District B” of the MSSP. The MSSP stated objectives for District B are 1) “to encourage uses that provide residents and employees within walking distance of the shopping core or nodes and within proximity to the Metro Line station, and 2) “to establish

a place for small-scale artisans and other Cottage Industries that serves both local residents and the broader specialty market.”

3. The RM zoning district allows a variety of housing types, which include single-family bungalow courts, duplexes, triplexes, or other attached or detached single-family dwellings. The allowable residential density ranges from 6.1 to 14 units per acre. The RM zoning district is consistent with the Medium Density Residential land use designation of the General Plan. The proposed project complies with the applicable development standards of the RM zoning district.
4. With respect to the overall project, the applicant has made no changes to its design, size, or intensity since its original approval. The project continues to comply with all applicable development standards in the MSSP and RM zoning districts as well as SPMC pertaining to maintaining active entitlements or seeking extensions.

Staff Recommended Expiration Dates

Staff recommends that the Planning Commission grants the TTM extension of time to December 12, 2024, which is one year from the Planning Commission meeting date instead of applicant's requested date of March 3, 2026. The new TTM extension of time with an expiration date of December 12, 2024, if granted, would provide the applicant a 21-month period (from March 2023 to December 2024) in addition to the original 24-month approval period for the filing of a Final Map. As mentioned earlier, the TTM approval is considered “exercised” if the applicant submits a Final Map and related documents prior to the expiration date. The Final Map does not have to be accepted (approved) by that expiration date. Staff has made the determination that this is a reasonable amount of time for the applicant to diligently pursue the filing of a Final Map. The Planning Commission has the option to grant an extension time period less than the maximum allowed.

As for the CUP/DRX/TRP extension of time request, staff recommends that the Planning Commission grant the request with a new expiration date of March 3, 2024. The SPMC allows a maximum of three-year total from the original approval date. The March 3, 2024 date will be the maximum allowed extension by the SPMC. The project is currently in the plan check review process and is due to expire on December 28, 2023. The applicant will need to resubmit the plan check by March 3, 2024 to avoid expiration of the entitlements. Once the applicant resubmits the plans to the Building Division, the applicant would need to obtain a building permit for the development within 18 months of the resubmittal date.

Findings for TTM Extension of time

In order to approve a TTM extension of time, the Planning Commission must make the following findings listed in SPMC Section 36.510.150. The required findings are listed below.

1. **There have been no changes to the provisions of the General Plan, any applicable Specific Plan or this Zoning Code applicable to the project since the approval of the Tentative Map;**

As of October 30, 2023 the City has updated its General Plan to be consistent with the 2021-2029 (6th Cycle) Housing Element, which included a new Downtown Specific Plan (DTSP) to replace the Mission Street Specific Plan (MSSP), amendments to the Zoning Code and Zoning Map, the creation of a Mixed-Use Overlay District and development standards.

The current General Plan land use designation of the site is Downtown Specific Plan and Residential Medium Density. However, the Extension for the TTM was submitted and deemed complete prior to the new General Plan and Zoning updates. As such, review of the project will be considered under the previous General Plan (1998) and Mission Street Specific plan.

The extension of time is consistent with the General Plan, as the overall project will remain consistent with the approval of the Planning Commission that found that the project satisfied all of the necessary and applicable findings to grant this extension of the Vesting Tentative Tract Map. Thus, the project has had no changes to the applicable provisions of the General Plan, any applicable Specific Plan or this Zoning Code applied to the project during the original approval of the Vesting Tentative Map.

2. **There have been no changes in the character of the site or its surroundings that affect how the policies of the General Plan or other standards of this Zoning Code apply to the project; and**

As of the received date of the application in March 2023, there have been no changes to the existing character of the site or its surroundings that affect how General Plan policies or Zoning Code standards apply to this extension of time request or project. The current General Plan land use designation of the site is Mixed-Use Core and Medium Density Neighborhood. The application for the extension of time was submitted in compliance with Section 36.510.150 of the SPMC.

As such, review of the project was under the previous General Plan (1998) and Mission Street Specific Plan. With that said, the proposed project is consistent with the applicable General Plan (1998) goals and policies as well as the Mission Street Specific Plan and Residential Medium development standards, as listed below.

- i. The proposed project supports the goals, policies, actions of the previous General Plan. The extension of time would be consistent with the General Plan, zoning code, and the overall project remains consistent with the approval that the City Council granted on March 3, 2021 as stated in the City Council Resolution No. 7709.
- ii. The proposed Seven Patios development, the use of the MSSP development bonus provision, and outdoor dining are allowed with approval of a Conditional Use Permit within the "Core Area/District B" of the MSSP.

The MSSP stated objectives for District B are 1) “to encourage uses that provide residents and employees within walking distance of the shopping core or nodes and within proximity to the Metro Line station, and 2) “to establish a place for small-scale artisans and other Cottage Industries that serves both local residents and the broader specialty market.”

- iii. The RM zoning district allows a variety of housing types, which include single-family bungalow courts, duplexes, triplexes, or other attached or detached single-family dwellings. The allowable residential density ranges from 6.1 to 14 units per acre. The RM zoning district is consistent with the Medium Density Residential land use designation of the General Plan. The proposed project complies with the applicable development standards of the RM zoning district.
- iv. With respect to the overall project, the applicant has made no changes to its design, size, or intensity since its original approval. The project continues to comply with all applicable development standards in the MSSP and RM zoning districts as well as SPMC pertaining to maintaining active entitlements or seeking extensions.

Although, the extension request was submitted and deemed complete prior to the new General Plan and Zoning updates, it can also be found that the project will remain consistent with the existing surround character of the site and surroundings as the new DTSP allows for the development of Mixed-Use buildings.

- 3. **There have been no changes to the capacities of community resources, including but not limited to water supply, sewage treatment or disposal facilities, roads or schools so that there is no longer sufficient remaining capacity to serve the project.**

There are adequate provisions for public services and utilities to ensure the public’s health, safety, and welfare. There have been no changes to the capacities of community resources including, but not limited to, water supply, sewage treatment or disposal facilities, roads, or schools. Prior to issuance of a Building Permit for the development, the applicant will be required to pay development impact fees to fund the costs of improving water and sewer capital facilities to meet increased demand from the new development.

Findings for CUP/DRX/TRP Extension of time

In order to approve a CUP/DRX/TRP extension of time, the Planning Commission must make following findings listed in SPMC section 36.420.040(B). The required findings are listed below.

- 1. **The project has not changed and there have been no material changes to the surrounding neighborhood;**

There has been no changes to the project or material changes to the surrounding neighborhood as the extension of time application was submitted and deemed

complete prior to the new General Plan and Zoning updates in which the project was reviewed under. No other major development, or material changes have affected the surrounding neighborhood.

Additionally, it can be found that the project will remain consistent with the existing surrounding character of the site and surroundings, as the newly adopted GP and DTSP allow and encourage the development of Mixed-Used buildings as this site is designated as Mixed-use Core/DTSP land use and zoning classification.

2. The permittee has proceeded in good faith and has exercised due diligence in compliance with the condition in a timely manner;

After the approval of March 3, 2021, the applicant filed the applications for the building plan check process. The plan check has been active since the original submittal of March 28, 2023, with one approved extension from the Building Division. As of today's hearing, the project has maintained, in good faith, active building plan checks related to the project. Final permits could not be pulled prior to their building plan checks expiration deadline of December 28, 2023, due to the applicant's hardship (**Attachment 7**). The applicant will be required to submit plans to the building department by no later than March 3, 2024.

3. The proposed extension is consistent with the General Plan and any applicable specific plan, and the overall project remains consistent with those plans as they exist at the time the extension request is being considered;

As of October 30, 2023 the City has updated its General Plan to be consistent with the 2021-2029 (6th Cycle) Housing Element, which included a new Downtown Specific Plan (DTSP) to replace the Mission Street Specific Plan (MSSP), amendments to the Zoning Code and Zoning Map, the creation of a Mixed-Use Overlay District and development standards. The current General Plan land use designation of the site is Downtown Specific Plan and Residential Medium Density.

Although the adoption of the new General Plan and DTSP was enacted on October 30, 2023, staff agrees that the initial extension application for the TTM submitted on March 1, 2023 should have included the request for extension of time for the remaining entitlements. On October 19, 2023, prior to the new adoption of the GP and DTSP, staff made the applicant aware of the December expiration date for the plan check. During the meeting, the applicant agreed to pursue the extension of time for the remaining entitlements, allowing staff time to prepare the project for a simultaneous public hearing.

As of today's date, the plan check process remains active and in compliance with all local and state regulations. The application for extension of time was submitted in compliance with SPMC Section 36.420.040 thus, the extension of time will be consistent with the General Plan (1998) and Mission Street Specific Plan then in effect. The overall project will also remain consistent with the approval by the

Planning Commission and subsequent determination made by City Council that found that the project satisfied all of the necessary findings to grant the approval of the entitlements. Thus, due to the submittal of the application, staff believes that the project has had no changes to the applicable provisions of the General Plan, any applicable Specific Plan or this Zoning Code applied to the project during the original approval of the Vesting Tentative Map.

4. **There are adequate provisions for public services and utilities, e.g. access, drainage, fire protection, sewers, water, etc., to ensure that the proposed change would not endanger, jeopardize, or otherwise constitute a hazard to the public health, safety, or general welfare, or be injurious to the property or improvements in the vicinity and applicable zoning district; and**

There are adequate provisions for public services and utilities to ensure the public's health, safety, and welfare. There have been no changes to the capacities of community resources, including, but not limited to, water supply, sewage treatment or disposal facilities, roads or schools. Prior to issuance of a Building Permit for the development, the applicant will be required to pay development impact fees to fund the costs of improving water and sewer capital facilities to meet increased demand from the new development.

5. **Use of the Zoning Approval is likely to be or has been delayed by causes outside the applicant's control, e.g., project complexities, legal challenges, an economic downturn, requirements imposed by other government agencies.**

The applicant has provided the attached project narrative with the request for an extension application, describing the hardships of the development since its original approval date of March 3, 2021. The hardships described stem from current economic climates as well as the Covid-19 pandemic, that burden development with high interest rates as well as other factors listed by the applicant.

ENVIRONMENTAL ANALYSIS

In accordance with the California Environmental Quality Act (CEQA), a Mitigated Negative Declaration (MND) was prepared. The City Council adopted the MND on March 3, 2021. A Notice of Determination was recorded with the Los Angeles County Recorder. No further environmental review is required for extension of the approvals.

LEGAL REVIEW

The City Attorney Office has reviewed this report.

STAFF RECOMMENDATIONS

Based on the above analysis, staff recommends that the Planning Commission adopt a Resolution:

1. **Project No. 2593-EXT** – Approving an extension of time to a Vesting Tentative Tract Map (Project No. 2171-TTM) to December 12, 2024. The original entitlement expiration date was March 3, 2023.
2. **Project No. 2602-EXT** – Approving an extension of time to Conditional Use Permit, Design Review Permit, and Tree Removal Permit (Project No. 2171-CUP/DRX/TRP) to March 3, 2024. The original entitlement expiration date was December 28, 2023, due to the expiration of the plan check.

ALTERNATIVES TO CONSIDER

If the Planning Commission does not agree with staff's recommendation, the following options are available:

1. Approve the project as is or with modified condition(s) added or removed and provide findings; or
2. Continue the project, providing the applicant with clear recommendations to revise the proposal; or
3. Deny the project if it finds that the project does not meet the intent of the City's Extension requirements.

PUBLIC NOTIFICATION OF AGENDA ITEM

A Public Hearing Notice was published on December 1, 2023, in the *South Pasadena Review*. Hearing notices were sent to all properties within a 300-foot radius on November 30, 2023. In addition, the public was made aware that this item was to be considered at a public hearing by virtue of its inclusion on the legally publicly noticed agenda, and the posting of the same agenda and reports on the City's website.

ATTACHMENTS

1. Draft PC Resolution No. 23-
Exhibit A: Conditions of Approval for Extension Request
Exhibit B: Conditions of Approval for 2171-CUP/DRX/TTM/TRP
2. City Council Resolution 7709 (Includes Conditions of Approval)
3. Project Architectural Plans
4. Vesting Tentative Tract Map No. 82394
5. Extension of time Application for EXT-2593
6. Extension of time Application for EXT-2602
7. Extension Request Letter from Applicant

ATTACHMENT 1

P.C. Draft Resolution

P.C. RESOLUTION NO. 23-

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF SOUTH PASADENA APPROVING 2593-EXT AND 2602-EXT – AN EXTENSION OF TIME REQUEST FOR A PREVIOUSLY APPROVED MIXED-USE DEVELOPMENT (SEVEN PATIOS), PROJECT NO. 2171-CUP/DRX/TTM/TRP LOCATED AT 845-899 EL CENTRO STREET (APNS: 5315-019-045, 5315-019-046, AND 5315-019-048). THE APPROVAL WAS FOR A MIXED-USE PROJECT CONSISTING OF 57 RESIDENTIAL UNITS AND APPROXIMATELY 6,100 SQ. FT. OF COMMERCIAL SPACE AND THREE TOWNHOMES. IN ACCORDANCE WITH THE CALIFORNIA ENVIRONMENTAL QUALITY ACT (CEQA), A MITIGATED NEGATIVE DECLARATION (MND) WAS PREPARED. THE CITY COUNCIL ADOPTED THE MND ON MARCH 3, 2021.

WHEREAS, on November 17, 2020, the Planning Commission conducted a duly noticed public hearing, at which time public testimony was taken concerning the Seven Patios project (Project No. 2171-CUP/DRX/TTM/TRP), a mixed-use development of 57 residential units and approximately 6,100 square feet of commercial space and three townhomes, as well as the Initial Study (IS), Mitigated Negative Declaration (MND) and Mitigation Monitoring and Reporting Program (MMRPP) for the project. At the end of the hearing, the Planning Commission adopted the MND prepared for the project and approve Project No. 2171-CUP/DRX/TTM/TRP; and

WHEREAS, on November 30, 2020, within the appeal period for the November 17, 2020, Planning Commission meeting, two Councilmembers filed a Request For Review by the City Council (Project No. 2385-RFR), with the City Clerk's Office; and

WHEREAS, on March 3, 2021, the City Council conducted a duly noticed public hearing and upheld the Planning Commission's decision, adopted the MND and Mitigation Monitoring and Reporting Program for the Seven Patios project, and approved the development project (Project No. 2171-CUP/DRX/TTM/TRP) subject to the conditions of approval. as stated in the City Council Resolution No. 7709; and

WHEREAS, the approval of the Vesting Tentative Tract Map application (Project No. 2171-TTM) is valid for 24 months unless a Final Map has been submitted to the City Engineer. The approval of Conditional Use Permit (CUP), Design Review Permit (DRX), and Tree Removal Permit (TRP), Project No. 2171-CUP/DRX/TRP, is valid for 12 months unless construction plans have been submitted to the Building Division; and

WHEREAS, in February 2022, the applicant, Burke Farrar from Odyssey Development Services, submitted construction plans to the Building Division for plan check review. The plan check review process is considered active for no more than 18 months from the date construction plans are submitted; and

WHEREAS, on December 28, 2022, the Community Development Department approved a one-year extension of the plan check process to December 28, 2023; and

WHEREAS, on March 1, 2023, prior to the expiration date of the TTM approval (Project No. 2171-TTM), the applicant submitted an application requesting a three-year time extension of the approved TTM to March 3, 2026; and

WHEREAS, on October 19, 2023, Community Development Department (Planning and Building) staff met with the applicant to discuss the expiration of the remaining entitlements. The applicant expressed an interest to extend the entitlement in addition to the already filed TTM extension of time application.

WHEREAS, on November 1, 2023, prior to the expiration date of the plan check as well as the entitlements for Project No. 2171-CUP/DRX/TRP, the applicant submitted an application requesting a time extension for the plan check review which includes entitlements for Conditional Use Permit, Design Review Permit, and Tree Removal Permit that are associated with the project; and

WHEREAS, the time extension request was submitted prior to the adoption of the new General Plan and Downtown Specific Plan (DTSP). Staff reviewed the request at the time of the submittal with General Plan land use designations of Mission Street Specific Plan (MSSP) and Medium Density Residential and zoning designations of MSSP and Residential Medium (RM). The applicant has made no changes to its design, size, or intensity and the project continues to comply with all applicable development standards of MSSP and RM zones; and

WHEREAS, on December 1, 2023, the City of South Pasadena Planning Division published a legal notice in the *South Pasadena Review*, a local newspaper of general circulation, indicating the date, time, and location of the public hearing in compliance with state law. Hearing notices were sent to all properties within a 300-foot radius on November 30, 2023; and

WHEREAS, the South Pasadena Planning Commission held a duly noticed public hearing on December 12, 2023, at which time it considered the staff report, oral report, the testimony, and the written evidence submitted by and on behalf of the applicant and by members of the public concerning Project Nos. 2593-EXT and 2602-EXT to consider the proposed time extension request for a previously approved mixed-use development (Seven Patios), Project No. 2171-CUP/DRX/TTM/TRP located at 845-899 El Centro Street. The approval was for a mixed-use project consisting of 57 residential units and approximately 6,100 sq. ft. of commercial space as well as three townhomes.

NOW, THEREFORE, THE PLANNING COMMISSION OF THE CITY OF SOUTH PASADENA DOES HEREBY FIND, DETERMINE, AND RESOLVE AS FOLLOWS:

SECTION 1: ACKNOWLEDGEMENTS

The foregoing recitals are true and correct and are incorporated and made an operative part of this resolution.

SECTION 2: ENVIRONMENTAL REVIEW FINDING

In accordance with the California Environmental Quality Act (CEQA), a Mitigated Negative Declaration (MND) was prepared for the previously approved project. The City Council adopted the MND on March 3, 2021. A Notice of Determination was recorded with the Los Angeles County Recorder. No further environmental review is required for extension of the approvals.

SECTION 3: TENTATIVE TRACT MAP TIME EXTENSION FINDINGS

Based upon the entire record made available at the December 12, 2023 Planning Commission meeting, including the public hearing, the staff report, the oral presentation, and related documents submitted to the Planning Commission prior to and at the public hearing, the Planning Commission finds and determines that the proposed project is consistent with all applicable findings for approval of request for a TTM time extension, listed in SPMC section 36.510.150, as follows:

- 1. There have been no changes to the provisions of the General Plan, any applicable Specific Plan or this Zoning Code applicable to the project since the approval of the Tentative Map;**

As of October 30, 2023, the City has updated its General Plan to be consistent with the 2021-2029 (6th Cycle) Housing Element, which included a new Downtown Specific Plan (DTSP) to replace the Mission Street Specific Plan (MSSP), amendments to the Zoning Code and Zoning Map, the creation of a Mixed-Use Overlay District and development standards.

The current General Plan land use designation of the site is Downtown Specific Plan and Residential Medium Density. However, the Extension for the TTM was submitted and deemed complete prior to the new General Plan and Zoning updates. As such, review of the project will be considered under the previous General Plan (1998) and Mission Street Specific plan.

The extension of time is consistent with the General Plan, as the overall project will remain consistent with the approval of the Planning Commission that found that the project satisfied all of the necessary and applicable findings to grant this extension of the Vesting Tentative Tract Map. Thus, the project has had no changes to the applicable provisions of the General Plan, any applicable Specific Plan or this Zoning Code applied to the project during the original approval of the Vesting Tentative Map.

- 2. There have been no changes in the character of the site or its surroundings that affect how the policies of the General Plan or other standards of this Zoning Code apply to the project; and**

As of the received date of the application in March 2023, there have been no changes to the existing character of the site or its surroundings that affect how General Plan policies or Zoning Code standards apply to this extension of time request or project. The current General Plan land use designation of the site is Mixed-Use Core and Medium Density Neighborhood. The application for the extension of time was submitted in compliance with Section 36.510.150 of the SPMC.

As such, review of the project was under the previous General Plan (1998) and Mission Street Specific Plan. With that said, the proposed project is consistent with the applicable General Plan (1998) goals and policies as well as the Mission Street Specific Plan and Residential Medium development standards, as listed below.

- i. The proposed project supports the goals, policies, actions of the previous General Plan. The extension of time would be consistent with the General Plan, zoning code, and the overall project remains consistent with the approval that the City Council granted on March 3, 2021, as stated in the City Council Resolution No. 7709.
- ii. The proposed Seven Patios development, the use of the MSSP development bonus provision, and outdoor dining are allowed with approval of a Conditional Use Permit within the "Core Area/District B" of the MSSP. The MSSP stated objectives for District B are 1) "to encourage uses that provide residents and employees within walking distance of the shopping core or nodes and within proximity to the Metro Line station, and 2) "to establish a place for small-scale artisans and other Cottage Industries that serves both local residents and the broader specialty market."
- iii. The RM zoning district allows a variety of housing types, which include single-family bungalow courts, duplexes, triplexes, or other attached or detached single-family dwellings. The allowable residential density ranges from 6.1 to 14 units per acre. The RM zoning district is consistent with the Medium Density Residential land use designation of the General Plan. The proposed project complies with the applicable development standards of the RM zoning district.
- iv. With respect to the overall project, the applicant has made no changes to its design, size, or intensity since its original approval. The project continues to comply with all applicable development standards in the MSSP and RM zoning districts as well as SPMC pertaining to maintaining active entitlements or seeking extensions.

Although, the extension request was submitted and deemed complete prior to the new General Plan and Zoning updates, it can also be found that the project will remain consistent with the existing surround character of the site and surroundings as the new DTSP allows for the development of Mixed-Use buildings.

3. **There have been no changes to the capacities of community resources, including but not limited to water supply, sewage treatment or disposal facilities, roads or schools so that there is no longer sufficient remaining capacity to serve the project.**

There are adequate provisions for public services and utilities to ensure the public's health, safety, and welfare. There have been no changes to the capacities of community resources including, but not limited to, water supply, sewage treatment or disposal facilities, roads, or schools. Prior to issuance of a Building Permit for the development, the applicant will be required to pay development impact fees to fund the costs of improving water and sewer capital facilities to meet increased demand from the new development.

SECTION 4: CONDITIONAL USE PERMIT, DESIGN REVIEW PERMIT, AND TREE REMOVAL PERMIT TIME EXTENSION FINDINGS

Based upon the entire record made available at the December 12, 2023, Planning Commission meeting, including the public hearing, the staff report, the oral presentation, and related documents submitted to the Planning Commission prior to and at the public hearing, the Planning Commission finds and determines that the proposed project is consistent with all applicable findings for approval of request for extension for associated entitlements of this project. The Planning Commission makes the following findings as required by SPMC section 36.420.040(B):

1. **The project has not changed and there have been no material changes to the surrounding neighborhood;**

There have been no changes to the project or material changes to the surrounding neighborhood as the extension of time application was submitted and deemed complete prior to the new General Plan and Zoning updates in which the project was reviewed under. No other major development, or material changes have affected the surrounding neighborhood.

Additionally, it can be found that the project will remain consistent with the existing surround character of the site and surroundings, as the new adopted GP and DTSP allows and encourages the development of Mixed-Used buildings as this site designated as Mixed-use Core/DTSP land use and zoning classification.

2. **The permittee has proceeded in good faith and has exercised due diligence in comply with the condition in a timely manner;**

After the approval of March 3, 2021, the applicant filed the applications for the building plan check process. The plan check has been active since the original submittal of March 28, 2023, with one approved extension from the Building Division. As of today's hearing, the project has maintained, in good faith, active building plan

checks related to the project. Final permits could not be pulled prior to their building plan checks expiration deadline of December 28, 2023, due to the applicant's hardship as described in attachment seven (7). The applicant will be required to submit plans to the building department by no later than March 3, 2024.

- 3. The proposed extension is consistent with the General Plan and any applicable specific plan, and the overall project remains consistent with those plans as they exist at the time the extension request is being considered;**

As of October 30, 2023, the City has updated its General Plan to be consistent with the 2021-2029 (6th Cycle) Housing Element, which included a new Downtown Specific Plan (DTSP) to replace the Mission Street Specific Plan (MSSP), amendments to the Zoning Code and Zoning Map, the creation of a Mixed-Use Overlay District and development standards. The current General Plan land use designation of the site is Downtown Specific Plan and Residential Medium Density.

Although the adoption of the new General Plan and DTSP was enacted on October 30, 2023, staff agrees that the initial extension application for the TTM submitted on March 1, 2023, should have included the request for extension of time for the remaining entitlements. On October 19, 2023, prior to the new adoption of the GP and DTSP, staff made the applicant aware of the December expiration date for the plan check. During the meeting, the applicant agreed to pursue the extension of time for the remaining entitlements, allowing staff time to prepare the project for a simultaneous public hearing.

As of today's date, the plan check process remains active and in compliance with all local and state regulations. The application for extension of time was submitted in compliance with SPMC Section 36.420.040,

Thus, the extension of time will be consistent with the General Plan (1998) and Mission Street Specific Plan then in effect. The overall project will also remain consistent with the approval by the Planning Commission and subsequent determination made by City Council that found that the project satisfied all of the necessary findings to grant the approval of the entitlements. Thus, due to the submittal of the application, staff believes that the project has had no changes to the applicable provisions of the General Plan, any applicable Specific Plan or this Zoning Code applied to the project during the original approval of the Vesting Tentative Map.

- 4. There are adequate provisions for public services and utilities, e.g. access, drainage, fire protection, sewers, water, etc., to ensure that the proposed change would not endanger, jeopardize, or otherwise constitute a hazard to the public health, safety, or general welfare, or be injurious to the property or improvements in the vicinity and applicable zoning district; and**

There are adequate provisions for public services and utilities to ensure the public's health, safety, and welfare. There have been no changes to the capacities of community resources, including, but not limited to, water supply, sewage treatment or disposal facilities, roads or schools. Prior to issuance of a Building Permit for the development, the applicant will be required to pay development impact fees to fund the costs of improving water and sewer capital facilities to meet increased demand from the new development.

5. **Use of the Zoning Approval is likely to be or has been delayed by causes outside the applicant's control, e.g., project complexities, legal challenges, an economic downturn, requirements imposed by other government agencies.**

The applicant has provided the attached project narrative with the request for an extension application, describing the hardships of the development since its original approval date of March 3, 2021. The hardships described stem from current economic climates as well as the Covid-19 pandemic, that burden development with high interest rates as well as other factors listed by the applicant.

SECTION 5: RECORD OF PROCEEDING

The documents and other materials that constitute the record of the proceedings upon which the Planning Commission's decision is based, which include, but are not limited to, the staff reports, as well as all materials that support the staff reports for the proposed project, and are located in the Community Development Department of the City of South Pasadena at 1414 Mission Street, South Pasadena, CA 91030. The custodian of these documents is the City Clerk of the City of South Pasadena.

SECTION 6: DETERMINATION

Based upon the findings outlined in Sections 2 through 4 above and provided during the public hearing, the Planning Commission of the City of South Pasadena hereby approves Project Nos. 2593-EXT and 2602-EXT for time extensions of a previously approved mixed-use development (Seven Patios), Project No. 2171-CUP/DRX/TTM/TRP located at 845-899 El Centro Street, subject to the approved Conditions of Approval.

1. **Project No. 2593-EXT** – Approving a time extension to Vesting Tentative Tract Map (Project No. 2171-TTM) to December 12, 2024. The original entitlement expiration date was March 3, 2023.
2. **Project No. 2602-EXT** – Approving a time extension to a Conditional Use Permit, Design Review Permit, and Tree Removal Permit (Project No. 2171-CUP/DRX/TRP) to March 3, 2024. The current expiration date is December 28, 2023, due to the expiration of the plan check process.

SECTION 7: APPEALS

Any interested person may appeal this decision or any portion of this decision to the City Council. Pursuant to the South Pasadena Municipal Code, any such appeal must be filed with the City, in writing, and with an appropriate appeal fee, no later than (15) days, following the date of the Planning Commission's final action.

SECTION 8: CERTIFICATION OF THE RESOLUTION

The Secretary shall certify that the foregoing Resolution was adopted by the Planning Commission of the City of South Pasadena at a duly noticed regular meeting held on the 12th day of December 2023.

PASSED, APPROVED, AND ADOPTED this 12th day of December 2023 by the following vote:

AYES:

NOES:

ABSENT:

ABSTAIN:

Laura Dahl, Planning Commission Chair

ATTEST:

Amitabh Barthakur, Secretary to the Planning Commission

EXHIBIT “A”

Conditions of Approval

EXHIBIT "A"
CONDITIONS OF APPROVAL
PROJECT NO. 2593-EXT & 2602-EXT
845-899 El Centro Street (APNs: 5315-019-045, 5315-019-046, and 5315-019-048)

PLANNING DIVISION:

- P-1. The following approvals are granted as described below and as shown on the development plans submitted to and approved by the Planning Commission on December 12, 2023:
- A. **The Extension of Time for a Tentative Tract Map** approving an extension to a Vested Tentative Tract Map approved by City Council on March 3, 2021 (Project No. 2171-CUP/DRX/TTM/TRP), extending the entitlement to December 12, 2024.
 - B. **The Extension of Time a Conditional Use, Design Review, and Tree Removal permit** approving an extension to the Conditional Use, Design Review, and Tree Removal Permits approved by City Council on March 3, 2021 (Project No. 2171-CUP/DRX/TTM/TRP), extending the entitlement to March 3, 2024.
- P-2. Approval by the Planning Commission does not constitute a building permit or authorization to begin any construction. All appropriate permits issued by the South Pasadena Public Works Department and Building Division must be obtained prior to construction, enlargement, relocation, conversion or demolition of any building or structure on any of the project site.
- P-3. All other requirements of any law, ordinance, or regulation of the State of California, City of South Pasadena, and any other government entity shall be complied with.
- P-4. The applicant and each successor in interest to the property which is the subject of this project approval (collectively referred to herein as the "applicant"), shall defend, indemnify and hold harmless the City of South Pasadena and its agents, officers and employees from any claim, action or proceeding against the City or its agents, officers or employees to attack, set aside, void or annul any approval of the City, City Council or Planning Commission concerning this approval. In the event of any claim or lawsuit, the applicant and/or successor shall submit a deposit in such amount as the City reasonably determines necessary to protect the City from exposure to fees, costs or liability with respect to such claim or lawsuit.
- P-5. The applicant shall be responsible for all costs incurred by the City for the use of professional services or consultants in the review and investigation by Planning and Public Works, which include landscape plans, construction management plan, traffic control plans, and street and off-site improvement plans. The initial Building Construction plan check fee will cover the initial plan check and one recheck only. Additional review required beyond the first recheck shall be paid for on an hourly basis in accordance with the current fee schedule. The applicant shall deposit monies into an approved project account from which the City shall draw funds to pay for said professional services.
- P-6. The applicant shall pay for all applicable City development impact fees, and all other public agency fees including plan review and permit fees.
- P-7. The extension of time is subject to and shall conform to all the applicable Conditions of Approval listed in City Council Resolution No. 7709 unless modified herein. Final Plans shall incorporate all conditions of approval on the second page of the development plans when submitting to building plan check.
- P-8. Any appreciable modifications shall require the review and approval of the Community Development Department, City Commission, or City Commission Chair, as applicable.

EXHIBIT “B”

Conditions of Approval for Project No. 2171-CUP/DRX/TTM/TRP

EXHIBIT "B"
CONDITIONS OF APPROVAL
PROJECT NO. 2171-CUP/DRX/TTM/TRP
Seven Patios Mixed-Use at 845/899 El Centro Street

PLANNING DIVISION

General Conditions

- PL-1. On March 3, 2021, the City Council upheld the Planning Commission's approval of Seven Patios Mixed-Use Project, and adoption of the Mitigation Monitoring and Reporting Program (MMRP). Therefore, the following approvals are granted for the land and land use as described in the application and any attachments thereto, as shown on the development plans submitted to and approved by the Planning Commission on November 17, 2020:
- a. **Conditional Use Permit** for the development of a mixed-use project consisting of 57 residential units, approximately 6,100 square feet of commercial retail space for restaurant (2,035 square feet) and retail uses (4,065 square feet) in the Mission Street Specific Plan (MSSP) zoning district and two levels of underground parking with bonus parking and height; and
 - b. **Design Review Permit** for the proposed mixed-use development consisting of 57 residential units and 6,100 square feet of commercial retail spaces with bonus parking and height in the MSSP zoning district and for three (3) two-story townhomes in the Residential Medium (RM) zoning district; and
 - c. **Tentative Tract Map No. 82394** to consolidate three existing parcels into one land parcel with 60 residential and five (5) commercial condominium airspace parcels to allow individual ownership of the residential and commercial units; and
 - d. **Tree Removal Permit** for the removal of 20 trees (one protected tree).
- PL-2. This approval and all rights hereunder shall terminate within twelve (12) months of the effective date of their approval by the Planning Commission unless otherwise conditioned and/or unless action is taken to secure Building Permits and maintain active Building Permits with the Building Division beginning with the submittal of the plans for Plan Check review.
- PL-3. Approval by the Planning Commission does not constitute a building permit or authorization to begin any construction. All appropriate permits issued by the South Pasadena Public Works Department and Building Division must be obtained prior to construction, enlargement, relocation, conversion or demolition of any building or structure on any of the project site.
- PL-4. All other requirements of any law, ordinance, or regulation of the State of California, City of South Pasadena, and any other government entity shall be complied with.

- PL-5. Compliance with and execution of all conditions listed herein shall be necessary prior to obtaining any occupancy inspection clearance and/or prior to obtaining any occupancy clearance.
- PL-6. The applicant and each successor in interest to the property which is the subject of this project approval, shall defend, indemnify and hold harmless the City of South Pasadena and its agents, officers and employees from any claim, action or proceeding against the City or its agents, officers or employees to attack, set aside, void or annul any approval of the City, City Council or City Planning Commission concerning this approval.
- PL-7. The applicant shall be responsible for all costs incurred by the City for the use of professional services or consultants in the review and investigation by Planning and Public Works, which include landscape plans, construction management plan, traffic control plans, and street and off-site improvement plans. The initial Building Construction plan check fee will cover the initial plan check and one recheck only. Additional review required beyond the first recheck shall be paid for on an hourly basis in accordance with the current fee schedule. The applicant shall deposit monies into an approved project account from which the City shall draw funds to pay for said professional services.
- PL-8. The applicant shall pay for all applicable City development impact fees, and all other public agency fees including plan review and permit fees.
- PL-9. A minimum of 2,035 square feet of the commercial space shall be for restaurant use. The restaurant use shall be in compliance with Director's Interpretation No. 2020-01, dated January 14, 2020 (included as an attachment to this condition of approval). When the Mission Street Specific Plan is updated or replaced, the restaurant use shall comply with such update or a new Specific Plan for this site.
- PL-10. Windows for the commercial restaurant and retail spaces shall be clear glass and remain unobscured at all time.
- PL-11. The garage door to access the underground parking garage shall remain open from 5:00 am to midnight. These hours can be modified by the Director of Planning and Community Development to accommodate the public and Gold Line users.
- PL-12. 36 parking spaces on the first level of the parking garage shall be reserved for public uses in perpetuity.
- PL-13. Sale of alcohol for on-site consumption, including service to outdoor dining areas shall require a separate approval pursuant to the South Pasadena Municipal Code.
- PL-14. Prior to operation of any outdoor dining area, the applicant shall provide the following information to the Community Development Director for review and approval:
 - a. A detailed site plan and elevations showing the boundary, pedestrian access,

and railing design for the outdoor dining area for each tenant.

- b. Outdoor dining furniture.
- c. A statement of operation that includes, but not limited to, hours of operation and any proposed amplified sound in the outdoor dining area.

Notes on Construction Plans

The following conditions shall be noted on the construction plans and the contractor shall be responsible to implement and monitor compliance with these conditions:

- PL-15. The construction site and the surrounding area, including sidewalks, parkways, gutters, and streets, shall be kept free of all loose materials resembling trash and debris in excess of that material used for immediate construction purposes at all times. Such excess may include, but is not limited to: the accumulation of debris, garbage, lumber, scrap metal, concrete, asphalt, piles of earth, salvage materials, abandoned or discarded furniture, appliances or other household fixtures. Such debris shall be removed immediately from the street to prevent road hazards or public health related issues.
 - a. Construction vehicles shall not be parked or stored on Orange Grove Place and Orange Grove Avenue (between Mission Street and Monterey Road).
- PL-16. The hours of all construction activities shall be limited to the following: 8:00 am and 7:00pm Monday through Friday, 9:00am and 7:00pm Saturday, and construction on Sundays limited to 10:00am to 6:00pm.
- PL-17. During construction, the clearing, grading, earth moving, excavation operations, or transportation of cut or fill materials that cause fugitive dust emissions shall be controlled by regular water or other dust preventive measures using the following procedures:
 - a. The area disturbed by clearing, grading, earth moving, or excavation operations shall be minimized to the maximum extent feasible to prevent fugitive dust; and
 - b. All material excavated or graded shall be sufficiently watered to prevent dust from leaving the construction area and to create a “crust” after each day's activities ceases. Watering shall occur at least twice daily with complete coverage, preferable in the late morning and after work is done for the day;
 - c. All material transported on-site or off-site shall be either sufficiently watered or securely covered to prevent fugitive dust;
 - d. All area of vehicle movement shall be water appropriately to prevent dust from leaving the construction site;
 - e. Soil stockpiles for more than two days shall be covered, kept moist, or treated with

soil binders to prevent dust generation;

- f. Gravel pads shall be installed at all access points to prevent tracking of mud onto public roads; and
- g. Visible dust beyond the property line emanating from the project shall be prevented to the maximum extent feasible.

- PL-18. The applicant and the applicant's construction manager shall participate in a pre-construction meeting with the City of South Pasadena Planning and Building Divisions, and Public Works Department, to ensure all parties involved understand and implement appropriate construction measures and practices as required by the City, are aware of when construction will occur, what to expect, and to identify potential conflicts to eliminate otherwise unanticipated problems prior to the start of grading.
- PL-19. The use of large vibratory rollers within 20 feet of off-site buildings are prohibited; only use small static wheel rollers or asphalt rollers within 20 feet of off-site buildings are allowed. *(Mitigation Measure MM NOI-1)*
- PL-20. Upon discovery of any tribal cultural or archaeological resources, cease construction activities in the immediate vicinity of the find until the find can be assessed. All tribal cultural and archaeological resources unearthed by project construction activities shall be evaluated by the qualified archaeologist and tribal monitor/consultant approved by the Gabrieleño Band of Mission Indians-Kizh Nation. If the resources are Native American in origin, the Gabrieleño Band of Mission Indians-Kizh Nation shall coordinate with the landowner regarding treatment and curation of these resources. Typically, the Tribe will request preservation in place or recovery for educational purposes. Work may continue on other parts of the project site while evaluation and, if necessary, additional protective mitigation takes place (CEQA Guidelines Section 15064.5 [f]). If a resource is determined by the qualified archaeologist to constitute a "historical resource" or "unique archaeological resource", time allotment and funding sufficient to allow for implementation of avoidance measures, or appropriate mitigation, must be available. The treatment plan established for the resources shall be in accordance with CEQA Guidelines Section 15064.5(f) for historical resources. *(Mitigation Measure MM TR-2)*
- PL-21. Per Public Resources Code Sections 21083.2(b) for unique archaeological resources, preservation in place (i.e., avoidance) is the preferred manner of treatment. If preservation in place is not feasible, treatment may include implementation of archaeological data recovery excavations to remove the resource along with subsequent laboratory processing and analysis. All tribal cultural resources shall be returned to the Tribe. Any historic archaeological material that is not Native American in origin shall be curated at a public, nonprofit institution with a research interest in the materials, such as the Natural History Museum of Los Angeles County or the Fowler Museum, if such an institution agrees to accept the material. If no institution accepts the archaeological material, they shall be offered to the Tribe, local school, or historical society in the area for educational purposes. *(Mitigation Measure MM TR-3)*

- PL-22. Native American human remains are defined in PRC 5097.98 (d)(1) as an inhumation or cremation, and in any state of decomposition or skeletal completeness. Funerary objects, called associated grave goods in PRC 5097.98, are also to be treated according to this statute. Health and Safety Code 7050.5 dictates that any discoveries of human skeletal material shall be immediately reported to the County Coroner and excavation halted until the coroner has determined the nature of the remains. If the coroner recognizes the human remains to be those of a Native American or has reason to believe that they are those of a Native American, he or she shall contact, by telephone within 24 hours, the Native American Heritage Commission (NAHC) and PRC 5097.98 shall be followed. *(Mitigation Measure MM TR-4)*
- PL-23. Upon discovery of human remains, the tribal and/or archaeological monitor/consultant will immediately divert work at minimum of 150 feet and place an exclusion zone around the discovery location. The monitor/consultant(s) will then notify the Tribe, the qualified lead archaeologist, and the construction manager who will call the coroner. Work will continue to be diverted while the coroner determines whether the remains are human and subsequently Native American. The discovery is to be kept confidential and secure to prevent any further disturbance. If the finds are determined to be Native American, the coroner will notify the NAHC as mandated by state law who will then appoint a Most Likely Descendent (MLD). *(Mitigation Measure MM TR-5)*
- PL-24. If the Gabrieleno Band of Mission Indians-Kizh Nation is designated MLD, the Koo-nas-gna Burial Policy shall be implemented. To the Tribe, the term “human remains” encompasses more than human bones. In ancient as well as historic times, Tribal traditions included, but were not limited to, the preparation of the soil for burial, the burial of funerary objects with the deceased, and the ceremonial burning of human remains. The prepared soil and cremation soils are to be treated in the same manner as bone fragments that remain intact. Associated funerary objects are objects that, as part of the death rite or ceremony of a culture, are reasonably believed to have been placed with individual human remains either at the time of death or later; other items made exclusively for burial purposes or to contain human remains can also be considered as associated funerary objects. *(Mitigation Measure MM TR-6)*
- PL-25. Prior to the continuation of ground disturbing activities, the landowner shall arrange a designated site location within the project footprint for the respectful reburial of the human remains and/or ceremonial objects. In the case where discovered human remains cannot be fully documented and recovered on the same day, the remains will be covered with muslin cloth and a steel plate that can be moved by heavy equipment placed over the excavation opening to protect the remains. If this type of steel plate is not available, a 24-hour guard should be posted outside of working hours. The Tribe will make every effort to recommend diverting the project and keeping the remains in situ and protected. If the project cannot be diverted, it may be determined that burials will be removed. The Tribe will work closely with the qualified archaeologist to ensure that the excavation is treated carefully, ethically, and respectfully. If data recovery is approved by the Tribe, documentation shall be taken which includes at a minimum detailed descriptive notes and sketches.

Additional types of documentation shall be approved by the Tribe for data recovery purposes. Cremations will either be removed in bulk or by means as necessary to ensure completely recovery of all material. If the discovery of human remains includes four or more burials, the location is considered a cemetery and a separate treatment plan shall be created. Once complete, a final report of all activities is to be submitted to the Tribe and the NAHC. The Tribe does NOT authorize any scientific study or the utilization of any invasive and/or destructive diagnostics on human remains.

Each occurrence of human remains and associated funerary objects will be stored using opaque cloth bags. All human remains, funerary objects, sacred objects and objects of cultural patrimony will be removed to a secure container on site if possible. These items should be retained and reburied within six months of recovery. The site of reburial/repatriation shall be on the project site but at a location agreed upon between the Tribe and the landowner at a site to be protected in perpetuity. There shall be no publicity regarding any cultural materials recovered. *(Mitigation Measure MM TR-7)*

- PL-26. Archaeological and Native American monitoring and excavation during construction projects will be consistent with current professional standards. All feasible care to avoid any unnecessary disturbance, physical modification, or separation of human remains and associated funerary objects shall be taken. Principal personnel must meet the Secretary of Interior standards for archaeology and have a minimum of 10 years of experience as a principal investigator working with Native American archaeological sites in southern California. The qualified archaeologist shall ensure that all other personnel are appropriately trained and qualified. *(Mitigation Measure MM TR-8)*
- PL-27. Construction activities affecting traffic and parking shall cease, starting at 2:00 p.m. to allow setup and operation of the weekly Thursday Farmers Market.
- PL-28. Alternative pedestrian access shall be provided on and through the project site if the existing sidewalk is not available for public use during construction. The alternative pedestrian access shall be approved the City prior to closing the public sidewalk.
- PL-29. The Soils Management Plan (SMP) approved by the Planning Department shall be followed during excavation.

Prior to Issuance of Grading Permit

- PL-30. Planning and Public Works Departments. The construction management plan shall include, but not be limited to:
 - a. A proposed haul route and location of a proposed off-site construction staging area where project construction workers and/or subcontractors will park and equipment will be stored. Equipment and construction staging area shall be located away from adjacent residential uses. Any construction activity that may require closing public roadways shall be identified and mitigation identified as

part of the staging plan. The applicant shall obtain input from Public Works to identify haul route and staging area. The applicant shall provide notification of at least 48 hours prior to any road closure to all affected property owners.

- b. Construction haul routes shall be designed to avoid noise sensitive uses (e.g., residences, convalescent homes, etc.) to the extent feasible. (*Mitigation Measure REC NOI-1*)
- c. A plan for dust control techniques to be implemented during project construction which shall include, but not be limited to, plans for daily watering of the construction site, limitations on construction hours, and adherence to standard construction practices such as watering of inactive and perimeter areas.
- d. A traffic control plan for the duration of the construction prepared by a licensed civil engineer for approval by the City Engineer. The applicant shall notify businesses, residents impacted by any parking restrictions, road closure, and any off-site staging areas during construction.
- e. A list of construction equipment, fixed or mobile, showing that all equipment will be equipped with properly operating and maintained mufflers and other State-required noise attenuation devices. (*Consistent with Mitigation Measure REC NOI-1*).
- f. Stationary construction equipment shall be placed such that emitted noise is directed away from sensitive noise receivers. (*Mitigation Measure REC NOI-1*)
- g. A plan for limiting the number of noise-generating, heavy-duty off-road construction equipment (e.g., backhoes, dozers, excavators, loaders, rollers, etc.) simultaneously used on the project site to no more than one or two pieces of heavy-duty, off-road equipment to reduce construction noise levels.
- h. At least two 24" x 36" signs, legible at a distance of 50 feet, shall be posted at the project site (one sign per street frontage) and shall contain the following information (*Consistent with Mitigation Measure REC NOI-1*):
 - i. Indicate the dates and duration of construction activities.
 - ii. A construction manager (name and telephone number) responsible for maintaining the public right-of-way and project site during all stages of construction until the project is completed.
 - iii. A 24-hour emergency contact person (name and a telephone number) where residents and affected public stakeholders can inquire about the construction process and register complaints. This person shall also be responsible for responding to any complaints about construction noise or activities associated with this project, and shall notify the City to determine the cause and implement reasonable measures to the complaint, as deemed acceptable by the City. All complaints shall be addressed within

24 hours and the person registered the complaint shall be notified of the resolution.

- PL-31. Documentation certifying that property owners and occupants located within 200 feet of the project boundary were sent a notice, at least 15 days prior to commencement of construction of each phase, regarding the construction schedule of the proposed project. *(Consistent with Mitigation Measure REC NOI-1)*
- PL-32. The applicant shall demonstrate to the satisfaction of the Director of Public Works that construction noise reduction methods shall be used where feasible. These reduction methods include shutting off idling equipment, installing temporary acoustic barriers around stationary construction noise sources, maximizing the distance between construction equipment staging areas and occupied residential areas, and electric air compressors and similar power tools. *(Consistent with Mitigation Measure REC NOI-1)*
- PL-33. Applicant shall provide proof to the City of South Pasadena Planning and Community Development Director that the Contractor would not use large vibratory rollers within 20 feet of off-site buildings, and/or would only use small static wheel rollers or asphalt rollers within 20 feet of off-site buildings. *(Mitigation Measure MM NOI-1)*
- PL-34. Applicant shall provide a signed contract with a tribal monitor/consultant who is both approved by the Gabrieleño Band of Mission Indians-Kizh Nation Tribal Government and is listed under the NAHC's Tribal Contact List for the area of the project location. This list is provided by the NAHC. The contract shall include the following *(Mitigation Measure MM TR-1)*:
- a. The monitor/consultant will only be present on-site during the construction phases that involve ground disturbing activities. Ground disturbing activities are defined by the Gabrieleño Band of Mission Indians-Kizh Nation as activities that may include, but are not limited to, pavement removal, potholing or auguring, grubbing, tree removals, boring, grading, excavation, drilling, and trenching, within the project area.
 - b. The tribal monitor/consultant shall complete daily monitoring logs that will provide descriptions of the day's activities, including construction activities, locations, soil, and any cultural materials identified.
 - c. The on-site monitoring shall end when the project site grading and excavation activities are completed, or when the tribal representatives and monitor/consultant have indicated that the project site has a low potential for impacting tribal cultural resources.
- PL-35. Applicant shall provide documentation to the Director of Planning and Community Development demonstrating coordination and/or approval from Metro and the California Public Utilities Commission about the proximity of the light rail facilities and the at-grade crossing.

- PL-36. Applicant shall submit a Soils Management Plan ("SMP") prepared by a licensed geotechnical firm to the Planning Department for review and approval. The purpose of this SMP shall be to establish the framework under which impacted soils (including containing a contaminant) at the site discovered during excavation will be investigated and the protocols for how they will be managed. The procedures described in the SMP should only be applied where impacted soils are identified, and non-impacted soils should continue to be managed outside of the framework of the SMP, pursuant to the excavation contractor's normal course of work under its grading permit.

Prior to issuance of Building Permits

- PL-37. The applicant shall provide photographs to Planning, Building, and Public Works Departments illustrating that proper construction fencing is installed and signs describing construction and noise disturbance coordinator contact information are posted at the construction site.
- PL-38. The applicant shall submit final landscape and irrigation plans showing compliance with state law and the City's Water Efficient Landscape Ordinance (SPMC Section 35.50), for approval by the Director of Planning and Community Development. The final landscape plans shall provide, but not limited to the following:
- a. Screening of all above ground equipment from public view.
 - b. Enlarge the existing tree wells on El Centro to 25 square feet and install tree grates. Tree grates shall be of either metal or cast-iron construction and approved by the City prior to installation.
 - c. Replace the existing Carrotwood tree on El Centro with Peppermint Willow to create a consistent streetscape.
 - d. Incorporate the Tree Removal Permit conditions listed below.
- PL-39. The applicant shall submit an outdoor lighting plan showing adequate lighting for security purposes and in compliance with Section 36.300.900 of the Zoning Code for review and approval by the Planning and Community Development Director. The external lighting shall be stationary, directed away from adjacent properties and public rights of way, and of an intensity compatible with the surrounding neighborhood.
- PL-40. A security plan for the parking garage shall be reviewed and approved by the Planning and Community Development Director and Police Chief.
- PL-41. The applicant shall receive approval from the Public Art Commission for either the installation of public art at the project site or payment of the required fee pursuant to South Pasadena Municipal Code Section 36.395. A copy of the approval shall be submitted with plan check plans.

- PL-42. The applicant shall provide revised development plans for approval by the Director of Planning and Community Development and the changes shall be reflected in the construction drawing set:
- a. Installation of a minimum of 4 and a maximum of 15 Electric Vehicles (EV) charging stations for non-residential use, as determined appropriate by the Mobility and Transportation Infrastructure Commission (MTIC). EV charging stations for non-residential use shall be located in a shared common area that can be accessed by the public.
 - i. All multifamily residential parking spaces shall be EV charging spaces capable of supporting future EV supply equipment (EVSE) per Section 4.106.4.2 of the CalGreen Code.
 - b. Location of 36 public parking spaces that shall not be tandem and shall be located near the elevator for accessing the commercial restaurant and retail spaces on the ground floor.
 - c. A signage design for posting at the 36 public parking spaces.
 - d. Installation of on-site security system in the parking garage with signage posted indicating 24-hour assistance contact information.
 - e. Installation of 11 bicycle parking spaces for residential use and 8 for non-residential uses shall be provided. Provide details for location, design of bicycle parking spaces, and facilities in accordance with the requirements of South Pasadena Municipal Code Section 36.310.100, "Bicycle Parking."
 - f. Installation of bike racks on the sidewalk between street trees on El Centro Street, in accordance with City Bicycle Master Plan. The bike racks shall be install such that a 4-foot wide pedestrian access be maintained at all time.
 - g. The building on El Centro shall be modified to avoid overhanging above the public sidewalk, or obtain approval from Public Works to allow the encroachment.
 - h. The proposed brick color and design for the contemporary style building on El Centro Street is the approved design treatment.
 - i. The revised East Elevation is the approved design solution; the elevation should not revert back to the original proposal.
 - j. The plans shall be revised to show "Open Space E" as a lobby for private residential use and all open space calculations shall be updated to remove Open Space E.
 - k. The plans shall be revised to reflect the Class III Bike Lane on El Centro Street, correcting the label "Class II Bike Lane."

- PL-43. The construction plans shall show that the parking garage provides adequate pedestrian exist routes during an emergency.
- PL-44. The applicant shall submit a Master Sign Plan for review and approval pursuant to Section 36.320 of the Zoning Code. The Master Sign Plan shall incorporate directional signage to access the parking garage and direct the public to public parking spaces.
- PL-45. Applicant shall demonstrate, to the satisfaction of the City of South Pasadena Building Official that the applicable project plans and specifications incorporate a minimum of sound transmission class (STC) 39 rated for residential units facing the Metro Gold Line tracks windows and the remaining on-site residential units incorporate a minimum of STC 32 rated windows. (*Mitigation Measure REC-NOI-2*)
- PL-46. Applicant shall demonstrate, to the satisfaction of the City of South Pasadena Building Official that residential units with patios facing the Metro Gold Line tracks shall incorporate noise attenuating balcony and/or patio treatments. Balconies more than 6 feet deep and patios shall include a barrier that is at least 42 inches high as measured from the floor. Acceptable materials for the construction of the barrier shall have a weight of 2.5 pounds per square foot of surface area. The barrier may be composed of the following: masonry block, stucco veneer over wood framing (or foam core), glass, Plexiglass or Lexan (1/4-inch thin) and may be constructed out of a combination of the above listed materials. (*Mitigation Measures REC NOI-3*)

Prior to Final Inspection

- PL-47. The applicant shall install all landscaping and irrigation per the approved final landscape plans pursuant to the City's Water Efficient Landscape Ordinance (SPMC Section 35.50). The applicant shall provide documentations as required under SPMC Section 35.50, which shall include, but not limited to the following:
- a. A Certification of Completion certifying that landscape and irrigation have been installed per the approved final landscape plan and complies with the City Water Efficient Landscape Ordinance.
 - b. A Landscape Irrigation Audit Report from a certified landscape irrigation auditor shall be submitted to the City. The landscape irrigation audit shall not be conducted by the person who designed the landscape or installed the landscape irrigation.
- PL-48. The applicant shall provide photographs of the following:
- a. The locations of all on-site security system in the parking garage with signage posted indicating 24-hour assistance contact information.
 - b. The location of 36 parking spaces reserved for public use with signage posted indicating public parking spaces.

- PL-49. The applicant shall record a covenant or other instrument acceptable to the City that runs with the land specifying the following:
- a. All common open space areas, both residential and commercial, including all courts, paseos, pedestrian access, all private water, drainage, and sewer, facilities; storm water treatment devices, landscaping within designated landscape areas (including irrigation system), and community mailboxes, etc. shall be maintained in perpetuity by a designated entity.
 - b. All 36 automobile parking spaces designated for public use shall be maintained for public parking in perpetuity by a designated entity.
 - c. The parking garage door and all signage shall be maintained and any modifications to the parking garage door and signage shall be subject to review and approval by the City.
 - d. If parking fee is to be collect for the public parking spaces, approval from the City shall be obtained.
 - e. The public and private areas of the parking garage (including paving and striping), electric vehicle charging mechanisms, gates, all signage, lightings and shall be maintained by appropriate entities in perpetuity.
 - f. Ventilation mechanisms, fire protection, security systems, exterior lightings, and building facades shall be maintained by appropriate entities in perpetuity.
 - g. Maintenance of the windows for the commercial uses to be unobscured at all time.
 - h. All bicycle parking spaces for residential and non-residential uses within the project site and on the public right-of-way shall be maintained in perpetuity by a designated entity.
- PL-50. A night time site walk shall be conducted with Planning staff to approve the level of outdoor lighting to ensure no direct light or excess glare onto street, neighborhood, and adjacent neighbors will occur.
- PL-51. The applicant shall enter into an agreement with the City to pay for preparation of a traffic study that shall focus on circulation after the project is completed and occupied. The traffic study will only be required if the Chair of the Planning Commission and the Chair of the Mobility and Transportation Commission determine that such study is required within one year after operation of the project. If required, the traffic study shall focus on on-site and off-site circulation, including the driveway access on El Centro Street (inbound/outbound) and turning movements to determine appropriate striping, pavement markings, and/or signage to improve motor vehicle and pedestrian safety on El Centro Street.

PUBLIC WORKS DEPARTMENT

General Conditions

- PW-1. The applicant shall be responsible for all costs incurred by the City and or the Public Works Department for the use of professional services or consultants in the review, investigation, and or plan check of the public improvement plans. The applicant shall deposit monies into an approved project account from which the City shall draw funds to pay for said professional services.
- PW-2. The applicant shall pay for all applicable city fees including Public Works Department plan review and permit fees per the City's Master Fee Schedule found at: <https://www.southpasadenaca.gov/government/departments/finance/master-fee-schedule>.
- PW-3. The applicant shall pay City sewer and/or water connection charges per Resolution 7390. Resolution 7390 can be found at: <http://opengov.southpasadenaca.gov/WebLink/DocView.aspx?id=58917&searchid=4309e405-eafc-47f4-bd28-040f4a8319dc&dbid=0>
- PW-4. The applicant shall provide copies of Title Reports to the Public Works Department.
- PW-5. No storage or occupation of the public right-of-way shall be permitted at any time.
- PW-6. Street or lane closures are only allowed between 9:00 am and 3:00 pm, unless otherwise approved by the Public Works Department. Whenever there will be a street closure exceeding thirty minutes in duration, the applicant shall provide written notification about the street closure to all impacted businesses and residents at least 48 hours prior to the street closure. An encroachment permit shall be obtained from the Public Works Department prior to any street closure. All lane closures shall be in accordance to MUTCD 2014 Rev. 4 or the Watch Manual. Traffic Control plans must be approved by the Engineer prior to start of construction.
- PW-7. The applicant shall post "Temporary No Parking " signs along the entire length of the property prior to start of any construction. The temporary no parking signs will be covered at the end of every working day and uncovered at the start of the following working day prior to any construction activity. If two-way traffic cannot be accommodated, a traffic control plan prepared by a CA licensed traffic engineer depicting the use of flagmen and/or detouring shall be submitted for review. The applicant shall obtain encroachment permits from the Public Works Department prior to the installation of any traffic control devices in the right-of-way. Applicant must be sure of the dates posted on the Temporary No Parking signs prior to commencing work.
- PW-8. The applicant shall obtain a dumpster permit from the Public Works Department. During project construction, temporary bins (low boy) shall be provided and shall be "roll off" style provided by Athens Services. Athens Services has an exclusive agreement with the City for the provision of trash removal services: only Athens dumpsters can be used. Dumpsters placed on the roadway shall require a protective

barrier underneath (such as plywood) to protect the pavement. At no time shall the temporary dumpsters be placed on a public sidewalk blocking pedestrian access.

- PW-9. The applicant shall obtain oversize/overload permits during the stages of construction involving activities such as but not limited to, grubbing, grading, drilling for piles and/or caissons, trenching for footings, excavating for retaining wall, core soil sampling, etc.
- PW-10. Roadway lighting on El Centro Street and Orange Grove Place shall be evaluated by the applicant's engineer for adequacy in accordance with current Illuminating Engineering Society (IES) standards. A copy of the evaluation report shall be submitted to the Public Works Department for review and approval. If the evaluation report identifies additional lighting is required, the applicant shall install new lighting along the frontage of the property, upgrade any existing street lighting to LED, and comply with IES standards.
- PW-11. Prior to approval of a street improvement plan, a focused traffic study shall be prepared by a CA licensed traffic engineer and submitted to the Public Works Department for review and approval. The study shall focus on onsite and offsite circulation including but not limited to access locations, inbound/outbound turning movements, internal circulation, parking operations, ADT and daily truck volume, and ADT during peak flow hours to determine the need for additional striping, pavement markings, and signage that will improve motor vehicle and pedestrian safety.
- PW-12. Development impacting the surround roadway system must take into account and mitigate the additional traffic volumes and the altering of existing traffic patterns. In addition to designing appropriate access for the proposed development, planners and developers must strive to maintain a satisfactory transportation level of service and safety for all roadway users. Traffic mitigation concerns will take into account the recommendations of the approved traffic impact study as performed by a CA licensed traffic engineer.
- PW-13. The applicant will be responsible for replacing/improving the existing Class III bicycle lane on El Centro Street.
- PW-14. Provide list of all utility agencies and outside stakeholders and their contact phone numbers. Applicant to include this information should be on the project plans.
- PW-15. The applicant shall obtain and pay all fees of an encroachment permit from the Public Works Department for any work proposed within the public right-of-way.
- PW-16. The applicant shall mitigate any existing run-on drainage from adjacent properties that may no longer properly drain due to the construction of new retaining walls.

Prior to Issuance of Grading Permits

- PW-17. The applicant shall provide a labor and materials bond and a performance bond based on 1½ times the estimated value of the proposed improvements in the public right-of-way prior to the issuance of a grading permit. The applicant's civil engineer

shall prepare the construction cost estimate and obtain approval from the City Engineer.

- PW-18. The applicant shall provide a sewer study. Provide a report that the proposed sewer outlet on El Centro Street and/or Orange Grove Place has adequate capacity for the proposed sewage flow. The developer shall be responsible for all sewer improvements to provide adequate capacity for the proposed sewage flow.
- PW-19. Provide a copy of a will-serve letter from the Los Angeles County Sanitation District (LACSD).
- PW-20. If any existing sewer laterals are to be used for the proposed development, the applicant shall perform a video inspection of the existing sewer lateral for obstructions and remove any obstructions observed. Provide copy of the inspection video of the cleared pipe to the Public Works Department for review.
- PW-21. The applicant shall submit a water demand calculation to the City. The demand water calculation will used to create a Hydraulic Analysis Reports to determine the water availability for the proposed project.
- PW-22. The applicant shall pay for the cost to generate the hydraulic modeling and the cost to create a Hydraulic Analysis Reports. In addition, the applicant is responsible for installation of all new fire hydrants based and Fire Hydrant raised blue buttons on the final reports. Please contact Water Operation Manager at (626) 460-6393 for additional information.
- PW-23. All flood control plans to be reviewed by the City or the LACFCD shall be submitted through the City of South Pasadena, unless otherwise directed by the City Engineer. For projects requiring LACFCD review, the developer shall pay the appropriate fees to LACFCD.
- PW-24. The applicant shall provide civil improvement plans for review and approval by the City Engineer showing the following:
 - a. Existing conditions plans:
 - i. All existing conditions within the full width of the public right-of-way including curb/gutter, curb ramps, driveways, survey monuments, drainage structures, streetlights, fire hydrants, trees, traffic signs, traffic signals, bicycle racks and other appurtenances on El Centro Street and Orange Grove Place.
 - b. Utility improvement plans:
 - i. The plan shall show the location and size of all existing utilities on adjacent street(s), as well as location and size of all existing and proposed services serving the property as required by the City Engineer. Existing utility locations and depth shall be verified by potholing.

- ii. Include the location and area of trench sections for the proposed water, sewer, storm drain lines, and other underground utilities within the public right-of-way.
- iii. Include the elevation of the hydraulic grade line (HGL) for proposed storm drains.
- iv. Include the location of any backflow preventers. Backflow preventers shall be tested by a certified tester and certified test forms shall be submitted to the Water Department.
- v. Underground utilities to be placed in the public right-of-way or easement that will be owned and maintained by other entities shall be reviewed by the City prior to Utility Agency approval. The City shall have a place on the title sheet to accept the plans with a statement: "The City's acceptance is limited to the placement of utilities relative to public infrastructure clearances, uses, and future plans within the right-of-way".

c. Street improvement plans:

- i. The plan shall show all street improvements within the full of the public right-of-way including curb/gutter, curb ramps, driveways, survey monuments, drainage structures, streetlights, fire hydrants, trees, traffic signs, traffic signals, bicycle racks, roadway surface treatments and other appurtenances on El Centro Street and Orange Grove Place as required by the City Engineer.

d. Striping and signing plans:

- i. The plan shall show all street striping, signage, curb markings, bike lanes per the City's Bicycle Master Plan, and other markings to be replaced or installed on El Centro Street and Orange Grove Place as required by the City Engineer.

PW-25. The applicant shall provide a Construction Management Plan (CMP) for all construction activities within the public right-of-way to the Public Works Department for review and approval. The CMP shall include a truck route map, on-site staging plan, contractor parking locations, temporary storage of construction-related materials, and Best Management Practices (BMPs). The CMP shall also include a construction schedule and traffic control plan prepared by a CA licensed traffic engineer for each stage of major construction activities and the timing of special access necessary as it relates to site staging, traffic, access, and any potential conflicts with the adjacent train tracks. Any changes to the construction schedule shall be submitted schedule to the Public Works Department. The CMP shall include the Metro Station Train Schedule and Train Master Contact info.

PW-26. The applicant shall maintain safe pedestrian access, including ADA and bicycle, at all times. This may include, but not be limited to, the installation of temporary

sidewalk/bicycle facilities and accounting for ADA access throughout the duration of construction. A temporary pedestrian/bicycle facilities and ADA access plan shall be submitted to the Public Works Department for review.

- PW-27. The applicant shall submit a Stormwater Pollution Prevention Plan (SWPPP) and file a Notice of Intent with State Water Quality Control Board. A Waste Discharge Identification Number (WDID#) must be obtained prior to the start of any construction work onsite.
- PW-28. Ingress and egress into and out of the driveway on El Centro Avenue is restricted to right turn movements only. The project driveway shall be designed with a median island or other permanent feature to restrict left-turn movements into and out of the project driveway. The design of the driveway will be submitted to Public Works Director for review and approval.

Prior to Issuance of Building Permit

- PW-29. The applicant shall obtain the Water Department's approval for water meter requirements. The applicant shall contact the City Water Division to coordinate size, location, and associated fee for new water meter connections, as applicable. Please contact Water Operation Manager at (626) 460-6393 for additional information.
- PW-30. The applicant shall verify with the Fire Department for water meter requirements for proposed fire sprinkler systems.

Prior to Final Inspection

- PW-31. The applicant shall replace all broken, damaged, or out-of-grade curb and gutter, sidewalk, and driveway along El Centro Street and Orange Grove Place fronting the property to the satisfaction of the Engineer per SPMC Section 31.54.
- PW-32. The applicant shall repaint all curb markings fronting the property, unless otherwise noted on the plans, on El Centro Street and Orange Grove Place to the satisfaction of the Engineer.
- PW-33. The applicant shall paint three (3) feet of red curb on the both side of the proposed driveway on El Centro Street to the satisfaction of the City Engineer.
- PW-34. The applicant shall grind and overlay minimum 3" of existing asphalt from curb to curb along the entire street width on Orange Grove Place adjacent to the project boundary. The overlay shall be placed in two 1.5" lifts using ¾" PG 64-10 Hot Mix Asphalt.
- PW-35. The applicant shall grind and overlay minimum 3" of existing asphalt from curb to curb along the entire street width on El Centro Street adjacent to the project boundary. The overlay shall be placed in two 1.5" lifts using ¾" PG 64-10 Hot Mix Asphalt

- PW-36. The applicant shall install bicycle racks per the City's Bicycle Master Plan. The bicycle racks shall be installed in between proposed tree wells on El Centro Street. The applicant shall also include in the CC&Rs for the unconditional and indefinite maintenance of the bicycle racks. Bicycles racks shall at no time reduce the sidewalk width below 4 feet.

Prior to Final Map Approval

- PW-37. The applicant shall provide a copy of the Covenants, Conditions & Restrictions (CC&Rs) for review and approval prior to Final Map approval.
- PW-38. Prior to Final Map approval, the applicant shall provide a copy of the approved homeowner's association (HOA) documentation from the Building and Safety Department.
- PW-39. Prior to Final Map approval, the applicant shall submit a complete copy of the Final Map to the Los Angeles County Department of Public Works Land Development Division (LDD) for review of mathematical accuracy and provide a copy of the approval letter from LDD to the City Engineer.
- PW-40. The applicant is responsible to install, document, and submit centerline tie information for revisions to existing streets and replacement of centerline ties removed during construction.
- PW-41. The applicant shall preserve existing survey monuments (property corners, centerline ties, etc.) in the public right-of-way. All disturbed and removed survey monuments in the public right-of-way shall be re-established and a Record of Survey shall be filed with the County Surveyor in accordance with applicable provision of State law. The applicant licensed surveyor shall file an initial record of survey at the County Recorder's Office for all survey monuments, bench marks or curb chisels that will be removed due to Construction. The applicant's licensed surveyor shall restore all removed survey monuments, bench marks and curb chisels to original location and file a final record of survey with the County Recorder's Office. A final report shall be submitted to Public Works confirming the final recordation.

Tree Removal Permit Conditions

- PW-42. Show all existing and proposed trees (including parkway trees), including size and species, and indicate their disposition. The applicant shall show methods of protecting existing onsite and on the parkway trees during construction on the plans. The applicant shall submit an arborist report for all trees (including parkway trees) at project completion to the City, demonstrating that all protection methods were followed and document the tree disposition after construction.
- PW-43. Tree removals associated with development shall only be conditionally approved subject to the applicant receiving their development building permit, paying all fees associated with the tree removal as established by resolution of the city council, and paying a deposit in the amount of \$360 for the 1 replacement trees. Upon the planning review authority's approval of the development application and

satisfaction of all conditions of approval, and payment of all required fees, the applicant shall be issued a tree removal permit.

- PW-44. Replacement trees shall be planted per SPMC section 34.12-5 (b). The applicant is required to plant 1 replacement trees based on the trees proposed for removal. The South Pasadena Public Works Department shall inspect the replacement trees before being planted.
- PW-45. Upon the applicant's proof to the city's satisfaction that the applicant has complied with the approved tree replacement plan, the city shall reimburse the applicant's replacement tree deposit. Should the applicant fail to plant any replacement trees per the approved replacement tree plan, the city shall retain the amount of the replacement tree deposit necessary to cover the cost to plant any required replacement trees in alternative locations within the city (public right-of-way, park, etc.), as permitted by SPMC chapter 34.
- PW-46. No trees shall be removed from the site until Tree Removal Permits are issued.

BUILDING AND SAFETY DIVISION

General conditions for all proposed buildings:

- BD-1. The second sheet of building and grading plans is to list all conditions of approval and to include a copy of the Planning Commission Decision letter. This information shall be incorporated into the plans prior to the first submittal for plan check.
- BD-2. The initial plan check fee will cover the initial plan check and one recheck only. Additional review required beyond the first recheck shall be paid for on an hourly basis in accordance with the current fee schedule.
- BD-3. School Developmental Fees shall be paid to the School District prior to the issuance of the building permit.
- BD-4. Fees shall be paid to the County of Los Angeles Sanitation District prior to issuance of the building permit.
- BD-5. Park Impact Fee to be paid at the time of permit issuance.
- BD-6. Per Chapter 16A of the City of South Pasadena Municipal Code, Growth fee to be paid at the time of permit issuance.
- BD-7. A separate address required. An application to assign address and unit numbers shall be filed with Public Works Department prior to plan check submittal.
- BD-8. In accordance with paragraph 5538(b) of the California Business and Professions Code, plans are to be prepared and stamped by a licensed architect.
- BD-9. Structural calculations prepared under the direction of an architect, civil engineer or structural engineer shall be provided.

- BD-10. A geotechnical and soils investigation report is required, the duties of the soils engineer of record, as indicated on the first sheet of the approved plans, shall include the following:
- a) Observation of cleared areas and benches prepared to receive fill;
 - b) Observation of the removal of all unsuitable soils and other materials;
 - c) The approval of soils to be used as fill material;
 - d) Inspection of compaction and placement of fill;
 - e) The testing of compacted fills; and
 - f) The inspection of review of drainage devices.
- BD-11. The geotechnical and soils engineer shall review and approve the project grading and foundation plans to show compliance that their recommendations have been properly implemented.
- BD-12. The owner shall retain the soils engineer preparing the Preliminary Soils and/or Geotechnical Investigation accepted by the City for observation of all grading, site preparation, and compaction testing. Observation and testing shall not be performed by another soils and/or geotechnical engineer unless the subsequent soils and/or geotechnical engineer submits and has accepted by Building Division, a new Preliminary Soils and/or Geotechnical Investigation.
- BD-13. At the time of plan submittal, the pdf copy of the soils report shall be provided by the applicant
- BD-14. A grading and drainage plan shall be approved prior to issuance of the building permit. The grading and drainage plan shall indicate how all storm drainage including contributory drainage from adjacent lots is carried to the public way or drainage structure approved to receive storm water.
- BD-15. Redevelopment project with land disturbing activity that would result in the replacement of 5,000 square feet or more of impervious surface area on an already developed site on Planning Priority Project categories shall comply with LID requirements per City Ordinance. LID systems shall be tested prior to certificate of occupancy.
- BD-16. All State of California disability access regulations for accessibility and adaptability shall be complied with.
- BD-17. Approval is required from the Los Angeles County Health Department for restaurants.
- BD-18. The building permit will not be issued until the property has been surveyed and the boundaries marked by a land surveyor licensed by the State of California.
- BD-19. City records indicate the proposed site is a combination of lots under common ownership. A parcel merger by document shall be obtained or a parcel/tract map shall be processed **prior** to issuance of the building permit.
- BD-20. A parcel/tract map shall be processed prior to issuance of the building permit.

- BD-21. Foundation inspection will not be made until the excavation has been surveyed and the depth of the footings has been determined to be in accordance with the approved plans by a land surveyor licensed by the State of California. THIS NOTE IS TO BE PLACED ON THE FOUNDATION PLAN IN A PROMINENT LOCATION.
- BD-22. Foundation inspection will not be made until setback on the all sides of the building has been surveyed and the location of the footings has been determined to be in accordance with the approved plans by a land surveyor licensed by the State of California. THIS NOTE IS TO BE PLACED ON THE FOUNDATION PLAN IN A PROMINENT LOCATION.
- BD-23. Energy calculations are required.
- BD-24. Electrical plan check is required.
- BD-25. Mechanical plan check is required.
- BD-26. Plumbing plan check is required.
- BD-27. Project shall comply with the CalGreen Non-Residential mandatory requirements.
- BD-28. Project shall comply with the CalGreen Residential mandatory requirements.
- BD-29. Plumbing fixtures shall be provided as required by the Chapter 4 of the California Plumbing Code. Additional fixtures may be required if not in compliance.
- BD-30. No form work or other construction materials will be permitted to encroach into adjacent property without written approval of the affected property owner.
- BD-31. Demolition permit is required for any existing buildings which are to be demolished.
- BD-32. Separate plan review and permit is required for each detached retaining wall.
- BD-33. All fire sprinkler hangers must be designed, and their location approved by an engineer or an architect. Calculations must be provided indicating that the hangers are designed to carry the tributary weight of the water filled pipe plus a 250-pound point load. A plan indication this information must be stamped by the engineer or the architect and submitted for approval prior to issuance of the building permit.
- BD-34. Separate permit is required for Fire Sprinklers.

Specific conditions for the proposed mixed-use with 5-unit retail with 47-unit residential building and Basement Level 1 for residential parking and Level 2 for general parking:

- BD-35. Ten percent of the total residential parking spaces assigned for the multifamily residential dwelling units (separate from those associated with the “Bungalow” single-family dwellings units) in this building shall be electric vehicle (EV) charging spaces capable of supporting future EV supply equipment (EVSE) per Section 4.106.4.2 of the CalGreen Code (11 EV charging spaces are required for 102 parking spaces provided).

- BD-36. There shall be at least one EV space located in the common use residential parking area and be available for use by all residents per Section 4.106.4.2.1. As such, this EV space shall not be assigned to a specific residential dwelling unit for parking purposes. The rest of the required EV charging spaces may be assigned to residents. When EV charger is installed, accessible space shall be provided for this EV space per Section 4.106.4.2.2, Item 3.
- BD-37. When EV chargers are installed in assigned residential parking spaces, one in every 25 EV spaces (3 EV spaces out of total 57) shall also have an 8-foot wide minimum aisle per Section 4.106.4.2.2, Item 3.
- BD-38. New construction shall comply with Section 5.106.5.3 of the CalGreen Code to facilitate future installations of EVSE in nonresidential parking area (4 EV spaces out of total 65).
- BD-39. When EV chargers are installed in each nonresidential parking facility as determined by the Planning Division (e.g. parking area for retail is a separate facility from parking at bonus area), accessible space shall be provided for each facility per Section 11B-228.3.2.
- BD-40. Bicycle parking for non-residential building shall be provided to meet the requirements per Section 5.106.4 of the CalGreen Code.
- BD-41. Nonresidential building with three habitable stories or fewer and low-rise multifamily buildings shall comply with solar ready building requirements per Section 110.10 of the California Energy Code.
- BD-42. The building height and area shall not exceed the limits specified in Table 503 based on the type of construction as determined by Section 602 and the occupancies as determined by Section 302 except as modified hereafter.
- BD-43. Each portion of a building shall be individually classified in accordance with Section 302.1. Where a building contains more than one occupancy group, the building or portion thereof shall comply with the applicable provisions of Section 508.2, 508.3 or 508.4, or a combination of these sections.
- BD-44. Individual occupancies shall be separated from adjacent occupancies in accordance with Table 508.4.
- BD-45. Public parking garage not meeting the criteria of natural ventilation per Section 406.5.2 shall be designed as enclosed parking garage. Mechanical ventilation in accordance with Los Angeles County Building Code Section 406.6.2 is required for the enclosed parking garage.
- BD-46. The building elements shall have a fire-resistance rating not less than that specified in Table 601 and exterior walls shall have a fire-resistance rating not less than that specified in Table 602. Where required to have a fire-resistance rating by Table 601, building elements shall comply with the applicable provisions of Section 703.2.

- BD-47. Fire-resistance rating requirements for exterior walls based on fire separation distance of 5 to 30 feet shall comply with Table 602 of the Building Code.
- BD-48. Maximum area of exterior wall openings and degree of open protection based on fire separation distance of 5 to 20 feet shall comply with Table 705.8 of the Building Code.
- BD-49. Exterior balconies and similar projections extending beyond the exterior wall shall conform to the requirements of Section 705.2 and Section 1046. Projections shall not extend any closer to the line used to determine the fire separation distance than shown in Table 705.2.
- BD-50. The minimum width or required capacity of a means of egress system shall not be diminished along the path of egress travel per Section 1003.6.
- BD-51. Interior exit stairways shall terminate at an exit discharge or a public way unless the conditions per the exception in Section 1023.3 are met.
- BD-52. Corridor shall be fire resistance rated in accordance with Table 1020.1 and be continuous per Section 1020.6.
- BD-53. Egress balconies shall conform to the requirements per Section 1021.
- BD-54. Exit access travel distances shall be increased up to an additional 100 feet provided the last portion of the exit access leading to the exit occurs on an exterior egress balcony constructed in accordance Section 1021. The length of such balcony shall be not less than the amount of the increase taken per Section 1017.2.1. Exit access travel distance measured per Section 1017.3 shall not exceed the values given in Table 1017.2.
- BD-55. Exterior exit stairway location shall comply with Section 1027.5.
- BD-56. Exterior exit stairway shall be separated from the interior of the building as required in Section 1023.2 unless the conditions per one of the exceptions in Section 1027.6 are met.
- BD-57. Sprinklers protection shall be provided in open-ended corridors and associated exterior stairways as specified in Section 1027.6, Exception 3 per Section 903.3.1.2.2.
- BD-58. Restaurant equal or larger than 750 square feet in dining area shall be classified as A-2 Group Occupancy and be separated from adjacent occupancies in accordance with Table 508.4 of the California Building Code (CBC). Restaurant classified as assembly occupancy of occupant load greater than 49 shall have at least two exits per Section 1006.3.2. An accessible route shall be provided to all functional areas at second floor per Section 11B-206.2.5.
- BD-59. Community room and/or gym equal or larger than 750 square feet in area shall be classified as A-3 Group Occupancy and be separated from adjacent occupancies in accordance with Table 508.4 of the California Building Code (CBC).

- BD-60. Condominiums consist of four or more attached dwelling units with an elevator shall meet the requirements of the California Building Code Section 1106A.
- BD-61. When assigned parking spaces are provided for a resident or a group of residents, at least 2 percent of the assigned parking spaces serving covered multifamily dwelling units shall be accessible in each type of parking facility per Section 1109A.4.
- BD-62. Accessible parking spaces assigned to multifamily R-2 Occupancy Group residential building shall be located on the shortest possible route to a covered multifamily dwelling unit entrance per Section 1107A.7.
- BD-63. Exit access stairways in an enclosed parking garage of S-2 occupancy shall be enclosed with a shaft enclosure constructed in accordance with Section 713 unless one of the conditions listed under Section 1019.3 is met.
- BD-64. At least one accessible route shall be provided within the site from accessible parking in public parking garage as the site arrival point to each entrance of commercial space at the ground level per Section 11B-206.2.1.

Specific conditions for the proposed mixed-use with 10-unit “Townhouses” residential building and Basement Level 1 for residential parking:

- BD-65. Three-story, R-2 occupancy group with only one exit is not permitted per Table 1006.3.2(1) of the California Building Code. This building shall be constructed as Townhouses R-3 Occupancy Group complying with Section R302.2 of the California Residential Code.
- BD-66. Townhouse R-3 Occupancy Group residential building of a different type of construction than that of the R-2 shall be separated by a Fire Wall complying with Section 706 at the common wall between unit 118 and 113 (217 & 312) and another between unit 117 and 115 (219 & 315).
- BD-67. Habitable rooms in Townhouse R-3 Occupancy Group residential building shall comply with light, ventilation, and heating requirements per Section R303.
- BD-68. Multistory condominiums consist of four or more attached dwelling units with no elevator shall meet the requirements of the California Building Code Section 1102A.3.1.
- BD-69. Accessible parking spaces assigned to townhouse R-3 Occupancy Group residential building shall be located on the shortest possible route to a covered multifamily dwelling unit entrance per Section 1107A.7.

Specific conditions for the proposed 3-unit, two-story “Bungalow” single-family dwellings and their residential parking at Basement Level 2:

- BD-70. Bungalow units with their parking garages structurally connected to the general parking garage at basement level 2 is considered a part of the same structure as the general parking garage. Common areas providing circulation to parking garages/spaces associated with these units shall be of the same occupancy and type of construction as those assigned to the general parking garage.
- BD-71. Private garage and carports classified as U Group Occupancy shall not exceed 1,000 square feet and be separated from other private garages in accordance with Section 406.3.1 of the Building Code.
- BD-72. Each of the three attached private garages to single-family dwellings shall comply electric vehicle (EV) charger facilitation requirements per Section 4.106.4.1. EV chargers provided in private garages are under separate EV facilitation requirements and shall not be counted toward those for multifamily dwellings.
- BD-73. Residential portion of the bungalow units structurally connected to the podium deck of the residential parking garage at basement level 1 is considered a part of the same structure as the residential parking garage.
- BD-74. For the purpose of complying with accessibility requirements, bungalow units shall be considered as “attached” multistory condominiums dwelling units with no elevator to the adjacent 10-unit townhouses and shall meet the requirements of the California Building Code Section 1102A.3.1.
- BD-75. At least 10 percent but not less than one of the multistory condominium dwellings in buildings, which contain Covered Multifamily Dwellings, with no elevator shall comply with the requirements listed in Section 1102A.3.1. The minimum number of units which must comply with this section shall be calculated using the total number of all multistory dwelling units in buildings located on the same site which are subject to this section.
- BD-76. Private garages accessory to covered multifamily dwelling units, shall be accessible as required in Section 1109A.2.1. Private garages include individual garages and multiple individual garages grouped together.

FIRE DEPARTMENT

- FD-1. All construction must comply with all appropriate fire protection installation standards as adopted by the South Pasadena Fire Department.
- FD-2. Shall comply with all current adopted California Building Code, Fire Codes, NFPA and South Pasadena Municipal Code, requirements are based on occupancy classification.
- FD-3. Fire Sprinkler Required. Approved automatic sprinkler systems in new buildings and shall be provided in the locations described in Sections 903.2.1 through 903.2.12.
- FD-4. Water supply for buildings equipped with an automatic sprinkler system. For buildings equipped with an approved automatic sprinkler system, the water supply shall be capable of providing the greater of:

- 1- The automatic sprinkler system demand, including hose stream allowance.
 - 2- The required fire flow. B105.3
- FD-5. Underground Buildings shall be equipped throughout with a Class I automatic wet or manual wet standpipe system.
- FD-6. Standpipe Systems. Standpipe systems shall be provided in new buildings and structures in accordance with Sections 905.2 through 905.10.
- FD-7. Height. In other than Group R-3 and R-3.1 occupancies, Class III standpipe systems shall be installed throughout each floor where any of the following occurs:
- Buildings where the floor level of the highest story is located more than 30 feet above the lowest level of fire department of vehicle access
- FD-8. Additional Fire Hydrant may be required.
- FD-9. Hydrants for standpipe systems. Buildings equipped with a standpipe system installed in accordance with Section 905, shall have a Fire Hydrant within 100 feet of the Fire Department Connection. (507.5.1.1)
- FD-10. Fire Flow. The flow rate of a water supply, measured at 20 psi residual pressure, that is available for firefighting. Fire flow requirements for buildings or portions of buildings and facilities shall be determined by an approved method or Appendix B. (507.3)
- FD-11. Required water supply. An approved water supply capable of supplying the required fire flow for fire protection shall be provided to premises upon which facilities, buildings or portions of buildings are hereafter constructed or moved into or within the jurisdiction. (507.1 CFC)
- FD-12. Water Supply Test. The fire code official shall be notified prior to the water supply test. Water supply test shall be witnessed by the fire code official and approved documentation of the test shall be provided to the fire code official prior to the final approval of the water supply system. (507.4 CFC)
- FD-13. Fire Pump. May be required when fire flow is not met. Where provided fire pumps shall be installed in accordance with this Section and NFPA 20. (913.1 CFC)
- FD-14. Fire Alarm required. Submit plans to City for approval (manual and automatic). An approved fire alarm system installed in accordance with the provisions of this code and NFPA 72 shall be provided in new buildings and structures.
- FD-15. Central Station Service Alarm Systems. Alarm systems used to provide central station service shall comply with the general requirements and the use requirements of Section 26.3. (NFPA 72)
- FD-16. Exits. Exits shall comply with Sections 1022 through 1027 and the applicable requirements of Sections 1003 through 1015. An exit shall not be used for any purpose that interferes with its function as a means of egress. Once a given level of exit protection is achieved, shall level of

protection shall not be reduced until arrival at the exit discharge. Exit shall be continuous from the point of entry into the exit to the exit discharge.

- FD-17. Fire Apparatus access. Roads shall have an unobstructed width of no less than 20 feet and an unobstructed vertical clearance of not less than 13 feet 6 inches exclusive of shoulders, except for an approved security gate in accordance with Section 503.6 of the California Fire Code. Aerial fire apparatus access roads is required and shall have a minimum unobstructed width of 26 feet, exclusive of shoulders in the immediate vicinity of the building.
- FD-18. Automatic Garage door openers. If provided, shall be listed in accordance with UL 325. See health and Safety Code Sections 19890 and 19891 for additional provisions for residential garage door openers
- FD-19. Address Identification. New and existing buildings shall have approved address numbers, building numbers or approved building identification placed in a position that is plainly legible and visible from the street or road fronting the property.
- FD-20. Knox Box required. Where access to or within a structure or an area is restricted because of secure openings or where immediate access is necessary for life-saving or fire-fighting purposes, the Fire Code Official is authorized to require a key box to be installed in an approved location. (506.1 CFC)
- FD-21. Portables Fire extinguishers. Structures under construction, alteration or demolition shall be provide with no less one approved portable fire extinguisher in accordance with Section 905 and sized for not less than ordinary hazard as follows:
- At each stairway on all floor levels where combustible materials have accumulated.
 - In every storage and construction shed.
 - Where special hazards exist including but not limited to and the storage and use of combustible and flammable liquids. (3315.1 CFC)
- FD-22. Where required. Portables fire extinguishers shall be installed in all of the following locations:
- In new and existing Group A, B, E, F, H, I, L, M, R-1, R-2, R-2.1, R-3.1, R-4 and S Occupancies. (906.1 CFC)
- FD-23. Groups R-2, R-2.1, R-3, R-3.1 and R-4. Single or multiple-station smoke alarms shall be installed and maintained in Groups R-2, R2.1, R-3, R-3.1 and R-4 regardless of occupant load at all of the following locations:
- On the ceiling or wall outside of each separate sleeping area in the immediate vicinity of bedrooms.
 - In each room used for sleeping purposes.
 - In each story within a dwelling unit, including basement but not including crawl spaces and uninhabitable attics. In dwellings or dwelling units with split levels and without an intervening

door between the adjacent levels, a smoke alarm installed on the upper level shall suffice for the adjacent lower level provided that the lower level is less than one full story below the upper level.

- FD-24. Interconnection. Where more than one smoke alarm is required to be install within an individual dwelling unit or sleeping unit, the smoke alarm shall be interconnected.
- FD-25. Fire Alarm and Detection Systems required. This section covers the application, installation, performance and maintenance of fire alarm systems and their components in new and existing buildings and structures. The requirements of Section 907.2 are applicable to new buildings and structures. SFC 907.1
- FD-26. Notwithstanding anything else in this code, or any other code incorporated, herein, by reference any new roof shall be of Class "A" roof material. SPMC 14.1.1
- FD-27. For water/ meter application please refer to public works. SPMC 35.1

POLICE DEPARTMENT

General Conditions

- PD-1. The project shall have a property manager assigned with the ability to provide 24-hour service seven days a week. The 24/7 contact information for the property manager shall be made available to all building tenants and visitors to the buildings.
- PD-2. The parking structure shall be secured 24 hours a day, Monday through Sunday of every week.

Prior to Final Inspection

- PD-3. Prior to final inspection, the applicant shall install proper signage within the parking structure informing residents, tenants, and visitors of parking restrictions.
- PD-4. Prior to final inspection, security cameras, shall be installed on the exterior of the building and within the parking structure. An external link to be used by public safety is required.
- PD-5. Prior to final inspection, security lighting shall be installed on the exterior of the building and within the parking garage.

At Final Inspection

- PD-6. At final inspection, the applicant shall provide the Police Department with building access-Knox box key access as required by public safety.

ATTACHMENT 2

City Council Resolution No. 7709 with Conditions of Approval

RESOLUTION NO. 7709

A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF SOUTH PASADENA, CALIFORNIA TO UPHOLD THE PLANNING COMMISSION ADOPTION OF A MITIGATED NEGATIVE DECLARATION AND MITIGATION MONITORING AND REPORTING PROGRAM FOR SEVEN PATIOS MIXED USE RESIDENTIAL AND COMMERCIAL PROJECT (PROJECT NO. 2171-CUP/DRX/TTM/TRP), AND APPROVAL OF THE SEVEN PATIOS PROJECT LOCATED AT 845/899 EL CENTRO STREET (ASSESSOR'S PARCEL NUMBERS 5315-019-048, 5315-019-045, AND 5315-019-046).

WHEREAS, on October 4, 2018, Odyssey Development Services, on behalf of the property owner DC El Centro Holdings, LLC (applicant), submitted applications for a Conditional Use Permit, Design Review, Tentative Tract Map, and Tree Removal Permit to allow a mixed-use project on three contiguous parcels totaling approximately 1.61 acres, with a common reference of 845/899 El Centro Street (Assessor Parcel Numbers 315-019-048, 5315-019-045, and 5315-019-046) as described below:

1. **Conditional Use Permit** for the development of a mixed-use project consisting of 57 residential units, approximately 6,100 square feet of commercial retail space for restaurant (2,035 square feet) and retail uses (4,065 square feet) in the Mission Street Specific Plan (MSSP) zoning district and two levels of underground parking with bonus parking and height; and
2. **Design Review Permit** for the proposed mixed-use development consisting of 57 residential units and 6,100 square feet of commercial retail spaces with bonus parking and height in the MSSP zoning district and for three (3) two-story townhomes in the Residential Medium (RM) zoning district, totaling 60 residential units; and
3. **Tentative Tract Map No. 82394** to consolidate three existing parcels into one land parcel with 60 residential and five (5) commercial condominium airspace parcels to allow individual ownership of the residential and commercial units; and
4. **Tree Removal Permit** for the removal of 20 trees (one protected tree).

WHEREAS, the 1.61-acre project site includes two zoning districts, 1.27 acres zoned Mission Street Specific Plan (MSSP) and 0.34 of an acre zoned Residential Medium (RM), and two General Plan land use designations, MSSP "Core Area/District B" and Medium Density Residential, respectively; and

WHEREAS, on January 14, 2020, the Community Development Director released a Director's Interpretation stating that boutique restaurants are "small-scale artisans" under the definition of "cottage industry" and therefore permitted in MSSP Core Area/District B; and

WHEREAS, as conditioned, a parking plan identifying 36 onsite public parking spaces will be recorded and maintained for public use in perpetuity, resulting in allowing a maximum height of 45 feet for the mixed-use building; the MSSP permits development of a floor area ratio

of up to 1.5 and a maximum building height of 40 feet, plus 5 feet of uninhabitable area for mixed-use projects on bonus sites in exchange to the provision of onsite public parking at a ratio of one parking space per additional 1,000 square feet of area; and

WHEREAS, the proposed project is subject to compliance with the City of South Pasadena Public Art Program, requiring the applicant to receive approval from the Public Art Commission for either the installation of a work of art at the project site or payment of a fee at a later date; and

WHEREAS, the proposed project (Seven Patios Mixed Use Residential and Commercial Retail Project) is considered a “project” as defined by the California Environmental Quality Act (CEQA), Public Resources Code Section 21000 et seq.; and

WHEREAS, on July 22, 2019, the City entered into a contract with GPA Consulting to prepare an Initial Study and Mitigated Negative Declaration (IS/MND) in compliance with CEQA, including a Mitigation Monitoring and Reporting Program (MMRP); and

WHEREAS, on June 29, 2020, using the method under CEQA Guidelines Section 15082, the City provided a Notice of Availability/Notice of Intent (NOA/NOI) for the Draft IS/MND (SCH No. 2020069046) to the State Office of Planning and Research (OPR), each responsible and trustee agency, and the Los Angeles County Registrar Recorder’s Office, and also published on the City’s website the NOA/NOI on June 26, 2020 and July 3, 2020 in the *South Pasadena Review*, a local newspaper of general circulation; and

WHEREAS, the City made the Draft IS/MND available for public review beginning Tuesday, June 30, 2020 and concluding Wednesday, July 29, 2020, a period of not less than 30 days as prescribed by law; and which during said public review period, the City received 11 written comment letters. The City prepared a Final Mitigated Negative Declaration (Final IS/MND) that includes public comments along with response to comments and a MMRP. On November 6, 2020, the draft Final IS/MND was provided to everyone who provided comments on the draft IS/MND; and

WHEREAS, in accordance with state law, on November 6, 2020, City of South Pasadena Planning and Building Department published a legal notice in compliance with South Pasadena Municipal Code Section 36.630.020 concerning the proposed mixed-use development project and IS/MND in the *South Pasadena Review*, a local newspaper of general circulation, regarding the City of South Pasadena Planning Commission Special meeting of November 17, 2020. In addition, on November 5, 2020, a public hearing notice was mailed to each property owner within a 300-foot radius of the project site, indicating the date and time of the public hearing at the Planning Commission for the proposed project; and

WHEREAS, on July 29, 2020 and October 28, 2020, the City’s Design Review Board Subcommittee conducted a review and provided input on the design of the project to the Planning Commission; and

WHEREAS, on November 17, 2020, the Planning Commission conducted a duly noticed public hearing, at which time public testimony was taken concerning the Seven Patios Mixed Use Residential and Commercial Project as well as the IS/MND and MMRPP for the proposed project,

and unanimously voted 5-0 to adopt the IS/MND prepared for the project and approve Project No. 2171-CUP/DRX/TTM/TRP – Seven Patios Mixed Use Residential and Commercial Project; and

WHEREAS, on November 30, 2020, within the appeal period for the November 17, 2020 Planning Commission meeting, Mayor Pro Tem Cacciotti and then-Council Member Rossi, filed a Request For Review by the City Council (Project No. 2385-RFR), with the City Clerk's Office; and

WHEREAS, pursuant to South Pasadena Municipal Code (SPMC) Section 36.610.040(B), decisions by the Planning Commission may be appealed to the City Council; and

WHEREAS, in accordance with state law, on January 22, 2021, City of South Pasadena Planning and Building Department published a legal notice in compliance with South Pasadena Municipal Code Section 36.630.020 concerning the Request for Review of Planning Commission's approval of the Seven Patios Mixed Use Residential and Commercial Project and adoption of the IS/MND and MMRP in the *South Pasadena Review*, a local newspaper of general circulation, regarding the City of South Pasadena City Council meeting of February 3, 2021. In addition, on January 21, 2021, a public hearing notice was mailed to all property owners and occupants within a 300-foot radius of the project site, indicating the date and time of the public hearing at the City Council meeting for the Appeal.

WHEREAS, on February 3, 2021, the City Council continued the project to the regular City Council meeting of March 3, 2021 as requested by staff the applicant; and

WHEREAS, on March 3, 2021, the City Council conducted a duly noticed public hearing, at which time public testimony was taken concerning the Request for Review of the Planning Commission's approval of the Seven Patios Mixed Use Residential and Commercial Project and the IS/MND (SCH No. 2020069046), considered the IS/MND and MMRP for the proposed project, and the Seven Patios Mixed Use Residential and Commercial Project.

NOW, THEREFORE, THE CITY COUNCIL OF THE CITY OF SOUTH PASADENA, CALIFORNIA, DOES HEREBY RESOLVE, DECLARE, DETERMINE AND ORDER AS FOLLOWS:

SECTION 1: ENVIRONMENTAL REVIEW FINDINGS

The City determined that the proposed project required the preparation of an Initial Study to identify potential impacts under CEQA. The Initial Study identified potential noise and tribal cultural resources impacts that can be addressed through mitigation measures, resulting in the preparation of an IS/MND and a MMRP.

The City Council, in light of the whole record before it, including, but not limited to, CEQA guidelines and threshold of significance, the IS/MND and MMRP attached hereto as Exhibit "B," and other documents incorporated therein by reference, any written comments received and responses provided, and other substantial evidence, within the meaning of Public Resources Code Sections Section 21000 et. seq., within the record and/or provided at the public hearing, hereby finds, determines, and certifies as follows:

- A. Lead Agency: That the City is the lead agency for the project pursuant to the California Environmental Quality Act (“CEQA,” Cal. Pub. Res. Code §21000 et seq.), State CEQA Guidelines (the “Guidelines,” 14 Cal. Code Regs. §15000 et seq.)
- B. Determination of Impacts: That the City’s qualified consultant prepared an IS/MND for the project, and the IS/MND concluded that there was evidence that the proposed project may have a temporary significant impact on noise during construction. Although the Initial Study prepared for the project did not identify the likely presence of tribal cultural resources in the project area, the Gabrieleño Band of Mission Indians – Kizh Nation requested consultation and monitoring of excavation activities because of previous tribal presence in the area.
- C. Mitigation: That pursuant to CEQA Guidelines Section 15091(d), a MMRP was prepared that would substantially lessen the potential effects identified in the IS/MND.
- D. Review Period: That the IS/MND has been provided for public review within the duration required under CEQA Guidelines Sections 15073.
- E. Compliance with Law: That the IS/MND was prepared, processed, and noticed in accordance with CEQA (Public Resources Code Section 21000 et seq.), the CEQA Guidelines (14 California Code of Regulations Section 15000 et seq.), and the local CEQA guidelines and thresholds of significance adopted by the City of South Pasadena. That the IS/MND was presented to the Planning Commission, and the Planning Commission has reviewed and considered the information contained in the IS/MND, and public testimony received thereon during the hearing, prior to any action on the project.
- F. Independent Judgment: That the IS/MND reflects and represents the City of South Pasadena’s independent judgment and analysis and adequately addresses the impacts of, and proposes appropriate mitigation measures upon, the City’s actions in approving or taking action on the proposed Seven Patios Mixed Use Residential and Commercial Retail Project.
- G. Mitigation Monitoring Program: That pursuant to CEQA Guidelines Section 15091(d), a MMRP included in the Final IS/MND are fully enforceable through permit conditions, agreements, or other measures as required by Public Resources Code Section 21081.6.
- H. Modifications: That the modifications to the Final IS/MND which have been made since circulation of the Draft IS/MND do not constitute the addition of new significant information to the IS/MND within the meaning of CEQA Guidelines Section 15073.5.

SECTION 2: CONDITIONAL USE PERMIT FINDINGS

The City Council hereby upholds the Planning Commission’s approval and findings for approval of a Conditional Use Permit pursuant to South Pasadena Municipal Code (SPMC) Section 36.410.060, as follows:

1. The proposed use is allowed with Conditional Use Permit or Administrative Use Permit approval within the applicable zoning district and complies with all applicable provisions of this Zoning Code;

The proposed Seven Patios Mixed-Use Residential and Commercial Retail Project, the use of the MSSP development bonus provision, and outdoor dining are allowed with approval of a Conditional Use Permit within the “Core Area/District B” of the MSSP. The MSSP stated objectives for District B are 1) “to encourage uses that provide residents and employees within walking distance of the shopping core or nodes and within proximity to the [Gold] Line station, and 2) “to establish a place for small-scale artisans and other Cottage Industries that serves both local residents and the broader specialty market.” A Director’s Interpretation determined that the proposed restaurant and retail uses are consistent with the zoning.

The RM zoning district allows a variety of housing types, which include single-family bungalow courts, duplexes, triplexes, or other attached or detached single-family dwellings. The allowable residential density ranges from 6.1 to 14 units per acre. The RM zoning district is consistent with the Medium Density Residential land use designation of the General Plan. The proposed project complies with the requirements of the RM zoning district such as setbacks

The MSSP permits development of a floor area ratio (FAR) of up to 1.5 and a maximum building height of 40 feet, plus 5 five for inhabitable area, for mixed use projects on “bonus sites” in exchange for the provision of public parking within the project at a ratio of one parking space per additional 1,000 square feet of area obtained through application of the bonus site provision. As part of the project, 36 public parking spaces are proposed to be provided in exchange for development of an increased floor area ratio and height. A condition is included to require a recording of a covenant for these parking spaces to be properly identified and maintained for public use in perpetuity. A condition is also included to require the applicant to submit a parking plan showing the location of these spaces to the satisfaction of the Director of Planning and Community Development.

The project complies with all applicable development standards and provisions of the MSSP.

2. The proposed use is consistent with the General Plan and any applicable specific plan;

The General Plan land use designations for the project site are Mission Street Specific Plan (MSSP) “Core Area/District B” and Medium Density Residential. District B of the MSSP includes sections of the Core Area that are not located in the shopping core or nodes of the MSSP.

The project would provide approximately 2,035 square feet for future restaurant uses and 4,065 square feet for future commercial retail uses. A Director’s Interpretation was released on January 14, 2020 stating that boutique restaurants are permitted in District B because qualifies as “small-scale artisans” under the definition of “cottage industry” in Table 6 of page 34 of the MSSP. A boutique restaurant is a non-chain restaurant with a

one-of-a-kind distinctive menu and offers an atypical or high quality customer experience. These uses involve a certain degree of skill and artistry. Therefore, the creation of retail and restaurant spaces for future tenants is consistent with the MSSP.

Residential density permitted within the MSSP is regulated through the application of allowable floor area and building heights as allowed under the MSSP. The residential component of the project is at 45 dwelling units per acre which is allowable within the MSSP because the project complies with the allowable floor area ratio and allowable maximum building height.

The Medium Density Residential land use designation allows for the development of attached and detached dwellings at a density of 6-14 units per acre, not exceeding two stories, or in combination with single-family dwellings as “bungalow courts.” This designation invites flexibility in site design and unit type. The Medium Density Residential land use category is intended to maintain the character of medium density neighborhoods and to encourage maintenance of existing structures when additional units are added to the Medium Density Residential designation.

The project also includes three Craftsman style homes, which equals to a density of 9 dwelling units per acre in the Medium Density Residential land use designation, which is consistent with the General Plan.

3. The establishment, maintenance, or operation of the use would not, under the circumstances of the particular case, be detrimental to the health, safety, or general welfare of persons residing or working in the neighborhood of the proposed use;

The proposed project will adequately accommodate the functions and activities proposed for the project site because it has been designed to comply with the development standards of the MSSP. The commercial use proposed for the project site is designed to promote and accommodate pedestrian activity through the provision of pedestrian gathering areas and courtyards accessible from El Centro Street. Residential uses proposed for the project site will be served by on-site common area open space and individual private open space areas for each residential unit. No existing, surrounding views will be obstructed with the proposed project, and the proposed project is consistent in mass and scale with the future development envisioned for the surrounding area as described in the MSSP.

Parking adequate to serve the project and bonus parking spaces for public use are provided within a 2-level subterranean garage. Access to the parking garage is provided from El Centro Street, which no automobile access on Orange Grove Place to not affect traffic on Orange Grove Place.

A condition is included that require on-site security systems be in place for the proposed parking garage with signage posted indicating 24 hour assistance contact information.

4. The use, as described and conditionally approved, would not be detrimental or injurious to property and improvements in the neighborhood or to the general welfare of the City;

The mixed residential and commercial nature of the proposed buildings is compatible with the surrounding area which contains a mix of commercial, residential, and institutional uses. The project is compatible with the existing streetscape with residential uses above the commercial use, areas for outdoor dining, and storefront facades at the ground level along El Centro Street.

The design of the project would not alter the physical characteristics of nearby properties or historic resources. Additionally, the project would not alter the historic context of the adjacent Mission Business Historic District and other commercial areas in the MSSP.

As proposed and conditioned, the Seven Patios Mixed-Use Residential and Commercial Project would not be detrimental or injurious to property and improvements in the neighborhood or to the general welfare of the City.

5. The subject site is adequate in terms of size, shape, topography, and circumstances and has sufficient access to streets and highways which are adequate in width and pavement type to carry the quantity and quality of traffic expected to be generated by the proposed use; and

The proposed project is designed to provide adequate access, circulation, and parking. No significant traffic impacts were identified in the Initial Study/MND.

One driveway on El Centro Street will be provided to access the new parking garage underneath the project. A condition is included to require the garage doors remain open from 5:00 am to midnight to accommodate the public and Gold Line users. No driveway will be provided on Orange Grove Place. A condition is included to require the parking garage to provide code required pedestrian exists from the parking garage during an emergency.

Parking for the entire project will be in the underground parking garage. No parking will be provided off Orange Grove Place. The total of 177 parking spaces will be provided in the parking garage, exceeding the City's parking standards in exchange for bonus height.

While EV charging stations are not required by code, staff has included a condition to require the installation of EV charging stations to benefit retail users, residents, and visitors; adding to the supply of EV charging stations within the City as a public benefit.

The project is also designed to accommodate cyclists. For retail users, 8 bicycle parking spaces will be provided along the block wall adjacent to the Gold Line track and in front of the retail units. A condition is included to require the applicant to work with staff on installing additional bicycle racks on the sidewalk along El Centro Street to support bicycle users adjacent to the Gold Line Station. This condition also helps implement the City's Bike Master Plan that calls for public bicycle parking facilities on El Centro Street.

6. The design, location, operating characteristics, and size of the proposed use would be compatible with the existing and future land uses in the vicinity, in terms of aesthetics, character, scale, impacts on neighboring properties.

The mixed residential and commercial nature of the project is compatible with the surrounding area. The neighborhood contains a mix of residential, commercial, recreational, and industrial uses. The project design is compatible with the existing streetscape with residential uses above the commercial use, areas for outdoor dining, and storefront facades at the ground level along El Centro Street. The proposed mixed-use project would incorporate design features that reflect the historic character of other buildings in the area.

The proposed project is designed to provide public and private open spaces, adequate parking, and other amenities to ensure the project does not negatively impact the surrounding properties. The CEQA document did not identify any significant environmental impacts.

Although the height of the mixed-use portion of the project would be taller than most adjacent structures, the proposed project is within the maximum height allowed by the MSSP with bonus parking and height provisions. Furthermore, the scale is such that no expansions to the existing roadway network are necessary.

SECTION 3: DESIGN REVIEW FINDINGS

The City Council hereby upholds the Planning Commission's approval and findings for approval of a Design Review pursuant to South Pasadena Municipal Code Section 36.410.040, as follows:

1. Is consistent with the General Plan, any adopted design guidelines and any applicable design criteria for specialized areas (e.g., designated historic or other special districts, plan developments, or specific plans);

The General Plan land use designation for the project site is Mission Street Specific Plan (MSSP) with a designation of "Core Area/District B" and Medium Density Residential. The MSSP stated objectives for District B are 1) "to encourage uses that provide residents and employees within walking distance of the shopping core or nodes and within proximity to the [Gold] Line station, and 2) "to establish a place for small-scale artisans and other *Cottage Industries* that serves both local residents and the broader specialty market." Residential density permitted within the MSSP is regulated through the application of allowable floor area and building heights as allowed under the MSSP. The residential component of the project is at 45 dwelling units per acre which is allowable within the MSSP because the project complies with the allowable floor area ratio and allowable maximum building height. The residential uses would be comprised of studios, lofts, flats, and townhomes (3 studio units, 16 1-bedroom units, 38 2- and 3-bedroom units).

The proposed mixed-use component of the project implements the objectives and intent of the MSSP “Core Area/District B” as follows:

- Development of new ground floor commercial retail uses along El Centro Street with multifamily residential uses located above and behind commercial uses.
- Placement of commercial retail uses with outdoor open space in front of the retail space designed to accommodate outdoor dining.

The proposed project promotes the objectives of the MSSP by placing residential uses above and behind the commercial uses, placing commercial uses and outdoor spaces that will encourage pedestrian and community interaction along El Centro Street and adjacent to the Metro station.

The Medium Density Residential land use designation allows for the development of attached and detached dwellings at a density of 6-14 units per acre, not exceeding two stories, or in combination with single-family dwellings as “bungalow courts.” This designation invites flexibility in site design and unit type. The Medium Density Residential land use category is intended to maintain the character of medium density neighborhoods and to encourage maintenance of existing structures when additional units are added to the Medium Density Residential designation.

The project proposes three 2-story Craftsman style townhomes, which equals to a density of 9 dwelling units per acre in the Medium Density Residential land use designation, which is consistent with the General Plan. The townhomes comprise of two (2) 4-bedroom units and one (1) 3-bedroom unit on an approximately 0.34-acre area.

The surrounding area includes numerous historic resources. The design of the project would not alter any of the physical characteristics of nearby historic resources. Additionally, the project would not alter the historic context of the adjacent Mission Business Historic District and other commercial areas in the MSSP.

- 2. Will adequately accommodate the functions and activities proposed for the site, will not unreasonably interfere with the use and enjoyment of neighboring, existing, or future developments, and will not create adverse pedestrian or traffic hazards;**

Adequate access to the project site is provided by existing roadways and no expansion of these roadways is required for implementation of the project. The design and layout of this infill development project will adequately accommodate the functions and activities proposed for the project site and will not unreasonably interfere with the use and enjoyment of neighboring existing or future developments. The project proposes new ground floor pedestrian oriented commercial retail and restaurant uses, including areas for outdoor dining along El Centro Street, and residential uses above and behind the commercial use. The project proposes to provide 36 public parking spaces in exchange for the use of the bonus provisions for FAR and a maximum building height.

The proposed mixed-use portion of the project would consist of a 79,860 square-foot structure

with 57 residential units, 6,100 square-feet of multi-tenant commercial retail space, and approximately 21,791 square feet of open space on approximately 1.27 acres. The commercial uses would be pedestrian-oriented, located on the ground level fronting El Centro Street, and are anticipated to be a mixture of restaurant (2,035 square feet) and retail (4,065 square feet) uses. The residential uses would be comprised of studios, lofts, flats, and townhomes. On-site amenities, including a lobby, gym, bicycle storage, and common open space, would be located within the ground floor of the mixed-use structure.

The residential-only portion of the project has frontage on Orange Grove Place. Three, two-story Craftsman style homes with two to four bedrooms are proposed on an approximately 0.34 acre area.

As designed and conditioned, the proposed project includes 177 parking spaces, exceeding the required 155 parking spaces. Parking adequate to serve the project and bonus parking spaces for public use are provided within a 2-level subterranean garage. Access to the parking garage is provided from El Centro Street, which no automobile access on Orange Grove Place to not affect traffic on Orange Grove Place. A condition is included that require on-site security systems be in place for the proposed parking garage with signage posted indicating 24 hour assistance contact information.

3. Is compatible with the existing character of the surrounding neighborhood and all reasonable design efforts have been made to maintain the attractive, harmonious, and orderly development contemplated by this Section, and the General Plan;

The project is compatible with the existing character of the surrounding neighborhood and is designed consistent with the development regulations and design guidelines of the MSSP and the Residential Design Guidelines, thereby leading to the attractive, harmonious, and orderly development of the site as envisioned by the General Plan.

The mixed residential and commercial nature of the proposed buildings is compatible with the surrounding area which contains a mix of commercial, residential, and institutional uses. The project is compatible with the existing streetscape with residential uses above the commercial use, areas for outdoor dining, and storefront facades at the ground level along El Centro Street.

The design of all new buildings proposed as part of the project is consistent with MSSP Design Guidelines, "Section 8.1 Guidelines for new Buildings in Districts A and B." The MSSP requires that all new buildings located along street frontages maintain the scale, proportions, relationship to the sidewalk and materials that are characteristic of storefront buildings in the area.

The design of the new buildings includes storefronts along El Centro Street, which incorporate the architectural elements of other buildings in the area. The eastern portion of the building fronting on El Centro Street is more commercial in character to response to the Gold Line station design as well as other buildings nearby. Exterior materials on this eastern building include the use of brick and metal standing seam roof. The central entry and the western building are designed in Mediterranean style with a variety of roof forms to reduce its apparent volume, and make it visually compatible with nearby buildings.

The residential component fronting on Orange Grove Place is designed of 2-story Craftsman style, consistent with the existing Craftsman style homes on the street.

The project is compatible with the existing character of the surrounding neighborhood and is designed consistent with the development regulations and design guidelines to be attractive, harmonious, and orderly development of the site.

4. Provides a desirable environment for its occupants and neighbors, and is aesthetically of good composition, colors, materials, and texture, that would remain aesthetically appealing with a reasonable level of maintenance and upkeep.

The proposed project is designed to be an amenity for the neighborhood. The project includes ground floor retail commercial uses, including areas for outdoor dining and pedestrian plazas, serving the project's occupants and neighbors. Pedestrian gathering areas are provided within an outdoor dining area adjacent to the track, at the eastern end of El Centro, and through the arcades along the front of the building. The outdoor dining adjacent to the track will be heavily landscaped to create an inviting atmosphere. The project will offer retail and restaurant uses in a walkable environment, while also providing adequate parking. The project is conditioned to provide an open air courtyard for public retail users.

Residential uses are served by on site common area open space in the form of a central courtyards and paseo courtyard as well as by individual private open space for each dwelling unit in the form of balconies, patios, and terraces

New buildings are required to incorporate elements of the architectural styles historically found in the area. Buildings are well articulated with varied roof lines, wall planes, and heights to break up massing. Buildings are well articulated with varied roof lines, wall planes, and heights to break up massing. Architectural details and projections such as balconies, porches, covered arcades, detailed corbels, and tiles are provided throughout the project to create visual interests. Aluminum Cad-Wood windows and French doors with traditional profiles will be used. Windows for all residential units can be opened to allow for fresh air.

The proposed exterior materials are long lasting and have reasonable upkeep and maintenance requirements.

SECTION 4: VESTING TENTATIVE TRACT MAP FINDINGS

The City Council hereby upholds the Planning Commission's approval and findings for approval of a Vesting Tentative Tract Map for the Project pursuant to South Pasadena Municipal Code Section 36.510.070, as follows:

- 1. The proposed subdivision, together with the provisions for its design and improvement, is consistent with the General Plan, and any applicable Specific Plan, and that none of the findings for denial in Subsection C can be made.**

The proposed map to consolidate three existing parcels into one land parcel with 60 residential condominium airspace parcels and 5 commercial airspace parcels is consistent the goals and policies of the General Plan Economic Development Element with the stated goal of promoting mixed use development to encourage innovative development taking advantage of the City's character and access to transit. The General Plan recognizes that combining different land uses generates economic benefits from the synergy that occurs with proximity of complementary uses. The General Plan specifies that such mixing of uses should be considered particularly in proximity to transit stations and other areas where higher density development is desirable.

The project design is consistent with the design criteria of the MSSP designation of "Core Area/District B." The MSSP requires that all new buildings located along street frontages maintain the scale, proportions, relationship to the sidewalk and materials that are characteristic of storefront buildings in the area. Although the project site is not a historic resource, the new buildings are required to incorporate elements of the architectural styles historically found in the area. The mixed-use structure features Mediterranean architecture and the residential-only portion features Craftsman style architecture; both styles are compatible with nearby historic resources and other developments.

The subdivision design is consistent with the General Plan and does not meet any of the findings for denial in Subsection C.

- 2. Supplemental findings. In addition to the findings required for approval of a Tentative Map by Subsection A. above, the Commission shall not approve a Tentative Map unless it can also make the following findings, when they are applicable to the specific subdivision proposal.**
 - a. Construction of improvements. It is in the interest of the public health and safety, and it is necessary as a prerequisite to the orderly development of the surrounding area, to require the construction of road improvements within a specified time after recordation of the Parcel Map, where road improvements are required.**
 - b. Condominiums. Any applicable findings required by Section 36.530.020 for condominium conversions.**
 - c. Dedications or exactions. Findings documenting the need for dedications or exactions, if dedications or exactions are required.**

d. Waiver of Parcel Map. The findings required by Section 36.520.030 (Waiver of Parcel Map), if waiver of a Parcel Map has been requested with the Tentative Map application.

The supplemental findings are not applicable to the project. Existing primary access to the project site is provided from El Centro Street, a General Plan designated minor arterial, with secondary access provided from Orange Grove Place, a designated local street. Both streets are adequate in width and pavement type to carry the quantity and quality of project traffic expected to be generated by the proposed use and no expansion of these streets is required to accommodate the project.

In addition, the project does not require a dedication or exaction, nor is it a condominium conversion project. A waiver of a Parcel Map has not been requested with the Tentative Map Application for the project.

SECTION 5: TREE REMOVAL PERMIT

The proposed project will require the removal of 20 trees (one protected tree). The proposed landscape plan shows planting of 61 trees in the MSSP zone, which exceeds the requirement. Overall, the project site would have new 47 24"-box or larger trees and 64 15-gallon trees. The Tree Removal Permit was reviewed by the Public Works Department and was recommended for approval, subject to conditions. The City Council hereby upholds the Planning Commission's approval of a Tree Removal Permit for the proposed project.

SECTION 6: RECORD OF PROCEEDING

The documents and other materials that constitute the record of the proceedings upon which the City Council's decision is based, which include, but are not limited to, the environmental documents, staff reports, as well as all materials that support the staff reports for the proposed project, and are located in the Planning and Building Department of the City of South Pasadena at 1414 Mission Street, South Pasadena, CA 91030. The custodian of these documents is the City Clerk of the City of South Pasadena.

SECTION 7: DETERMINATION

For the following reasons and based on the information included in the Staff Report and other record of proceeding, the City Council has reviewed the project and hereby upholds the Planning Commission's Decision of Approval of the proposed Seven Patios Mixed Use Residential and Commercial Project, Project No. 2171-CUP/DRX/TTM/TRP, and adoption of the IS/MND and MMRP for the project. Based upon the findings outline in this Resolution, the City Council of the City of South Pasadena hereby takes the following actions:


- A. Adopt the Final IS/MND (SCH No. 2020069046) and MMRP for the Seven Patios Mixed-Use Residential and Commercial Project (Project No. 2171- CUP/DRX/TTM/TRP) attached hereto as Exhibit "B"; and
- B. Approve the following applications, subject to conditions of approval attached hereto as Exhibit "A":

1. **Conditional Use Permit** for the development of a mixed-use project consisting of 57 residential units, approximately 6,100 square feet of commercial retail space for restaurant (2,035 square feet) and retail uses (4,065 square feet) in the Mission Street Specific Plan (MSSP) zoning district and two levels of underground parking with bonus parking and height; and
2. **Design Review Permit** for the proposed mixed-use development consisting of 57 residential units and 6,100 square feet of commercial retail spaces with bonus parking and height in the MSSP zoning district and for three (3) two-story townhomes in the Residential Medium (RM) zoning district, totaling 60 residential units; and
3. **Tentative Tract Map No. 82394** to consolidate three existing parcels into one land parcel with 60 residential and five (5) commercial condominium airspace parcels to allow individual ownership of the residential and commercial units; and
4. **Tree Removal Permit** for the removal of 20 trees (one protected tree). The Tree Removal Permit was reviewed by the City of South Pasadena Public Works Department and was recommended for approval to the Planning Commission.

SECTION 8: CERTIFICATION OF THE RESOLUTION

The City Clerk of the City of South Pasadena shall certify to the passage and adoption of this resolution and its approval by the City Council and shall cause the same to be listed in the records of the City.

PASSED, APPROVED, AND ADOPTED this 3rd day of March 2021.

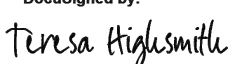
DocuSigned by:

38815312B7DE402
Diana Mahmud, Mayor

ATTEST:

APPROVED AS TO FORM:

DocuSigned by:

F69D694F8A024D0
Maria E. Ayala, Chief City Clerk
(seal)

DocuSigned by:

3657FEA936854DF
Teresa L. Highsmith, City Attorney

Seven Patios Mixed-Use Project
Project No. 2385-RFR

RESOLUTION NO. 7709
Page 15 of 15

I HEREBY CERTIFY the foregoing resolution was duly adopted by the City Council of the City of South Pasadena, California, at a regular meeting held on the 3rd day of March, 2021 by the following vote:

AYES: Donovan, Primuth, Zneimer, Cacciotti, and Mayor Mahmud

NOES: None

ABSENT: None

ABSTAINED: None

DocuSigned by:

E69D694E8A024D0...

Maria E. Ayala, Chief City Clerk
(seal)

EXHIBIT “A”
CONDITIONS OF APPROVAL
PROJECT NO. 2171-CUP/DRX/TTM/TRP
Seven Patios Mixed-Use at 845/899 El Centro Street

PLANNING DIVISION

General Conditions

- PL-1. On March 3, 2021, the City Council upheld the Planning Commission’s approval of Seven Patios Mixed-Use Project, and adoption of the Mitigation Monitoring and Reporting Program (MMRP). Therefore, the following approvals are granted for the land and land use as described in the application and any attachments thereto, as shown on the development plans submitted to and approved by the Planning Commission on November 17, 2020:
- a. **Conditional Use Permit** for the development of a mixed-use project consisting of 57 residential units, approximately 6,100 square feet of commercial retail space for restaurant (2,035 square feet) and retail uses (4,065 square feet) in the Mission Street Specific Plan (MSSP) zoning district and two levels of underground parking with bonus parking and height; and
 - b. **Design Review Permit** for the proposed mixed-use development consisting of 57 residential units and 6,100 square feet of commercial retail spaces with bonus parking and height in the MSSP zoning district and for three (3) two-story townhomes in the Residential Medium (RM) zoning district; and
 - c. **Tentative Tract Map No. 82394** to consolidate three existing parcels into one land parcel with 60 residential and five (5) commercial condominium airspace parcels to allow individual ownership of the residential and commercial units; and
 - d. **Tree Removal Permit** for the removal of 20 trees (one protected tree).
- PL-2. This approval and all rights hereunder shall terminate within twelve (12) months of the effective date of their approval by the Planning Commission unless otherwise conditioned and/or unless action is taken to secure Building Permits and maintain active Building Permits with the Building Division beginning with the submittal of the plans for Plan Check review.
- PL-3. Approval by the Planning Commission does not constitute a building permit or authorization to begin any construction. All appropriate permits issued by the South Pasadena Public Works Department and Building Division must be obtained prior to construction, enlargement, relocation, conversion or demolition of any building or structure on any of the project site.
- PL-4. All other requirements of any law, ordinance, or regulation of the State of California, City of South Pasadena, and any other government entity shall be complied with.

Exhibit – A: Conditions of Approval**P.C. Resolution No. 21-__****Seven Patios at 845/899 El Centro St | Project No. 2171-CUP/DRX/TTM/TRP****Page 2 of 18**

- PL-5. Compliance with and execution of all conditions listed herein shall be necessary prior to obtaining any occupancy inspection clearance and/or prior to obtaining any occupancy clearance.
- PL-6. The applicant and each successor in interest to the property which is the subject of this project approval, shall defend, indemnify and hold harmless the City of South Pasadena and its agents, officers and employees from any claim, action or proceeding against the City or its agents, officers or employees to attack, set aside, void or annul any approval of the City, City Council or City Planning Commission concerning this approval.
- PL-7. The applicant shall be responsible for all costs incurred by the City for the use of professional services or consultants in the review and investigation by Planning and Public Works, which include landscape plans, construction management plan, traffic control plans, and street and off-site improvement plans. The initial Building Construction plan check fee will cover the initial plan check and one recheck only. Additional review required beyond the first recheck shall be paid for on an hourly basis in accordance with the current fee schedule. The applicant shall deposit monies into an approved project account from which the City shall draw funds to pay for said professional services.
- PL-8. The applicant shall pay for all applicable City development impact fees, and all other public agency fees including plan review and permit fees.
- PL-9. A minimum of 2,035 square feet of the commercial space shall be for restaurant use. The restaurant use shall be in compliance with Director's Interpretation No. 2020-01, dated January 14, 2020 (included as an attachment to this condition of approval). When the Mission Street Specific Plan is updated or replaced, the restaurant use shall comply with such update or a new Specific Plan for this site.
- PL-10. Windows for the commercial restaurant and retail spaces shall be clear glass and remain unobscured at all time.
- PL-11. The garage door to access the underground parking garage shall remain open from 5:00 am to midnight. These hours can be modified by the Director of Planning and Community Development to accommodate the public and Gold Line users.
- PL-12. 36 parking spaces on the first level of the parking garage shall be reserved for public uses in perpetuity.
- PL-13. Sale of alcohol for on-site consumption, including service to outdoor dining areas shall require a separate approval pursuant to the South Pasadena Municipal Code.
- PL-14. Prior to operation of any outdoor dining area, the applicant shall provide the following information to the Community Development Director for review and approval:
- a. A detailed site plan and elevations showing the boundary, pedestrian access,

and railing design for the outdoor dining area for each tenant.

- b. Outdoor dining furniture.
- c. A statement of operation that includes, but not limited to, hours of operation and any proposed amplified sound in the outdoor dining area.

Notes on Construction Plans

The following conditions shall be noted on the construction plans and the contractor shall be responsible to implement and monitor compliance with these conditions:

- PL-15. The construction site and the surrounding area, including sidewalks, parkways, gutters, and streets, shall be kept free of all loose materials resembling trash and debris in excess of that material used for immediate construction purposes at all times. Such excess may include, but is not limited to: the accumulation of debris, garbage, lumber, scrap metal, concrete, asphalt, piles of earth, salvage materials, abandoned or discarded furniture, appliances or other household fixtures. Such debris shall be removed immediately from the street to prevent road hazards or public health related issues.
 - a. Construction vehicles shall not be parked or stored on Orange Grove Place and Orange Grove Avenue (between Mission Street and Monterey Road).
- PL-16. The hours of all construction activities shall be limited to the following: 8:00 am and 7:00pm Monday through Friday, 9:00am and 7:00pm Saturday, and construction on Sundays limited to 10:00am to 6:00pm.
- PL-17. During construction, the clearing, grading, earth moving, excavation operations, or transportation of cut or fill materials that cause fugitive dust emissions shall be controlled by regular water or other dust preventive measures using the following procedures:
 - a. The area disturbed by clearing, grading, earth moving, or excavation operations shall be minimized to the maximum extent feasible to prevent fugitive dust; and
 - b. All material excavated or graded shall be sufficiently watered to prevent dust from leaving the construction area and to create a "crust" after each day's activities ceases. Watering shall occur at least twice daily with complete coverage, preferable in the late morning and after work is done for the day;
 - c. All material transported on-site or off-site shall be either sufficiently watered or securely covered to prevent fugitive dust;
 - d. All area of vehicle movement shall be water appropriately to prevent dust from leaving the construction site;
 - e. Soil stockpiles for more than two days shall be covered, kept moist, or treated with

soil binders to prevent dust generation;

- f. Gravel pads shall be installed at all access points to prevent tracking of mud onto public roads; and
- g. Visible dust beyond the property line emanating from the project shall be prevented to the maximum extent feasible.

- PL-18. The applicant and the applicant's construction manager shall participate in a pre-construction meeting with the City of South Pasadena Planning and Building Divisions, and Public Works Department, to ensure all parties involved understand and implement appropriate construction measures and practices as required by the City, are aware of when construction will occur, what to expect, and to identify potential conflicts to eliminate otherwise unanticipated problems prior to the start of grading.
- PL-19. The use of large vibratory rollers within 20 feet of off-site buildings are prohibited; only use small static wheel rollers or asphalt rollers within 20 feet of off-site buildings are allowed. *(Mitigation Measure MM NOI-1)*
- PL-20. Upon discovery of any tribal cultural or archaeological resources, cease construction activities in the immediate vicinity of the find until the find can be assessed. All tribal cultural and archaeological resources unearthed by project construction activities shall be evaluated by the qualified archaeologist and tribal monitor/consultant approved by the Gabrieleño Band of Mission Indians-Kizh Nation. If the resources are Native American in origin, the Gabrieleño Band of Mission Indians-Kizh Nation shall coordinate with the landowner regarding treatment and curation of these resources. Typically, the Tribe will request preservation in place or recovery for educational purposes. Work may continue on other parts of the project site while evaluation and, if necessary, additional protective mitigation takes place (CEQA Guidelines Section 15064.5 [f]). If a resource is determined by the qualified archaeologist to constitute a "historical resource" or "unique archaeological resource", time allotment and funding sufficient to allow for implementation of avoidance measures, or appropriate mitigation, must be available. The treatment plan established for the resources shall be in accordance with CEQA Guidelines Section 15064.5(f) for historical resources. *(Mitigation Measure MM TR-2)*
- PL-21. Per Public Resources Code Sections 21083.2(b) for unique archaeological resources, preservation in place (i.e., avoidance) is the preferred manner of treatment. If preservation in place is not feasible, treatment may include implementation of archaeological data recovery excavations to remove the resource along with subsequent laboratory processing and analysis. All tribal cultural resources shall be returned to the Tribe. Any historic archaeological material that is not Native American in origin shall be curated at a public, nonprofit institution with a research interest in the materials, such as the Natural History Museum of Los Angeles County or the Fowler Museum, if such an institution agrees to accept the material. If no institution accepts the archaeological material, they shall be offered to the Tribe, local school, or historical society in the area for educational purposes. *(Mitigation Measure MM TR-3)*

- PL-22. Native American human remains are defined in PRC 5097.98 (d)(1) as an inhumation or cremation, and in any state of decomposition or skeletal completeness. Funerary objects, called associated grave goods in PRC 5097.98, are also to be treated according to this statute. Health and Safety Code 7050.5 dictates that any discoveries of human skeletal material shall be immediately reported to the County Coroner and excavation halted until the coroner has determined the nature of the remains. If the coroner recognizes the human remains to be those of a Native American or has reason to believe that they are those of a Native American, he or she shall contact, by telephone within 24 hours, the Native American Heritage Commission (NAHC) and PRC 5097.98 shall be followed. *(Mitigation Measure MM TR-4)*
- PL-23. Upon discovery of human remains, the tribal and/or archaeological monitor/consultant will immediately divert work at minimum of 150 feet and place an exclusion zone around the discovery location. The monitor/consultant(s) will then notify the Tribe, the qualified lead archaeologist, and the construction manager who will call the coroner. Work will continue to be diverted while the coroner determines whether the remains are human and subsequently Native American. The discovery is to be kept confidential and secure to prevent any further disturbance. If the finds are determined to be Native American, the coroner will notify the NAHC as mandated by state law who will then appoint a Most Likely Descendent (MLD). *(Mitigation Measure MM TR-5)*
- PL-24. If the Gabrieleno Band of Mission Indians-Kizh Nation is designated MLD, the Koo-nas-gna Burial Policy shall be implemented. To the Tribe, the term “human remains” encompasses more than human bones. In ancient as well as historic times, Tribal traditions included, but were not limited to, the preparation of the soil for burial, the burial of funerary objects with the deceased, and the ceremonial burning of human remains. The prepared soil and cremation soils are to be treated in the same manner as bone fragments that remain intact. Associated funerary objects are objects that, as part of the death rite or ceremony of a culture, are reasonably believed to have been placed with individual human remains either at the time of death or later; other items made exclusively for burial purposes or to contain human remains can also be considered as associated funerary objects. *(Mitigation Measure MM TR-6)*
- PL-25. Prior to the continuation of ground disturbing activities, the landowner shall arrange a designated site location within the project footprint for the respectful reburial of the human remains and/or ceremonial objects. In the case where discovered human remains cannot be fully documented and recovered on the same day, the remains will be covered with muslin cloth and a steel plate that can be moved by heavy equipment placed over the excavation opening to protect the remains. If this type of steel plate is not available, a 24-hour guard should be posted outside of working hours. The Tribe will make every effort to recommend diverting the project and keeping the remains in situ and protected. If the project cannot be diverted, it may be determined that burials will be removed. The Tribe will work closely with the qualified archaeologist to ensure that the excavation is treated carefully, ethically, and respectfully. If data recovery is approved by the Tribe, documentation shall be taken which includes at a minimum detailed descriptive notes and sketches.

Additional types of documentation shall be approved by the Tribe for data recovery purposes. Cremations will either be removed in bulk or by means as necessary to ensure completely recovery of all material. If the discovery of human remains includes four or more burials, the location is considered a cemetery and a separate treatment plan shall be created. Once complete, a final report of all activities is to be submitted to the Tribe and the NAHC. The Tribe does NOT authorize any scientific study or the utilization of any invasive and/or destructive diagnostics on human remains.

Each occurrence of human remains and associated funerary objects will be stored using opaque cloth bags. All human remains, funerary objects, sacred objects and objects of cultural patrimony will be removed to a secure container on site if possible. These items should be retained and reburied within six months of recovery. The site of reburial/repatriation shall be on the project site but at a location agreed upon between the Tribe and the landowner at a site to be protected in perpetuity. There shall be no publicity regarding any cultural materials recovered. *(Mitigation Measure MM TR-7)*

- PL-26. Archaeological and Native American monitoring and excavation during construction projects will be consistent with current professional standards. All feasible care to avoid any unnecessary disturbance, physical modification, or separation of human remains and associated funerary objects shall be taken. Principal personnel must meet the Secretary of Interior standards for archaeology and have a minimum of 10 years of experience as a principal investigator working with Native American archaeological sites in southern California. The qualified archaeologist shall ensure that all other personnel are appropriately trained and qualified. *(Mitigation Measure MM TR-8)*
- PL-27. Construction activities affecting traffic and parking shall cease, starting at 2:00 p.m. to allow setup and operation of the weekly Thursday Farmers Market.
- PL-28. Alternative pedestrian access shall be provided on and through the project site if the existing sidewalk is not available for public use during construction. The alternative pedestrian access shall be approved the City prior to closing the public sidewalk.
- PL-29. The Soils Management Plan (SMP) approved by the Planning Department shall be followed during excavation.

Prior to Issuance of Grading Permit

- PL-30. Planning and Public Works Departments. The construction management plan shall include, but not be limited to:
 - a. A proposed haul route and location of a proposed off-site construction staging area where project construction workers and/or subcontractors will park and equipment will be stored. Equipment and construction staging area shall be located away from adjacent residential uses. Any construction activity that may require closing public roadways shall be identified and mitigation identified as

part of the staging plan. The applicant shall obtain input from Public Works to identify haul route and staging area. The applicant shall provide notification of at least 48 hours prior to any road closure to all affected property owners.

- b. Construction haul routes shall be designed to avoid noise sensitive uses (e.g., residences, convalescent homes, etc.) to the extent feasible. (*Mitigation Measure REC NOI-1*)
- c. A plan for dust control techniques to be implemented during project construction which shall include, but not be limited to, plans for daily watering of the construction site, limitations on construction hours, and adherence to standard construction practices such as watering of inactive and perimeter areas.
- d. A traffic control plan for the duration of the construction prepared by a licensed civil engineer for approval by the City Engineer. The applicant shall notify businesses, residents impacted by any parking restrictions, road closure, and any off-site staging areas during construction.
- e. A list of construction equipment, fixed or mobile, showing that all equipment will be equipped with properly operating and maintained mufflers and other State-required noise attenuation devices. (*Consistent with Mitigation Measure REC NOI-1*).
- f. Stationary construction equipment shall be placed such that emitted noise is directed away from sensitive noise receivers. (*Mitigation Measure REC NOI-1*)
- g. A plan for limiting the number of noise-generating, heavy-duty off-road construction equipment (e.g., backhoes, dozers, excavators, loaders, rollers, etc.) simultaneously used on the project site to no more than one or two pieces of heavy-duty, off-road equipment to reduce construction noise levels.
- h. At least two 24" x 36" signs, legible at a distance of 50 feet, shall be posted at the project site (one sign per street frontage) and shall contain the following information (*Consistent with Mitigation Measure REC NOI-1*):
 - i. Indicate the dates and duration of construction activities.
 - ii. A construction manager (name and telephone number) responsible for maintaining the public right-of-way and project site during all stages of construction until the project is completed.
 - iii. A 24-hour emergency contact person (name and a telephone number) where residents and affected public stakeholders can inquire about the construction process and register complaints. This person shall also be responsible for responding to any complaints about construction noise or activities associated with this project, and shall notify the City to determine the cause and implement reasonable measures to the complaint, as deemed acceptable by the City. All complaints shall be addressed within

24 hours and the person registered the complaint shall be notified of the resolution.

- PL-31. Documentation certifying that property owners and occupants located within 200 feet of the project boundary were sent a notice, at least 15 days prior to commencement of construction of each phase, regarding the construction schedule of the proposed project. *(Consistent with Mitigation Measure REC NOI-1)*
- PL-32. The applicant shall demonstrate to the satisfaction of the Director of Public Works that construction noise reduction methods shall be used where feasible. These reduction methods include shutting off idling equipment, installing temporary acoustic barriers around stationary construction noise sources, maximizing the distance between construction equipment staging areas and occupied residential areas, and electric air compressors and similar power tools. *(Consistent with Mitigation Measure REC NOI-1)*
- PL-33. Applicant shall provide proof to the City of South Pasadena Planning and Community Development Director that the Contractor would not use large vibratory rollers within 20 feet of off-site buildings, and/or would only use small static wheel rollers or asphalt rollers within 20 feet of off-site buildings. *(Mitigation Measure MM NOI-1)*
- PL-34. Applicant shall provide a signed contract with a tribal monitor/consultant who is both approved by the Gabrieleño Band of Mission Indians-Kizh Nation Tribal Government and is listed under the NAHC's Tribal Contact List for the area of the project location. This list is provided by the NAHC. The contract shall include the following *(Mitigation Measure MM TR-1)*:
- a. The monitor/consultant will only be present on-site during the construction phases that involve ground disturbing activities. Ground disturbing activities are defined by the Gabrieleño Band of Mission Indians-Kizh Nation as activities that may include, but are not limited to, pavement removal, potholing or auguring, grubbing, tree removals, boring, grading, excavation, drilling, and trenching, within the project area.
 - b. The tribal monitor/consultant shall complete daily monitoring logs that will provide descriptions of the day's activities, including construction activities, locations, soil, and any cultural materials identified.
 - c. The on-site monitoring shall end when the project site grading and excavation activities are completed, or when the tribal representatives and monitor/consultant have indicated that the project site has a low potential for impacting tribal cultural resources.
- PL-35. Applicant shall provide documentation to the Director of Planning and Community Development demonstrating coordination and/or approval from Metro and the California Public Utilities Commission about the proximity of the light rail facilities and the at-grade crossing.

Exhibit – A: Conditions of Approval**P.C. Resolution No. 21-__****Seven Patios at 845/899 El Centro St | Project No. 2171-CUP/DRX/TTM/TRP****Page 9 of 18**

- PL-36. Applicant shall submit a Soils Management Plan ("SMP") prepared by a licensed geotechnical firm to the Planning Department for review and approval. The purpose of this SMP shall be to establish the framework under which impacted soils (including containing a contaminant) at the site discovered during excavation will be investigated and the protocols for how they will be managed. The procedures described in the SMP should only be applied where impacted soils are identified, and non-impacted soils should continue to be managed outside of the framework of the SMP, pursuant to the excavation contractor's normal course of work under its grading permit.

Prior to issuance of Building Permits

- PL-37. The applicant shall provide photographs to Planning, Building, and Public Works Departments illustrating that proper construction fencing is installed and signs describing construction and noise disturbance coordinator contact information are posted at the construction site.
- PL-38. The applicant shall submit final landscape and irrigation plans showing compliance with state law and the City's Water Efficient Landscape Ordinance (SPMC Section 35.50), for approval by the Director of Planning and Community Development. The final landscape plans shall provide, but not limited to the following:
- a. Screening of all above ground equipment from public view.
 - b. Enlarge the existing tree wells on El Centro to 25 square feet and install tree grates. Tree grates shall be of either metal or cast-iron construction and approved by the City prior to installation.
 - c. Replace the existing Carrotwood tree on El Centro with Peppermint Willow to create a consistent streetscape.
 - d. Incorporate the Tree Removal Permit conditions listed below.
- PL-39. The applicant shall submit an outdoor lighting plan showing adequate lighting for security purposes and in compliance with Section 36.300.900 of the Zoning Code for review and approval by the Planning and Community Development Director. The external lighting shall be stationary, directed away from adjacent properties and public rights of way, and of an intensity compatible with the surrounding neighborhood.
- PL-40. A security plan for the parking garage shall be reviewed and approved by the Planning and Community Development Director and Police Chief.
- PL-41. The applicant shall receive approval from the Public Art Commission for either the installation of public art at the project site or payment of the required fee pursuant to South Pasadena Municipal Code Section 36.395. A copy of the approval shall be submitted with plan check plans.

- PL-42. The applicant shall provide revised development plans for approval by the Director of Planning and Community Development and the changes shall be reflected in the construction drawing set:
- a. Installation of a minimum of 4 and a maximum of 15 Electric Vehicles (EV) charging stations for non-residential use, as determined appropriate by the Mobility and Transportation Infrastructure Commission (MTIC). EV charging stations for non-residential use shall be located in a shared common area that can be accessed by the public.
 - i. All multifamily residential parking spaces shall be EV charging spaces capable of supporting future EV supply equipment (EVSE) per Section 4.106.4.2 of the CalGreen Code.
 - b. Location of 36 public parking spaces that shall not be tandem and shall be located near the elevator for accessing the commercial restaurant and retail spaces on the ground floor.
 - c. A signage design for posting at the 36 public parking spaces.
 - d. Installation of on-site security system in the parking garage with signage posted indicating 24-hour assistance contact information.
 - e. Installation of 11 bicycle parking spaces for residential use and 8 for non-residential uses shall be provided. Provide details for location, design of bicycle parking spaces, and facilities in accordance with the requirements of South Pasadena Municipal Code Section 36.310.100, "Bicycle Parking."
 - f. Installation of bike racks on the sidewalk between street trees on El Centro Street, in accordance with City Bicycle Master Plan. The bike racks shall be install such that a 4-foot wide pedestrian access be maintained at all time.
 - g. The building on El Centro shall be modified to avoid overhanging above the public sidewalk, or obtain approval from Public Works to allow the encroachment.
 - h. The proposed brick color and design for the contemporary style building on El Centro Street is the approved design treatment.
 - i. The revised East Elevation is the approved design solution; the elevation should not revert back to the original proposal.
 - j. The plans shall be revised to show "Open Space E" as a lobby for private residential use and all open space calculations shall be updated to remove Open Space E.
 - k. The plans shall be revised to reflect the Class III Bike Lane on El Centro Street, correcting the label "Class II Bike Lane."

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- PL-43. The construction plans shall show that the parking garage provides adequate pedestrian exist routes during an emergency.
- PL-44. The applicant shall submit a Master Sign Plan for review and approval pursuant to Section 36.320 of the Zoning Code. The Master Sign Plan shall incorporate directional signage to access the parking garage and direct the public to public parking spaces.
- PL-45. Applicant shall demonstrate, to the satisfaction of the City of South Pasadena Building Official that the applicable project plans and specifications incorporate a minimum of sound transmission class (STC) 39 rated for residential units facing the Metro Gold Line tracks windows and the remaining on-site residential units incorporate a minimum of STC 32 rated windows. (*Mitigation Measure REC-NOI-2*)
- PL-46. Applicant shall demonstrate, to the satisfaction of the City of South Pasadena Building Official that residential units with patios facing the Metro Gold Line tracks shall incorporate noise attenuating balcony and/or patio treatments. Balconies more than 6 feet deep and patios shall include a barrier that is at least 42 inches high as measured from the floor. Acceptable materials for the construction of the barrier shall have a weight of 2.5 pounds per square foot of surface area. The barrier may be composed of the following: masonry block, stucco veneer over wood framing (or foam core), glass, Plexiglass or Lexan (1/4-inch thin) and may be constructed out of a combination of the above listed materials. (*Mitigation Measures REC NOI-3*)

Prior to Final Inspection

- PL-47. The applicant shall install all landscaping and irrigation per the approved final landscape plans pursuant to the City's Water Efficient Landscape Ordinance (SPMC Section 35.50). The applicant shall provide documentations as required under SPMC Section 35.50, which shall include, but not limited to the following:
- a. A Certification of Completion certifying that landscape and irrigation have been installed per the approved final landscape plan and complies with the City Water Efficient Landscape Ordinance.
 - b. A Landscape Irrigation Audit Report from a certified landscape irrigation auditor shall be submitted to the City. The landscape irrigation audit shall not be conducted by the person who designed the landscape or installed the landscape irrigation.
- PL-48. The applicant shall provide photographs of the following:
- a. The locations of all on-site security system in the parking garage with signage posted indicating 24-hour assistance contact information.
 - b. The location of 36 parking spaces reserved for public use with signage posted indicating public parking spaces.

- PL-49. The applicant shall record a covenant or other instrument acceptable to the City that runs with the land specifying the following:
- a. All common open space areas, both residential and commercial, including all courts, paseos, pedestrian access, all private water, drainage, and sewer, facilities; storm water treatment devices, landscaping within designated landscape areas (including irrigation system), and community mailboxes, etc. shall be maintained in perpetuity by a designated entity.
 - b. All 36 automobile parking spaces designated for public use shall be maintained for public parking in perpetuity by a designated entity.
 - c. The parking garage door and all signage shall be maintained and any modifications to the parking garage door and signage shall be subject to review and approval by the City.
 - d. If parking fee is to be collect for the public parking spaces, approval from the City shall be obtained.
 - e. The public and private areas of the parking garage (including paving and striping), electric vehicle charging mechanisms, gates, all signage, lightings and shall be maintained by appropriate entities in perpetuity.
 - f. Ventilation mechanisms, fire protection, security systems, exterior lightings, and building facades shall be maintained by appropriate entities in perpetuity.
 - g. Maintenance of the windows for the commercial uses to be unobscured at all time.
 - h. All bicycle parking spaces for residential and non-residential uses within the project site and on the public right-of-way shall be maintained in perpetuity by a designated entity.
- PL-50. A night time site walk shall be conducted with Planning staff to approve the level of outdoor lighting to ensure no direct light or excess glare onto street, neighborhood, and adjacent neighbors will occur.
- PL-51. The applicant shall enter into an agreement with the City to pay for preparation of a traffic study that shall focus on circulation after the project is completed and occupied. The traffic study will only be required if the Chair of the Planning Commission and the Chair of the Mobility and Transportation Commission determine that such study is required within one year after operation of the project. If required, the traffic study shall focus on on-site and off-site circulation, including the driveway access on El Centro Street (inbound/outbound) and turning movements to determine appropriate striping, pavement markings, and/or signage to improve motor vehicle and pedestrian safety on El Centro Street.

PUBLIC WORKS DEPARTMENT**General Conditions**

- PW-1. The applicant shall be responsible for all costs incurred by the City and or the Public Works Department for the use of professional services or consultants in the review, investigation, and or plan check of the public improvement plans. The applicant shall deposit monies into an approved project account from which the City shall draw funds to pay for said professional services.
- PW-2. The applicant shall pay for all applicable city fees including Public Works Department plan review and permit fees per the City's Master Fee Schedule found at: <https://www.southpasadenaca.gov/government/departments/finance/master-fee-schedule>.
- PW-3. The applicant shall pay City sewer and/or water connection charges per Resolution 7390. Resolution 7390 can be found at: <http://opengov.southpasadenaca.gov/WebLink/DocView.aspx?id=58917&searchid=4309e405-eafc-47f4-bd28-040f4a8319dc&dbid=0>
- PW-4. The applicant shall provide copies of Title Reports to the Public Works Department.
- PW-5. No storage or occupation of the public right-of-way shall be permitted at any time.
- PW-6. Street or lane closures are only allowed between 9:00 am and 3:00 pm, unless otherwise approved by the Public Works Department. Whenever there will be a street closure exceeding thirty minutes in duration, the applicant shall provide written notification about the street closure to all impacted businesses and residents at least 48 hours prior to the street closure. An encroachment permit shall be obtained from the Public Works Department prior to any street closure. All lane closures shall be in accordance to MUTCD 2014 Rev. 4 or the Watch Manual. Traffic Control plans must be approved by the Engineer prior to start of construction.
- PW-7. The applicant shall post "Temporary No Parking " signs along the entire length of the property prior to start of any construction. The temporary no parking signs will be covered at the end of every working day and uncovered at the start of the following working day prior to any construction activity. If two-way traffic cannot be accommodated, a traffic control plan prepared by a CA licensed traffic engineer depicting the use of flagmen and/or detouring shall be submitted for review. The applicant shall obtain encroachment permits from the Public Works Department prior to the installation of any traffic control devices in the right-of-way. Applicant must be sure of the dates posted on the Temporary No Parking signs prior to commencing work.
- PW-8. The applicant shall obtain a dumpster permit from the Public Works Department. During project construction, temporary bins (low boy) shall be provided and shall be "roll off" style provided by Athens Services. Athens Services has an exclusive agreement with the City for the provision of trash removal services: only Athens dumpsters can be used. Dumpsters placed on the roadway shall require a protective

barrier underneath (such as plywood) to protect the pavement. At no time shall the temporary dumpsters be placed on a public sidewalk blocking pedestrian access.

- PW-9. The applicant shall obtain oversize/overload permits during the stages of construction involving activities such as but not limited to, grubbing, grading, drilling for piles and/or caissons, trenching for footings, excavating for retaining wall, core soil sampling, etc.
- PW-10. Roadway lighting on El Centro Street and Orange Grove Place shall be evaluated by the applicant's engineer for adequacy in accordance with current Illuminating Engineering Society (IES) standards. A copy of the evaluation report shall be submitted to the Public Works Department for review and approval. If the evaluation report identifies additional lighting is required, the applicant shall install new lighting along the frontage of the property, upgrade any existing street lighting to LED, and comply with IES standards.
- PW-11. Prior to approval of a street improvement plan, a focused traffic study shall be prepared by a CA licensed traffic engineer and submitted to the Public Works Department for review and approval. The study shall focus on onsite and offsite circulation including but not limited to access locations, inbound/outbound turning movements, internal circulation, parking operations, ADT and daily truck volume, and ADT during peak flow hours to determine the need for additional striping, pavement markings, and signage that will improve motor vehicle and pedestrian safety.
- PW-12. Development impacting the surround roadway system must take into account and mitigate the additional traffic volumes and the altering of existing traffic patterns. In addition to designing appropriate access for the proposed development, planners and developers must strive to maintain a satisfactory transportation level of service and safety for all roadway users. Traffic mitigation concerns will take into account the recommendations of the approved traffic impact study as performed by a CA licensed traffic engineer.
- PW-13. The applicant will be responsible for replacing/improving the existing Class III bicycle lane on El Centro Street.
- PW-14. Provide list of all utility agencies and outside stakeholders and their contact phone numbers. Applicant to include this information should be on the project plans.
- PW-15. The applicant shall obtain and pay all fees of an encroachment permit from the Public Works Department for any work proposed within the public right-of-way.
- PW-16. The applicant shall mitigate any existing run-on drainage from adjacent properties that may no longer properly drain due to the construction of new retaining walls.

Prior to Issuance of Grading Permits

- PW-17. The applicant shall provide a labor and materials bond and a performance bond based on 1½ times the estimated value of the proposed improvements in the public right-of-way prior to the issuance of a grading permit. The applicant's civil engineer

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shall prepare the construction cost estimate and obtain approval from the City Engineer.

- PW-18. The applicant shall provide a sewer study. Provide a report that the proposed sewer outlet on El Centro Street and/or Orange Grove Place has adequate capacity for the proposed sewage flow. The developer shall be responsible for all sewer improvements to provide adequate capacity for the proposed sewage flow.
- PW-19. Provide a copy of a will-serve letter from the Los Angeles County Sanitation District (LACSD).
- PW-20. If any existing sewer laterals are to be used for the proposed development, the applicant shall perform a video inspection of the existing sewer lateral for obstructions and remove any obstructions observed. Provide copy of the inspection video of the cleared pipe to the Public Works Department for review.
- PW-21. The applicant shall submit a water demand calculation to the City. The demand water calculation will used to create a Hydraulic Analysis Reports to determine the water availability for the proposed project.
- PW-22. The applicant shall pay for the cost to generate the hydraulic modeling and the cost to create a Hydraulic Analysis Reports. In addition, the applicant is responsible for installation of all new fire hydrants based and Fire Hydrant raised blue buttons on the final reports. Please contact Water Operation Manager at (626) 460-6393 for additional information.
- PW-23. All flood control plans to be reviewed by the City or the LACFCD shall be submitted through the City of South Pasadena, unless otherwise directed by the City Engineer. For projects requiring LACFCD review, the developer shall pay the appropriate fees to LACFCD.
- PW-24. The applicant shall provide civil improvement plans for review and approval by the City Engineer showing the following:
- a. Existing conditions plans:
 - i. All existing conditions within the full width of the public right-of-way including curb/gutter, curb ramps, driveways, survey monuments, drainage structures, streetlights, fire hydrants, trees, traffic signs, traffic signals, bicycle racks and other appurtenances on El Centro Street and Orange Grove Place.
 - b. Utility improvement plans:
 - i. The plan shall show the location and size of all existing utilities on adjacent street(s), as well as location and size of all existing and proposed services serving the property as required by the City Engineer. Existing utility locations and depth shall be verified by potholing.

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- ii. Include the location and area of trench sections for the proposed water, sewer, storm drain lines, and other underground utilities within the public right-of-way.
- iii. Include the elevation of the hydraulic grade line (HGL) for proposed storm drains.
- iv. Include the location of any backflow preventers. Backflow preventers shall be tested by a certified tester and certified test forms shall be submitted to the Water Department.
- v. Underground utilities to be placed in the public right-of-way or easement that will be owned and maintained by other entities shall be reviewed by the City prior to Utility Agency approval. The City shall have a place on the title sheet to accept the plans with a statement: "The City's acceptance is limited to the placement of utilities relative to public infrastructure clearances, uses, and future plans within the right-of-way".

c. Street improvement plans:

- i. The plan shall show all street improvements within the full of the public right-of-way including curb/gutter, curb ramps, driveways, survey monuments, drainage structures, streetlights, fire hydrants, trees, traffic signs, traffic signals, bicycle racks, roadway surface treatments and other appurtenances on El Centro Street and Orange Grove Place as required by the City Engineer.

d. Striping and signing plans:

- i. The plan shall show all street striping, signage, curb markings, bike lanes per the City's Bicycle Master Plan, and other markings to be replaced or installed on El Centro Street and Orange Grove Place as required by the City Engineer.

PW-25. The applicant shall provide a Construction Management Plan (CMP) for all construction activities within the public right-of-way to the Public Works Department for review and approval. The CMP shall include a truck route map, on-site staging plan, contractor parking locations, temporary storage of construction-related materials, and Best Management Practices (BMPs). The CMP shall also include a construction schedule and traffic control plan prepared by a CA licensed traffic engineer for each stage of major construction activities and the timing of special access necessary as it relates to site staging, traffic, access, and any potential conflicts with the adjacent train tracks. Any changes to the construction schedule shall be submitted schedule to the Public Works Department. The CMP shall include the Metro Station Train Schedule and Train Master Contact info.

PW-26. The applicant shall maintain safe pedestrian access, including ADA and bicycle, at all times. This may include, but not be limited to, the installation of temporary

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sidewalk/bicycle facilities and accounting for ADA access throughout the duration of construction. A temporary pedestrian/bicycle facilities and ADA access plan shall be submitted to the Public Works Department for review.

- PW-27. The applicant shall submit a Stormwater Pollution Prevention Plan (SWPPP) and file a Notice of Intent with State Water Quality Control Board. A Waste Discharge Identification Number (WDID#) must be obtained prior to the start of any construction work onsite.
- PW-28. Ingress and egress into and out of the driveway on El Centro Avenue is restricted to right turn movements only. The project driveway shall be designed with a median island or other permanent feature to restrict left-turn movements into and out of the project driveway. The design of the driveway will be submitted to Public Works Director for review and approval.

Prior to Issuance of Building Permit

- PW-29. The applicant shall obtain the Water Department's approval for water meter requirements. The applicant shall contact the City Water Division to coordinate size, location, and associated fee for new water meter connections, as applicable. Please contact Water Operation Manager at (626) 460-6393 for additional information.
- PW-30. The applicant shall verify with the Fire Department for water meter requirements for proposed fire sprinkler systems.

Prior to Final Inspection

- PW-31. The applicant shall replace all broken, damaged, or out-of-grade curb and gutter, sidewalk, and driveway along El Centro Street and Orange Grove Place fronting the property to the satisfaction of the Engineer per SPMC Section 31.54.
- PW-32. The applicant shall repaint all curb markings fronting the property, unless otherwise noted on the plans, on El Centro Street and Orange Grove Place to the satisfaction of the Engineer.
- PW-33. The applicant shall paint three (3) feet of red curb on the both side of the proposed driveway on El Centro Street to the satisfaction of the City Engineer.
- PW-34. The applicant shall grind and overlay minimum 3" of existing asphalt from curb to curb along the entire street width on Orange Grove Place adjacent to the project boundary. The overlay shall be placed in two 1.5" lifts using ¾" PG 64-10 Hot Mix Asphalt.
- PW-35. The applicant shall grind and overlay minimum 3" of existing asphalt from curb to curb along the entire street width on El Centro Street adjacent to the project boundary. The overlay shall be placed in two 1.5" lifts using ¾" PG 64-10 Hot Mix Asphalt.

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- PW-36. The applicant shall install bicycle racks per the City's Bicycle Master Plan. The bicycle racks shall be installed in between proposed tree wells on El Centro Street. The applicant shall also include in the CC&Rs for the unconditional and indefinite maintenance of the bicycle racks. Bicycles racks shall at no time reduce the sidewalk width below 4 feet.

Prior to Final Map Approval

- PW-37. The applicant shall provide a copy of the Covenants, Conditions & Restrictions (CC&Rs) for review and approval prior to Final Map approval.
- PW-38. Prior to Final Map approval, the applicant shall provide a copy of the approved homeowner's association (HOA) documentation from the Building and Safety Department.
- PW-39. Prior to Final Map approval, the applicant shall submit a complete copy of the Final Map to the Los Angeles County Department of Public Works Land Development Division (LDD) for review of mathematical accuracy and provide a copy of the approval letter from LDD to the City Engineer.
- PW-40. The applicant is responsible to install, document, and submit centerline tie information for revisions to existing streets and replacement of centerline ties removed during construction.
- PW-41. The applicant shall preserve existing survey monuments (property corners, centerline ties, etc.) in the public right-of-way. All disturbed and removed survey monuments in the public right-of-way shall be re-established and a Record of Survey shall be filed with the County Surveyor in accordance with applicable provision of State law. The applicant licensed surveyor shall file an initial record of survey at the County Recorder's Office for all survey monuments, bench marks or curb chisels that will be removed due to Construction. The applicant's licensed surveyor shall restore all removed survey monuments, bench marks and curb chisels to original location and file a final record of survey with the County Recorder's Office. A final report shall be submitted to Public Works confirming the final recordation.

Tree Removal Permit Conditions

- PW-42. Show all existing and proposed trees (including parkway trees), including size and species, and indicate their disposition. The applicant shall show methods of protecting existing onsite and on the parkway trees during construction on the plans. The applicant shall submit an arborist report for all trees (including parkway trees) at project completion to the City, demonstrating that all protection methods were followed and document the tree disposition after construction.
- PW-43. Tree removals associated with development shall only be conditionally approved subject to the applicant receiving their development building permit, paying all fees associated with the tree removal as established by resolution of the city council, and paying a deposit in the amount of \$360 for the 1 replacement trees. Upon the planning review authority's approval of the development application and

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satisfaction of all conditions of approval, and payment of all required fees, the applicant shall be issued a tree removal permit.

- PW-44. Replacement trees shall be planted per SPMC section 34.12-5 (b). The applicant is required to plant 1 replacement trees based on the trees proposed for removal. The South Pasadena Public Works Department shall inspect the replacement trees before being planted.
- PW-45. Upon the applicant's proof to the city's satisfaction that the applicant has complied with the approved tree replacement plan, the city shall reimburse the applicant's replacement tree deposit. Should the applicant fail to plant any replacement trees per the approved replacement tree plan, the city shall retain the amount of the replacement tree deposit necessary to cover the cost to plant any required replacement trees in alternative locations within the city (public right-of-way, park, etc.), as permitted by SPMC chapter 34.
- PW-46. No trees shall be removed from the site until Tree Removal Permits are issued.

BUILDING AND SAFETY DIVISION**General conditions for all proposed buildings:**

- BD-1. The second sheet of building and grading plans is to list all conditions of approval and to include a copy of the Planning Commission Decision letter. This information shall be incorporated into the plans prior to the first submittal for plan check.
- BD-2. The initial plan check fee will cover the initial plan check and one recheck only. Additional review required beyond the first recheck shall be paid for on an hourly basis in accordance with the current fee schedule.
- BD-3. School Developmental Fees shall be paid to the School District prior to the issuance of the building permit.
- BD-4. Fees shall be paid to the County of Los Angeles Sanitation District prior to issuance of the building permit.
- BD-5. Park Impact Fee to be paid at the time of permit issuance.
- BD-6. Per Chapter 16A of the City of South Pasadena Municipal Code, Growth fee to be paid at the time of permit issuance.
- BD-7. A separate address required. An application to assign address and unit numbers shall be filed with Public Works Department prior to plan check submittal.
- BD-8. In accordance with paragraph 5538(b) of the California Business and Professions Code, plans are to be prepared and stamped by a licensed architect.
- BD-9. Structural calculations prepared under the direction of an architect, civil engineer or structural engineer shall be provided.

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- BD-10. A geotechnical and soils investigation report is required, the duties of the soils engineer of record, as indicated on the first sheet of the approved plans, shall include the following:
- a) Observation of cleared areas and benches prepared to receive fill;
 - b) Observation of the removal of all unsuitable soils and other materials;
 - c) The approval of soils to be used as fill material;
 - d) Inspection of compaction and placement of fill;
 - e) The testing of compacted fills; and
 - f) The inspection of review of drainage devices.
- BD-11. The geotechnical and soils engineer shall review and approve the project grading and foundation plans to show compliance that their recommendations have been properly implemented.
- BD-12. The owner shall retain the soils engineer preparing the Preliminary Soils and/or Geotechnical Investigation accepted by the City for observation of all grading, site preparation, and compaction testing. Observation and testing shall not be performed by another soils and/or geotechnical engineer unless the subsequent soils and/or geotechnical engineer submits and has accepted by Building Division, a new Preliminary Soils and/or Geotechnical Investigation.
- BD-13. At the time of plan submittal, the pdf copy of the soils report shall be provided by the applicant
- BD-14. A grading and drainage plan shall be approved prior to issuance of the building permit. The grading and drainage plan shall indicate how all storm drainage including contributory drainage from adjacent lots is carried to the public way or drainage structure approved to receive storm water.
- BD-15. Redevelopment project with land disturbing activity that would result in the replacement of 5,000 square feet or more of impervious surface area on an already developed site on Planning Priority Project categories shall comply with LID requirements per City Ordinance. LID systems shall be tested prior to certificate of occupancy.
- BD-16. All State of California disability access regulations for accessibility and adaptability shall be complied with.
- BD-17. Approval is required from the Los Angeles County Health Department for restaurants.
- BD-18. The building permit will not be issued until the property has been surveyed and the boundaries marked by a land surveyor licensed by the State of California.
- BD-19. City records indicate the proposed site is a combination of lots under common ownership. A parcel merger by document shall be obtained or a parcel/tract map shall be processed **prior** to issuance of the building permit.
- BD-20. A parcel/tract map shall be processed prior to issuance of the building permit.

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- BD-21. Foundation inspection will not be made until the excavation has been surveyed and the depth of the footings has been determined to be in accordance with the approved plans by a land surveyor licensed by the State of California. THIS NOTE IS TO BE PLACED ON THE FOUNDATION PLAN IN A PROMINENT LOCATION.
- BD-22. Foundation inspection will not be made until setback on the all sides of the building has been surveyed and the location of the footings has been determined to be in accordance with the approved plans by a land surveyor licensed by the State of California. THIS NOTE IS TO BE PLACED ON THE FOUNDATION PLAN IN A PROMINENT LOCATION.
- BD-23. Energy calculations are required.
- BD-24. Electrical plan check is required.
- BD-25. Mechanical plan check is required.
- BD-26. Plumbing plan check is required.
- BD-27. Project shall comply with the CalGreen Non-Residential mandatory requirements.
- BD-28. Project shall comply with the CalGreen Residential mandatory requirements.
- BD-29. Plumbing fixtures shall be provided as required by the Chapter 4 of the California Plumbing Code. Additional fixtures may be required if not in compliance.
- BD-30. No form work or other construction materials will be permitted to encroach into adjacent property without written approval of the affected property owner.
- BD-31. Demolition permit is required for any existing buildings which are to be demolished.
- BD-32. Separate plan review and permit is required for each detached retaining wall.
- BD-33. All fire sprinkler hangers must be designed, and their location approved by an engineer or an architect. Calculations must be provided indicating that the hangers are designed to carry the tributary weight of the water filled pipe plus a 250-pound point load. A plan indication this information must be stamped by the engineer or the architect and submitted for approval prior to issuance of the building permit.
- BD-34. Separate permit is required for Fire Sprinklers.

Specific conditions for the proposed mixed-use with 5-unit retail with 47-unit residential building and Basement Level 1 for residential parking and Level 2 for general parking:

- BD-35. Ten percent of the total residential parking spaces assigned for the multifamily residential dwelling units (separate from those associated with the “Bungalow” single-family dwellings units) in this building shall be electric vehicle (EV) charging spaces capable of supporting future EV supply equipment (EVSE) per Section 4.106.4.2 of the CalGreen Code (11 EV charging spaces are required for 102 parking spaces provided).

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- BD-36. There shall be at least one EV space located in the common use residential parking area and be available for use by all residents per Section 4.106.4.2.1. As such, this EV space shall not be assigned to a specific residential dwelling unit for parking purposes. The rest of the required EV charging spaces may be assigned to residents. When EV charger is installed, accessible space shall be provided for this EV space per Section 4.106.4.2.2, Item 3.
- BD-37. When EV chargers are installed in assigned residential parking spaces, one in every 25 EV spaces (3 EV spaces out of total 57) shall also have an 8-foot wide minimum aisle per Section 4.106.4.2.2, Item 3.
- BD-38. New construction shall comply with Section 5.106.5.3 of the CalGreen Code to facilitate future installations of EVSE in nonresidential parking area (4 EV spaces out of total 65).
- BD-39. When EV chargers are installed in each nonresidential parking facility as determined by the Planning Division (e.g. parking area for retail is a separate facility from parking at bonus area), accessible space shall be provided for each facility per Section 11B-228.3.2.
- BD-40. Bicycle parking for non-residential building shall be provided to meet the requirements per Section 5.106.4 of the CalGreen Code.
- BD-41. Nonresidential building with three habitable stories or fewer and low-rise multifamily buildings shall comply with solar ready building requirements per Section 110.10 of the California Energy Code.
- BD-42. The building height and area shall not exceed the limits specified in Table 503 based on the type of construction as determined by Section 602 and the occupancies as determined by Section 302 except as modified hereafter.
- BD-43. Each portion of a building shall be individually classified in accordance with Section 302.1. Where a building contains more than one occupancy group, the building or portion thereof shall comply with the applicable provisions of Section 508.2, 508.3 or 508.4, or a combination of these sections.
- BD-44. Individual occupancies shall be separated from adjacent occupancies in accordance with Table 508.4.
- BD-45. Public parking garage not meeting the criteria of natural ventilation per Section 406.5.2 shall be designed as enclosed parking garage. Mechanical ventilation in accordance with Los Angeles County Building Code Section 406.6.2 is required for the enclosed parking garage.
- BD-46. The building elements shall have a fire-resistance rating not less than that specified in Table 601 and exterior walls shall have a fire-resistance rating not less than that specified in Table 602. Where required to have a fire-resistance rating by Table 601, building elements shall comply with the applicable provisions of Section 703.2.

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- BD-47. Fire-resistance rating requirements for exterior walls based on fire separation distance of 5 to 30 feet shall comply with Table 602 of the Building Code.
- BD-48. Maximum area of exterior wall openings and degree of open protection based on fire separation distance of 5 to 20 feet shall comply with Table 705.8 of the Building Code.
- BD-49. Exterior balconies and similar projections extending beyond the exterior wall shall conform to the requirements of Section 705.2 and Section 1046. Projections shall not extend any closer to the line used to determine the fire separation distance than shown in Table 705.2.
- BD-50. The minimum width or required capacity of a means of egress system shall not be diminished along the path of egress travel per Section 1003.6.
- BD-51. Interior exit stairways shall terminate at an exit discharge or a public way unless the conditions per the exception in Section 1023.3 are met.
- BD-52. Corridor shall be fire resistance rated in accordance with Table 1020.1 and be continuous per Section 1020.6.
- BD-53. Egress balconies shall conform to the requirements per Section 1021.
- BD-54. Exit access travel distances shall be increased up to an additional 100 feet provided the last portion of the exit access leading to the exit occurs on an exterior egress balcony constructed in accordance Section 1021. The length of such balcony shall be not less than the amount of the increase taken per Section 1017.2.1. Exit access travel distance measured per Section 1017.3 shall not exceed the values given in Table 1017.2.
- BD-55. Exterior exit stairway location shall comply with Section 1027.5.
- BD-56. Exterior exit stairway shall be separated from the interior of the building as required in Section 1023.2 unless the conditions per one of the exceptions in Section 1027.6 are met.
- BD-57. Sprinklers protection shall be provided in open-ended corridors and associated exterior stairways as specified in Section 1027.6, Exception 3 per Section 903.3.1.2.2.
- BD-58. Restaurant equal or larger than 750 square feet in dining area shall be classified as A-2 Group Occupancy and be separated from adjacent occupancies in accordance with Table 508.4 of the California Building Code (CBC). Restaurant classified as assembly occupancy of occupant load greater than 49 shall have at least two exits per Section 1006.3.2. An accessible route shall be provided to all functional areas at second floor per Section 11B-206.2.5.
- BD-59. Community room and/or gym equal or larger than 750 square feet in area shall be classified as A-3 Group Occupancy and be separated from adjacent occupancies in accordance with Table 508.4 of the California Building Code (CBC).

Exhibit – A: Conditions of Approval**P.C. Resolution No. 21-__****Seven Patios at 845/899 El Centro St | Project No. 2171-CUP/DRX/TTM/TRP****Page 24 of 18**

- BD-60. Condominiums consist of four or more attached dwelling units with an elevator shall meet the requirements of the California Building Code Section 1106A.
- BD-61. When assigned parking spaces are provided for a resident or a group of residents, at least 2 percent of the assigned parking spaces serving covered multifamily dwelling units shall be accessible in each type of parking facility per Section 1109A.4.
- BD-62. Accessible parking spaces assigned to multifamily R-2 Occupancy Group residential building shall be located on the shortest possible route to a covered multifamily dwelling unit entrance per Section 1107A.7.
- BD-63. Exit access stairways in an enclosed parking garage of S-2 occupancy shall be enclosed with a shaft enclosure constructed in accordance with Section 713 unless one of the conditions listed under Section 1019.3 is met.
- BD-64. At least one accessible route shall be provided within the site from accessible parking in public parking garage as the site arrival point to each entrance of commercial space at the ground level per Section 11B-206.2.1.

Specific conditions for the proposed mixed-use with 10-unit “Townhouses” residential building and Basement Level 1 for residential parking:

- BD-65. Three-story, R-2 occupancy group with only one exit is not permitted per Table 1006.3.2(1) of the California Building Code. This building shall be constructed as Townhouses R-3 Occupancy Group complying with Section R302.2 of the California Residential Code.
- BD-66. Townhouse R-3 Occupancy Group residential building of a different type of construction than that of the R-2 shall be separated by a Fire Wall complying with Section 706 at the common wall between unit 118 and 113 (217 & 312) and another between unit 117 and 115 (219 & 315).
- BD-67. Habitable rooms in Townhouse R-3 Occupancy Group residential building shall comply with light, ventilation, and heating requirements per Section R303.
- BD-68. Multistory condominiums consist of four or more attached dwelling units with no elevator shall meet the requirements of the California Building Code Section 1102A.3.1.
- BD-69. Accessible parking spaces assigned to townhouse R-3 Occupancy Group residential building shall be located on the shortest possible route to a covered multifamily dwelling unit entrance per Section 1107A.7.

Specific conditions for the proposed 3-unit, two-story “Bungalow” single-family dwellings and their residential parking at Basement Level 2:

Exhibit – A: Conditions of Approval**Seven Patios at 845/899 El Centro St | Project No. 2171-CUP/DRX/TTM/TRP****P.C. Resolution No. 21-__****Page 25 of 18**

- BD-70. Bungalow units with their parking garages structurally connected to the general parking garage at basement level 2 is considered a part of the same structure as the general parking garage. Common areas providing circulation to parking garages/spaces associated with these units shall be of the same occupancy and type of construction as those assigned to the general parking garage.
- BD-71. Private garage and carports classified as U Group Occupancy shall not exceed 1,000 square feet and be separated from other private garages in accordance with Section 406.3.1 of the Building Code.
- BD-72. Each of the three attached private garages to single-family dwellings shall comply electric vehicle (EV) charger facilitation requirements per Section 4.106.4.1. EV chargers provided in private garages are under separate EV facilitation requirements and shall not be counted toward those for multifamily dwellings.
- BD-73. Residential portion of the bungalow units structurally connected to the podium deck of the residential parking garage at basement level 1 is considered a part of the same structure as the residential parking garage.
- BD-74. For the purpose of complying with accessibility requirements, bungalow units shall be considered as “attached” multistory condominiums dwelling units with no elevator to the adjacent 10-unit townhouses and shall meet the requirements of the California Building Code Section 1102A.3.1.
- BD-75. At least 10 percent but not less than one of the multistory condominium dwellings in buildings, which contain Covered Multifamily Dwellings, with no elevator shall comply with the requirements listed in Section 1102A.3.1. The minimum number of units which must comply with this section shall be calculated using the total number of all multistory dwelling units in buildings located on the same site which are subject to this section.
- BD-76. Private garages accessory to covered multifamily dwelling units, shall be accessible as required in Section 1109A.2.1. Private garages include individual garages and multiple individual garages grouped together.

FIRE DEPARTMENT

- FD-1. All construction must comply with all appropriate fire protection installation standards as adopted by the South Pasadena Fire Department.
- FD-2. Shall comply with all current adopted California Building Code, Fire Codes, NFPA and South Pasadena Municipal Code, requirements are based on occupancy classification.
- FD-3. Fire Sprinkler Required. Approved automatic sprinkler systems in new buildings and shall be provided in the locations described in Sections 903.2.1 through 903.2.12.
- FD-4. Water supply for buildings equipped with an automatic sprinkler system. For buildings equipped with an approved automatic sprinkler system, the water supply shall be capable of providing the greater of:

Exhibit – A: Conditions of Approval**Seven Patios at 845/899 El Centro St | Project No. 2171-CUP/DRX/TTM/TRP****P.C. Resolution No. 21-___****Page 26 of 18**

- 1- The automatic sprinkler system demand, including hose stream allowance.
 - 2- The required fire flow. B105.3
- FD-5. Underground Buildings shall be equipped throughout with a Class I automatic wet or manual wet standpipe system.
- FD-6. Standpipe Systems. Standpipe systems shall be provided in new buildings and structures in accordance with Sections 905.2 through 905.10.
- FD-7. Height. In other than Group R-3 and R-3.1 occupancies, Class III standpipe systems shall be installed throughout each floor where any of the following occurs:
- Buildings where the floor level of the highest story is located more than 30 feet above the lowest level of fire department of vehicle access
- FD-8. Additional Fire Hydrant may be required.
- FD-9. Hydrants for standpipe systems. Buildings equipped with a standpipe system installed in accordance with Section 905, shall have a Fire Hydrant within 100 feet of the Fire Department Connection. (507.5.1.1)
- FD-10. Fire Flow. The flow rate of a water supply, measured at 20 psi residual pressure, that is available for firefighting. Fire flow requirements for buildings or portions of buildings and facilities shall be determined by an approved method or Appendix B. (507.3)
- FD-11. Required water supply. An approved water supply capable of supplying the required fire flow for fire protection shall be provide to premises upon which facilities, buildings or portions of buildings are hereafter constructed or moved into or within the jurisdiction. (507.1 CFC)
- FD-12. Water Supply Test. The fire code official shall be notified prior to the water supply test. Water supply test shall be witnessed by the fire code official and approved documentation of the test shall be provided to the fire code official prior to the final approval of the water supply system. (507.4 CFC)
- FD-13. Fire Pump. May be required when fire flow is not met. Where provided fire pumps shall be installed in accordance with this Section and NFPA 20. (913.1 CFC)
- FD-14. Fire Alarm required. Submit plans to City for approval (manual and automatic). An approved fire alarm system installed in accordance with the provisions of this code and NFPA 72 shall be provided in new buildings and structures.
- FD-15. Central Station Service Alarm Systems. Alarm systems used to provide central station service shall comply with the general requirements and the use requirements of Section 26.3. (NFPA 72)
- FD-16. Exits. Exits shall comply with Sections 1022 through 1027 and the applicable requirements of Sections 1003 through 1015. An exit shall not be used for any purpose that interferes with its function as a mean of egress. Once a given level of exit protection is achieved, shall level of

protection shall not be reduced until arrival at the exit discharge. Exit shall be continuous from the point of entry into the exit to the exit discharge.

- FD-17. Fire Apparatus access. Roads shall have an unobstructed width of no less than 20 feet and an unobstructed vertical clearance of not less than 13 feet 6 inches exclusive of shoulders, except for an approved security gate in accordance with Section 503.6 of the California Fire Code. Aerial fire apparatus access roads is required and shall have a minimum unobstructed width of 26 feet, exclusive of shoulders in the immediate vicinity of the building.
- FD-18. Automatic Garage door openers. If provided, shall be listed in accordance with UL 325. See health and Safety Code Sections 19890 and 19891 for additional provisions for residential garage door openers
- FD-19. Address Identification. New and existing buildings shall have approved address numbers, building numbers or approved building identification placed in a position that is plainly legible and visible from the street or road fronting the property.
- FD-20. Knox Box required. Where access to or within a structure or an area is restricted because of secure openings or where immediate access is necessary for life-saving or fire-fighting purposes, the Fire Code Official is authorized to require a key box to be installed in an approved location. (506.1 CFC)
- FD-21. Portables Fire extinguishers. Structures under construction, alteration or demolition shall be provide with no less one approved portable fire extinguisher in accordance with Section 905 and sized for not less than ordinary hazard as follows:
- At each stairway on all floor levels where combustible materials have accumulated.
 - In every storage and construction shed.
 - Where special hazards exist including but not limited to and the storage and use of combustible and flammable liquids. (3315.1 CFC)
- FD-22. Where required. Portables fire extinguishers shall be installed in all of the following locations:
- In new and existing Group A, B, E, F, H, I, L, M, R-1, R-2, R-2.1, R-3.1, R-4 and S Occupancies. (906.1 CFC)
- FD-23. Groups R-2, R-2.1, R-3, R-3.1 and R-4. Single or multiple-station smoke alarms shall be installed and maintained in Groups R-2, R2.1, R-3, R-3.1 and R-4 regardless of occupant load at all of the following locations:
- On the ceiling or wall outside of each separate sleeping area in the immediate vicinity of bedrooms.
 - In each room used for sleeping purposes.
 - In each story within a dwelling unit, including basement but not including crawl spaces and uninhabitable attics. In dwellings or dwelling units with split levels and without an intervening

Exhibit – A: Conditions of Approval**Seven Patios at 845/899 El Centro St | Project No. 2171-CUP/DRX/TTM/TRP****P.C. Resolution No. 21-__****Page 28 of 18**

door between the adjacent levels, a smoke alarm installed on the upper level shall suffice for the adjacent lower level provided that the lower level is less than one full story below the upper level.

- FD-24. Interconnection. Where more than one smoke alarm is required to be install within an individual dwelling unit or sleeping unit, the smoke alarm shall be interconnected.
- FD-25. Fire Alarm and Detection Systems required. This section covers the application, installation, performance and maintenance of fire alarm systems and their components in new and existing buildings and structures. The requirements of Section 907.2 are applicable to new buildings and structures. SFC 907.1
- FD-26. Notwithstanding anything else in this code, or any other code incorporated, herein, by reference any new roof shall be of Class "A" roof material. SPMC 14.1.1
- FD-27. For water/ meter application please refer to public works. SPMC 35.1

POLICE DEPARTMENT**General Conditions**

- PD-1. The project shall have a property manager assigned with the ability to provide 24-hour service seven days a week. The 24/7 contact information for the property manager shall be made available to all building tenants and visitors to the buildings.
- PD-2. The parking structure shall be secured 24 hours a day, Monday through Sunday of every week.

Prior to Final Inspection

- PD-3. Prior to final inspection, the applicant shall install proper signage within the parking structure informing residents, tenants, and visitors of parking restrictions.
- PD-4. Prior to final inspection, security cameras, shall be installed on the exterior of the building and within the parking structure. An external link to be used by public safety is required.
- PD-5. Prior to final inspection, security lighting shall be installed on the exterior of the building and within the parking garage.

At Final Inspection

- PD-6. At final inspection, the applicant shall provide the Police Department with building access-Knox box key access as required by public safety.

ATTACHMENT 3

Project Architectural Plans



APPROVED

- ☐ BY THE PLANNING DIRECTOR
- ☐ BY THE CULTURAL HERITAGE COMMISSION
- ☐ BY THE DESIGN REVIEW BOARD
- ☒ BY THE PLANNING COMMISSION
- ☐ BY THE CITY COUNCIL

FOR THE CITY OF SOUTH PASADENA ON Nov. 17, 2020

APPLICATION NO: Project No. 2171-CUP/DRX/TTM/TRP

PLANNER: Kamifapik

NOTES: Seven Patios Mixed-Use Residential & Commercial



APPROVED

- ☐ BY THE PLANNING DIRECTOR
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FOR THE CITY OF SOUTH PASADENA ON Nov. 17, 2020

APPLICATION NO: Project No. 2171-CUP/DRX/TTM/TRP

PLANNER: *Kim Kapiluk*

NOTES: Seven Patios Mixed-Use Residential & Commercial



APPROVED

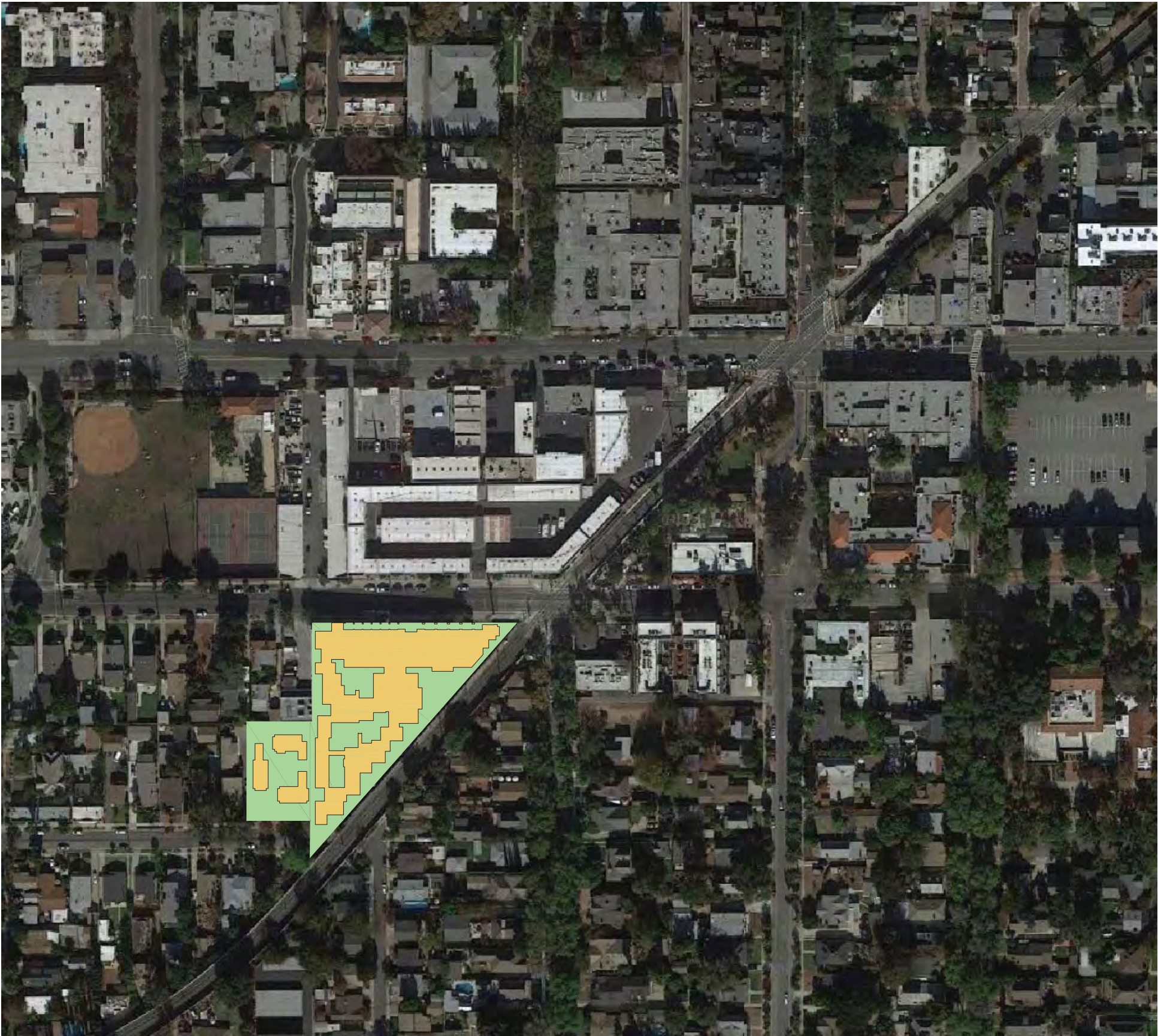
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Seven Patios
899 El Centro St. South Pasadena, CA
11/04/2020

CONTEXT PLAN

DRAWING INDEX

COVER

A0.00 CONTEXT PLAN, DRAWING INDEX, & PROJECT DIRECTORY

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TENTATIVE TRACT MAP

TENTATIVE TRACT MAP

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A1.11 DEMOLITION PLAN

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A2.01 BASEMENT PLAN 1, RESIDENTIAL PARKING

A2.11 GROUND FLOOR PLAN

A2.12 SECOND FLOOR PLAN

A2.13 THIRD FLOOR PLAN

A2.14 ROOF PLAN

A3.00 MSSP - EXTERIOR ELEVATIONS

A3.01 MSSP - EXTERIOR ELEVATIONS

A3.02 RM - EXTERIOR ELEVATIONS

A3.03 RM - EXTERIOR ELEVATIONS

A3.04 RM - EXTERIOR ELEVATIONS

A3.05 ENLARGED COURTYARD PATIO DEL OLIVO

A3.06 ENLARGED COURTYARD PATIOS DE LAS LUCES, BOUGAINVILLEA, FUENTE

A3.07 ENLARGED COURTYARD DE LA WISTERIA

A3.08 ENLARGED COURTYARD PATIO DE LA ACEQUIA

A3.09 ENLARGED COURTYARD PATIO DE LA JACARANDA

A4.00 BUILDING SECTION

A4.01 BUILDING SECTIONAL COMPARISON

A5.00 UNIT PLANS

A5.01 UNIT PLANS

A5.02 UNIT PLANS

A5.03 UNIT PLANS

A5.04 UNIT PLANS

A5.05 UNIT PLANS

A5.06 UNIT PLANS

A5.07 UNIT PLANS

A5.08 UNIT PLANS

A6.00 MATERIAL FINISHES -SPANISH STYLE

A6.01 MATERIAL FINISHES - BUNGALOW CRAFTSMAN STYLE

A6.02 MATERIAL FINISHES - COMMERCIAL

A6.03 MODEL VIEWS

A7.00 DOOR TYPES

A7.01 DOOR TYPES

A7.02 DOOR SCHEDULE

A7.03 DOOR SCHEDULE

A7.04 DOOR SCHEDULE

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A7.06 DOOR SCHEDULE

A7.07 WINDOW TYPES

A7.08 WINDOW TYPES

A7.09 WINDOW TYPES

A7.10 WINDOW SCHEDULE

A7.11 WINDOW SCHEDULE

A7.12 WINDOW SCHEDULE

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L2 HARDSCAPE CHARACTER & MATERIAL | SITE CIRCULATION

L3 HARDSCAPE CHARACTER & MATERIAL | IMAGERY

L4 SEVEN PATIOS | KEY PLAN | ILLUSTRATIVE SITE PLAN

L5 1 PATIO DEL OLIVO

L6 2 PATIO DE LA WISTERIA | 3 PATIO DE LA BOUGAINVILLEA

L7 4 PATIO DE LA FUENTE | 5 DE LAS LUCES | 6 DE LA ACEQUIA

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G3.06 ENLARGED ELEVATIONS & DETAILS 5

PROJECT DIRECTORY

OWNER

DC El Centro Holdings, LLC

150 E. Colorado Blvd. #302 A

Pasadena, CA 91105

T: (626) 360-0688

Contact: James Li

E: jl.pillc@gmail.com

PROJECT TEAM

ARCHITECT

Moule & Polyzoides Architects and Urbanists

180 East California Boulevard

Pasadena, CA 91105

T: (626) 844-2400

Contact: Christian Arndt

E: carndt@mparchitects.com

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Korn Randolph

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Pasadena, CA 91101

T: (626) 564-0259

Contact: Amy Korn

E: amy@kornrandolph.com

GRAPHICS

Newsom Gonzalez Graphic Design

7906 W 4th Street

Los Angeles, CA 90048

T: (323) 658-7955

Contact: Carol Newsom

E: carol@newsomdesign.com

APPROVED

☐ BY THE PLANNING DIRECTOR

☐ BY THE CULTURAL HERITAGE COMMISSION

☐ BY THE DESIGN REVIEW BOARD

☒ BY THE PLANNING COMMISSION

☐ BY THE CITY COUNCIL

FOR THE CITY OF SOUTH PASADENA ON Nov. 17, 2020

APPLICATION NO: Project No. 2171-CUP/DRX/TTM/TRP

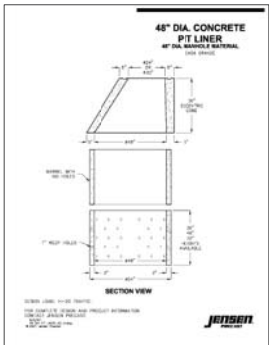
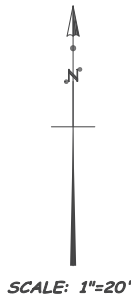
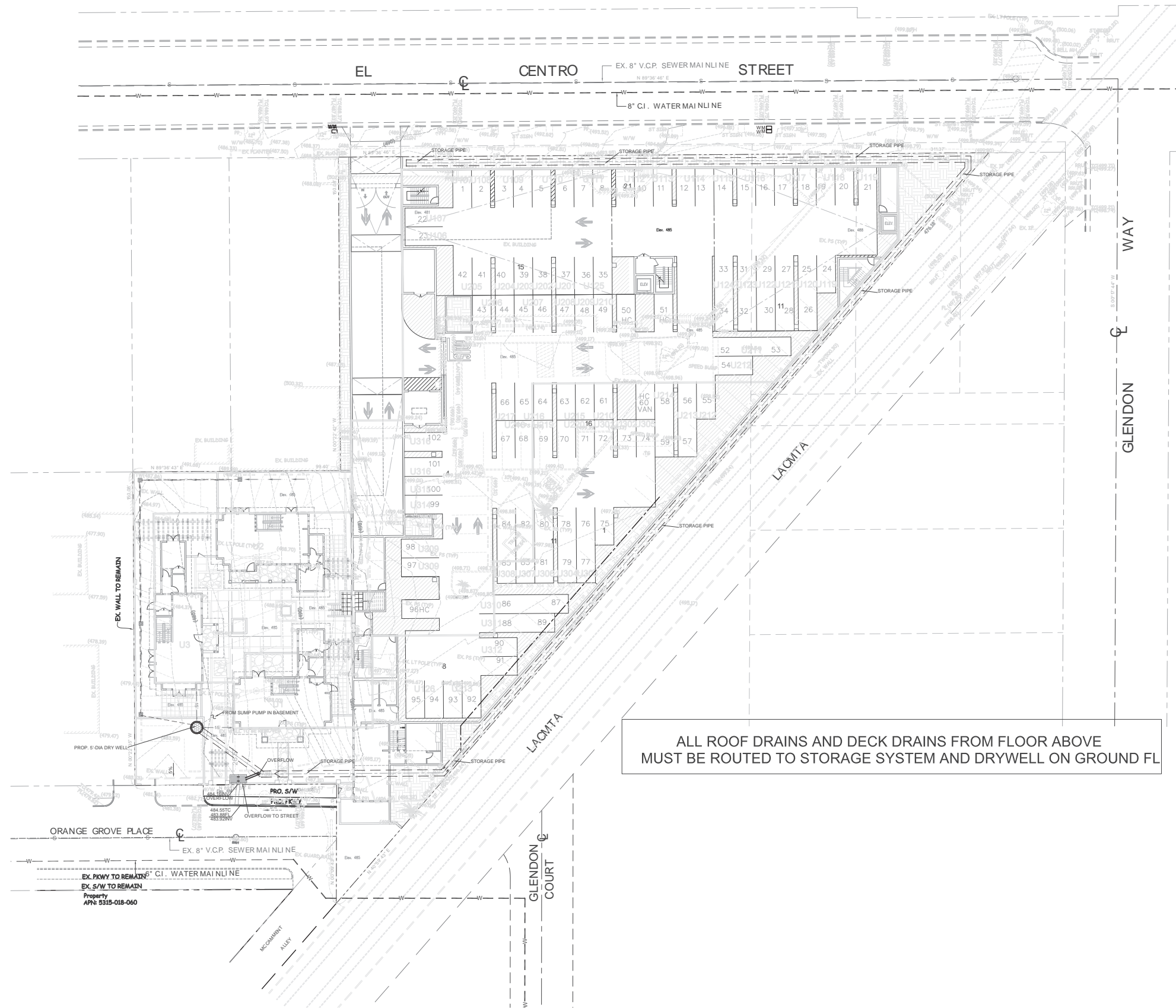
PLANNER: *Kamifabik*

MOULE & POLYZOIDES

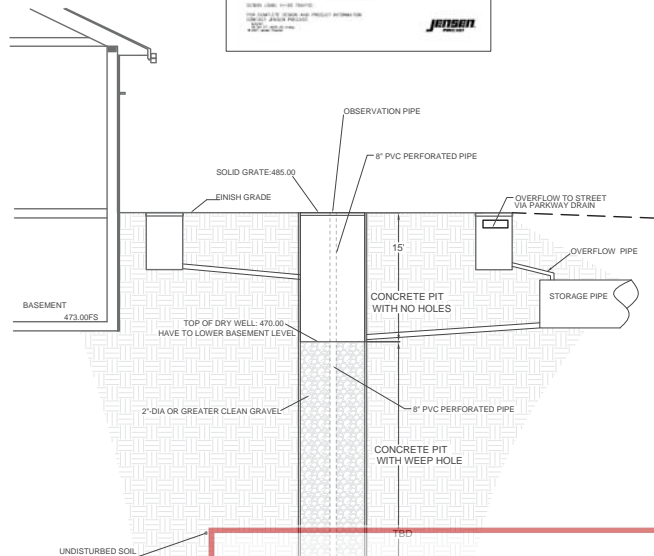
NOTES: Seven Patios Mixed-Use Residential & Commercial

A0.00

CONCEPTUAL LID PLAN



ALL ROOF DRAINS AND DECK DRAINS FROM FLOOR ABOVE MUST BE ROUTED TO STORAGE SYSTEM AND DRYWELL ON GROUND FL



APPROVED

☐ BY THE PLANNING DIRECTOR

☐ BY THE CULTURAL HERITAGE COMMISSION

☐ BY THE DESIGN REVIEW BOARD

☒ BY THE PLANNING COMMISSION

☐ BY THE CITY COUNCIL

FOR THE CITY OF SOUTH PASADENA ON Nov. 17, 2020

APPLICATION NO: Project No. 2171-CUP/DRX/TTM/TRP

PLANNER: *Kanifabell* Testing Tentative Tract No. 82394

NOTES: Seven Patios and Use Residential & Commercial

SCALE: 1"=20'

DATE: 11/05/2020

APN: 5315-019-045

5315-019-046

5315-019-048

REVISOR


DRAWN BY: SM

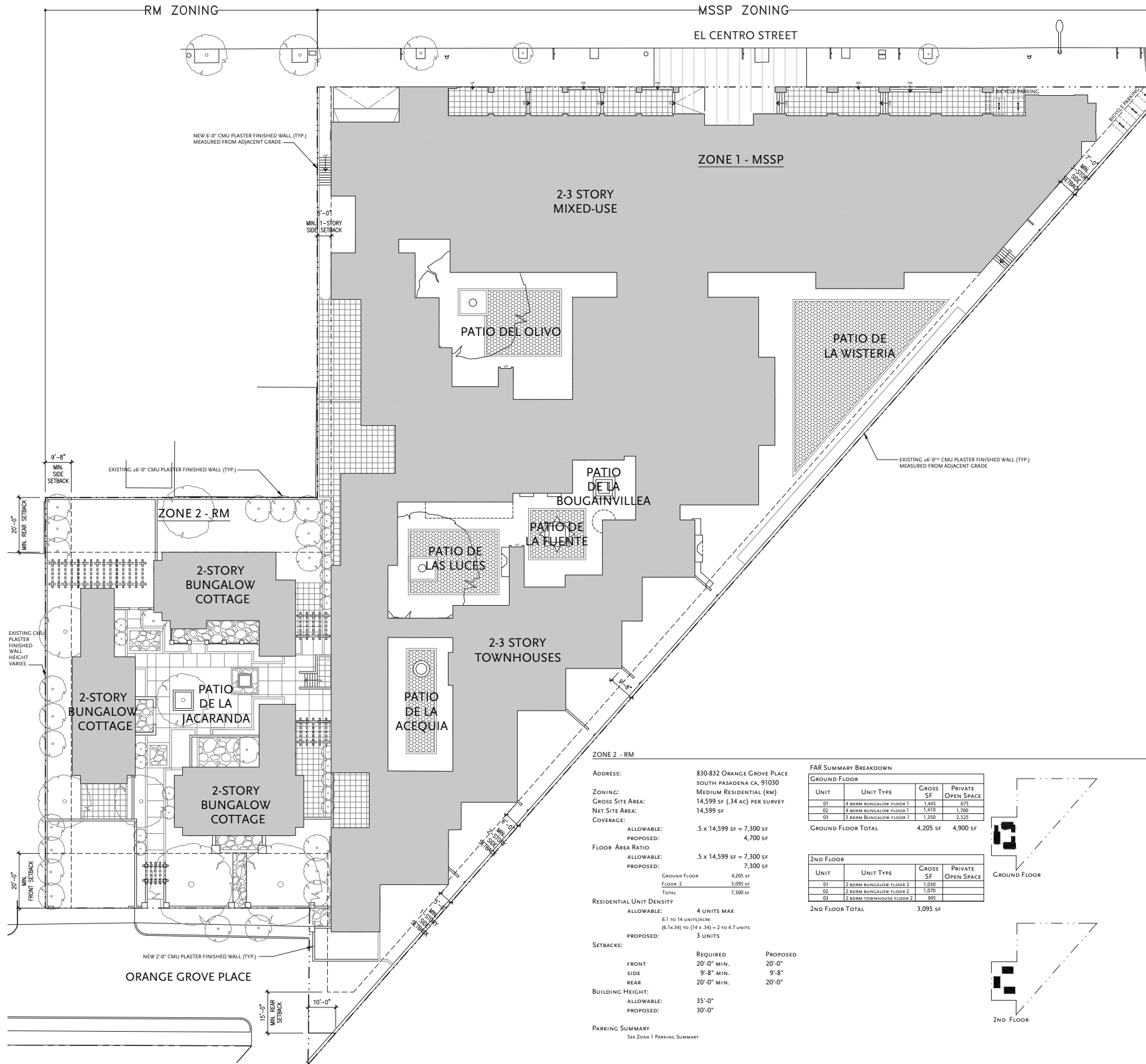
REVISOR

845-899 EL CENTRO AND 830-832 ORANGE STREET GROVE PLACE, SOUTH PASADENA, CA 91030

SHEET 1 OF 1

JOB NO. 180323

BASIS OF BEARINGS: THE BEARING N 89°36'48"E OF THE CENTERLINE EL CENTRO STREET, AS SHOWN IN RECORD OF SURVEY, RS 133-48.	OWNER/APPLICANT: DC EL CENTRO HOLDINGS, LLC 150 E COLORADO BLVD, SUITE 302 PASADENA, CA 91105 TEL: 626 360 0688	LEGAL DESCRIPTION: FOR LOT 1, 2, 3, 4 AND 14 AND VACATED ALLEY IN BLOCK 4 OF COLLIER AND GRAHAM'S ADDITION TO SOUTH PASADENA AS PER MB 12 PAGE 80 AND LOT 19 AND 20 OF MCCAMENT TRACT, MB 10 PAGE 31 IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.	TEMPORARY BENCH MARK: (T.B.M.) ASSUMED ELEVATION: 500.00 FEET DESCRIPTION: TOP OF FOUND SPIKE AND WASHER STAMPED RCE 15900, ON INT. OF CENTRO ST. & GLENDON WAY.	 TRITECH ENGINEERING ASSOCIATES	SUBDIVISION LAND SURVEY CIVIL ENGINEERING & DESIGN 135 N. SAN GABRIEL BLVD. SAN GABRIEL, CA 91775 TEL: (626) 570-1918 EMAIL: info@tritechengineer.com
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EL CENTRO HOUSING PROJECT SUMMARY

ZONE 1 - MSSP

ADDRESS:	899 EL CENTRO STREET SOUTH PASADENA CA, 91030
ZONING:	MISSION STREET SPECIFIC PLAN DISTRICT B
GROSS SITE AREA:	55,517sf (1.27 AC) PER SURVEY
EASEMENTS (PER SURVEY)	256.5 SF
EASEMENT 07	174.3 SF
EASEMENT 08	82.2 SF
EASEMENT 11	0 SF (TO BE VACATED)
TOTAL EASEMENT DEDICATIONS:	256.5 SF
NET SITE AREA:	55,260.5 SF
COVERAGE:	34,183 SF
FLOOR AREA RATIO	ALLOWABLE: .8 x 55,260.5 SF = 44,208 SF WITH BONUS: 1.5 x 55,260.5 SF = 82,890 SF PROPOSED: 79,860 SF (1.45)
PROGRAM SUMMARY	COMMERCIAL: 6,100 SF (5 UNITS) RESIDENTIAL: 62,885 SF (57 UNITS) OTHER: 10,875 SF
RESIDENTIAL UNIT DENSITY	ALLOWABLE: N/A PROPOSED: 57 UNITS
UNITS FACING COURTYARDS	REQUIRED: .75 x 57 = 43 UNITS PROVIDED: 43 UNITS
SETBACKS:	REQUIRED: 0' TO 5'-0" MAX PROPOSED: 0' TO 3'-0"
BUILDING HEIGHT:	MIXED - USE: 40' (3 STORIES) 45' (UNOCCUPIED ROOF) 35' (3 STORIES)
OPEN SPACE:	REQUIRED: 15,675 SF PROPOSED: 21,791 SF
COURTYARD TOTAL:	11,687 SF (64%)
GROUND FLOOR PRIVATE OPEN SPACE:	5,060 SF (23%)
ABOVE GROUND PRIVATE PATIOS:	2,452 SF (11%)
OTHER PUBLIC OPEN SPACE:	2,592 SF (12%)
OPEN SPACE LANDSCAPE COVERAGE	REQUIRED: 7,838 SF PROPOSED: 8,053 SF
COURTYARD TOTAL:	11,687 SF (64%)
GROUND FLOOR PRIVATE OPEN SPACE:	5,060 SF (23%)
ABOVE GROUND PRIVATE PATIOS:	2,452 SF (11%)
OTHER PUBLIC OPEN SPACE:	2,592 SF (12%)
PROPOSED TREE SUMMARY	REQUIRED: 57 TREES PROPOSED: 61 TREES
PARKING REQUIRED:	163 SPACES
PARKING PROVIDED:	177 SPACES
BICYCLE PARKING REQUIRED:	6 SPACES
BICYCLE PARKING PROVIDED:	19 SPACES

FAR SUMMARY BREAKDOWN

UNIT	UNIT TYPE	GROSS SF	PRIVATE OPEN SPACE	COURTYARD FACING (Y/N)
126	2 BDRM TH FLOOR 1	1,480	418	
LOWER LEVEL TOTAL		1,480 SF	418 SF	

UNIT	UNIT TYPE	GROSS SF	PRIVATE OPEN SPACE	COURTYARD FACING (Y/N)
COMMUNITY 1	PUBLIC	275		
COMMUNITY 2	PUBLIC	545		
CIRCULATION	PUBLIC	3,935		
101	RESTAURANT	2,035		
102	RETAIL	1,185		
103	RETAIL	905		
104	RETAIL	890		
105	RETAIL	835		
106	1 BDRM FLAT	795	84	Y
107	2 BDRM FLAT	1,030		Y
108	1 BDRM FLAT	795	375	Y
109	2 BDRM FLAT	1,105		Y
110	2 BDRM FLAT	1,145		Y
111	2 BDRM FLAT	1,315		Y
112	2 BDRM FLAT	1,005	84	Y
113	1 BDRM FLAT	765		Y
114	2 BDRM FLAT	1,060	851	Y
115	1 BDRM FLAT	845	425	Y
116	2 BDRM FLAT	1,035		Y

UNIT	UNIT TYPE	GROSS SF	PRIVATE OPEN SPACE	COURTYARD FACING (Y/N)
117	2 BDRM TH FLOOR 1	635	266	Y
118	3 BDRM TH FLOOR 1	645	425	Y
119	3 BDRM TH FLOOR 1	640		Y
120	3 BDRM TH FLOOR 1	635	641	Y
121	2 BDRM TH FLOOR 1	655	432	Y
122	2 BDRM TH FLOOR 1	715	507	Y
123	2 BDRM TH FLOOR 1	775	240	Y
124	3 BDRM TH FLOOR 1	640		Y
125	2 BDRM TH FLOOR 1	645	81	Y
126	2 BDRM TH FLOOR 2	1,065	531	Y
GROUND FLOOR TOTAL		28,500 SF	4,642 SF	20

UNIT	UNIT TYPE	GROSS SF	PRIVATE OPEN SPACE	COURTYARD FACING (Y/N)
LOBBY	PUBLIC	245		
CIRCULATION	PUBLIC	2,880		
101	RETAIL FLOOR 2	450		
201	1 BDRM LOFT FLOOR 1	555	50	Y
202	1 BDRM LOFT FLOOR 1	560	50	Y
203	1 BDRM LOFT FLOOR 1	560	50	Y
204	1 BDRM LOFT FLOOR 1	555	50	Y
205	2 BDRM FLAT	1,035		Y
206	2 BDRM FLAT	1,255		Y
207	3 BDRM FLAT	1,490	208	Y
208	1 BDRM FLAT	815		Y
209	1 BDRM FLAT	845		Y
210	3 BDRM FLAT	1,220		Y
211	2 BDRM FLAT	1,065		Y
212	2 BDRM FLAT	1,030	79	Y
213	2 BDRM FLAT	1,075	79	Y
214	2 BDRM FLAT	1,110		Y
215	2 BDRM FLAT	1,010	185	Y
216	1 BDRM FLAT	765		Y
217	1 BDRM FLAT	765	77	Y
218	2 BDRM FLAT	1,065	78	Y
219	2 BDRM FLAT	900		Y
220	2 BDRM FLAT	1,120		Y
2ND FLOOR TOTAL		28,410 SF	1,257 SF	12

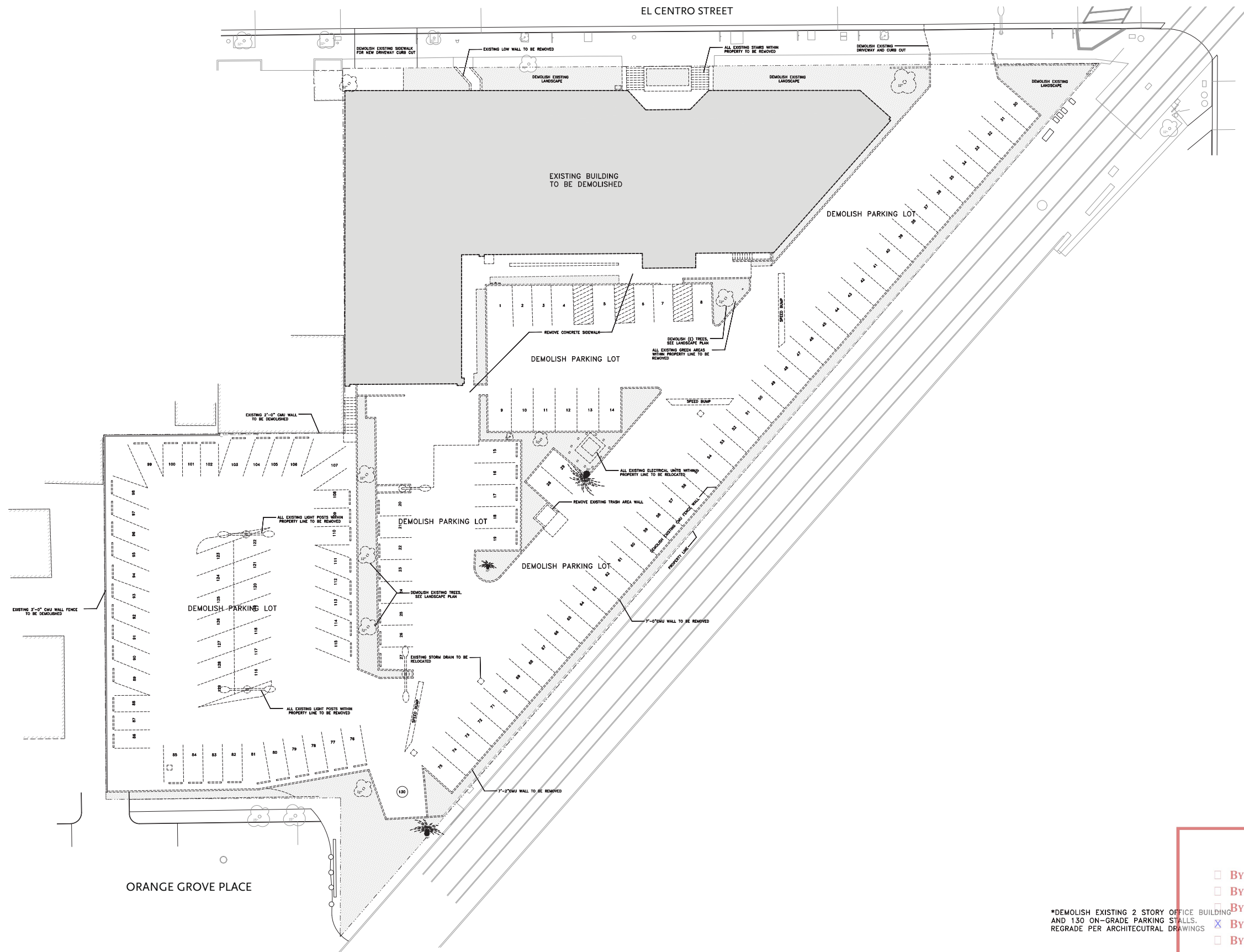
UNIT	UNIT TYPE	GROSS SF	PRIVATE OPEN SPACE	COURTYARD FACING (Y/N)
LOBBY	PUBLIC	245		
CIRCULATION	PUBLIC	2,585		
201	1 BDRM LOFT FLOOR 2	330		
202	1 BDRM LOFT FLOOR 2	330		
203	1 BDRM LOFT FLOOR 2	330		
204	1 BDRM LOFT FLOOR 2	330		
301	1 BDRM FLAT	1,150	91	Y
302	1 BDRM FLAT	805	158	Y
303	2 BDRM FLAT	1,250		Y
304	3 BDRM FLAT	1,490		Y
305	1 BDRM FLAT	1,010		Y
306	2 BDRM FLAT	1,220		Y
307	2 BDRM FLAT	1,065		Y
308	2 BDRM FLAT	1,035		Y
309	2 BDRM FLAT	1,075		Y
310	2 BDRM FLAT	1,020	77	Y
311	2 BDRM FLAT	1,010	108	Y
312	1 BDRM FLAT	765	77	Y
313	2 BDRM FLAT	1,065	77	Y
314	STUDIO	435		Y
315	STUDIO	465		Y
316	2 BDRM FLAT	1,025	77	Y
3RD FLOOR TOTAL		21,470 SF	1,195 SF	12

UNIT	UNIT TYPE	GROSS SF	PRIVATE OPEN SPACE	COURTYARD FACING (Y/N)
LOBBY	PUBLIC	245		
CIRCULATION	PUBLIC	2,585		
201	1 BDRM LOFT FLOOR 2	330		
202	1 BDRM LOFT FLOOR 2	330		
203	1 BDRM LOFT FLOOR 2	330		
204	1 BDRM LOFT FLOOR 2	330		
301	1 BDRM FLAT	1,150	91	Y
302	1 BDRM FLAT	805	158	Y
303	2 BDRM FLAT	1,250		Y
304	3 BDRM FLAT	1,490		Y
305	1 BDRM FLAT	1,010		Y
306	2 BDRM FLAT	1,220		Y
307	2 BDRM FLAT	1,065		Y
308	2 BDRM FLAT	1,035		Y
309	2 BDRM FLAT	1,075		Y
310	2 BDRM FLAT	1,020	77	Y
311	2 BDRM FLAT	1,010	108	Y
312	1 BDRM FLAT	765	77	Y
313	2 BDRM FLAT	1,065	77	Y
314	STUDIO	435		Y
315	STUDIO	465		Y
316	2 BDRM FLAT	1,025	77	Y
3RD FLOOR TOTAL		21,470 SF	1,195 SF	12

Seven Patios
899 El Centro St. South Pasadena, CA
11/04/2020

SITE PLAN AND PROGRAM SUMMARY

FOR THE CITY OF SOUTH PASADENA ON Nov. 17, 2020
APPLICATION NO: Project No. 2171-CUP/DRX/TTM/TRP
PLANNER: Kamifabik
NOTES: Seven Patios Mixed-Use Residential & Commercial
A1.10



*DEMOLISH EXISTING 2 STORY OFFICE BUILDING AND 130 ON-GRADE PARKING STALLS. REGRADE PER ARCHITECTURAL DRAWINGS

Seven Patios
899 El Centro St. South Pasadena, CA
11/04/2020

Demolition Site Plan

APPROVED

☐ BY THE PLANNING DIRECTOR

☐ BY THE CULTURAL HERITAGE COMMISSION

☐ BY THE DESIGN REVIEW BOARD

☒ BY THE PLANNING COMMISSION

☐ BY THE CITY COUNCIL

FOR THE CITY OF SOUTH PASADENA ON Nov. 17, 2020

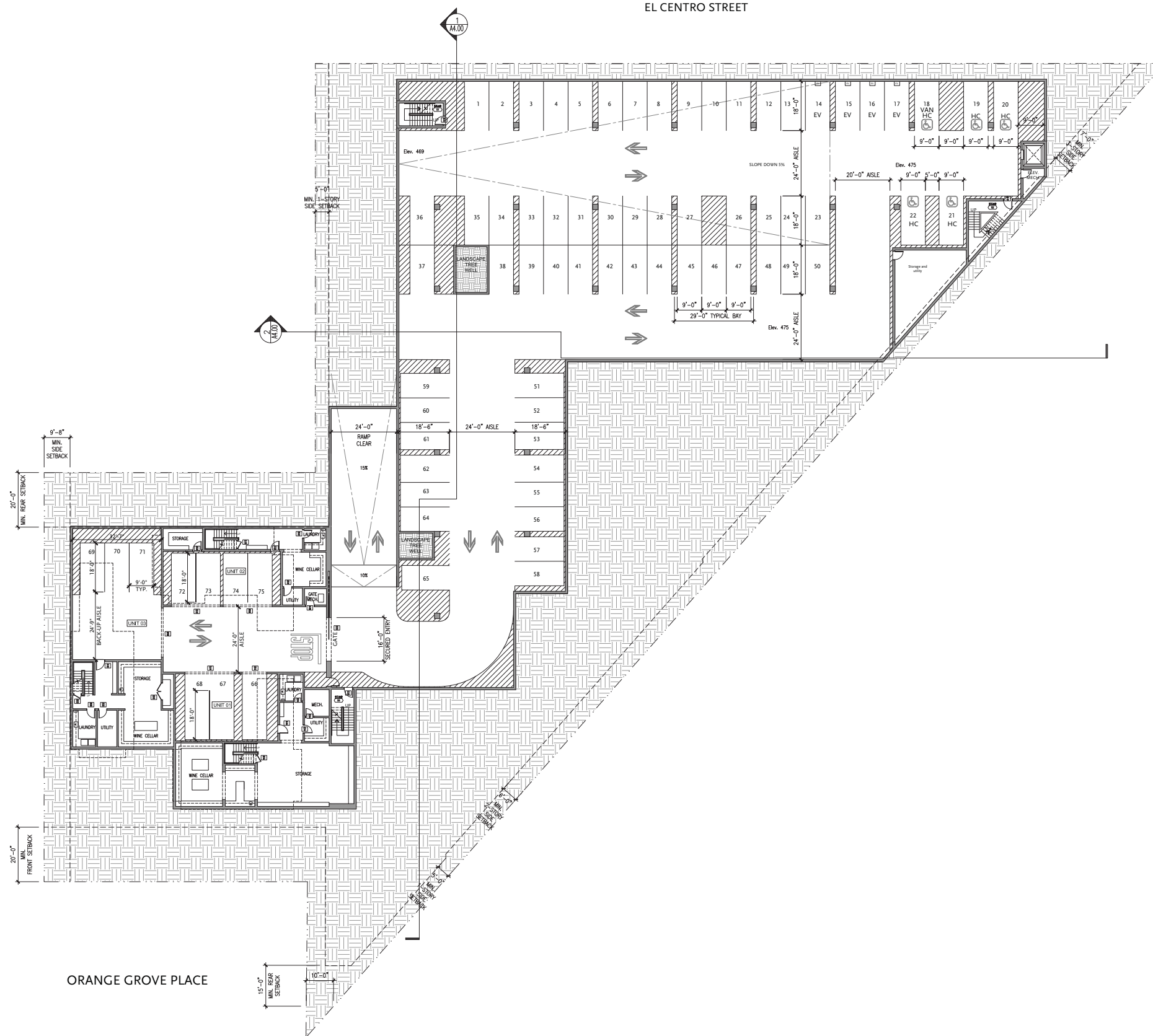
APPLICATION NO: Project No. 2171-CUP/DRX/TTM/TRP

PLANNER: *Kamifabik*

NOTES: *Seven Patios Mixed-Use Residential & Commercial*

MOULE & POLYZOIDES

A1.11



Basement Plan 2 - General Parking

APPROVED

☐ BY THE PLANNING DIRECTOR

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☐ BY THE CITY COUNCIL

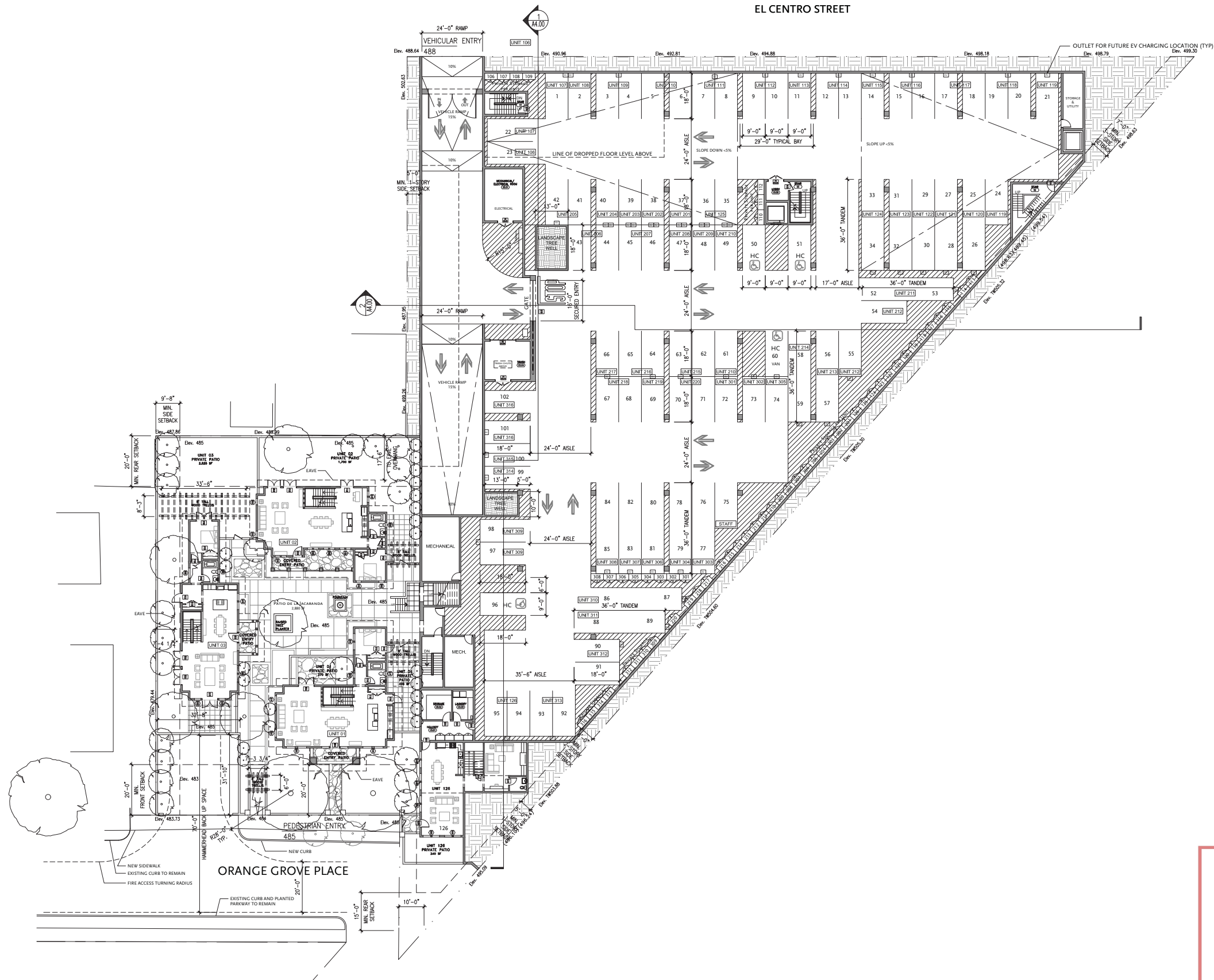
FOR THE CITY OF SOUTH PASADENA ON Nov. 17, 2020

APPLICATION NO: Project No. 2171-CUP/DRX/TTM/TRP

PLANNER: *Kamifabik*

NOTES: *MOULE & POLYZOIDES*
Seven Patios Mixed-Use Residential & Commercial

A2.B2



Seven Patios
899 El Centro St. South Pasadena, CA
11/04/2020

Basement Plan 1 - Residential Parking

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- ☒ BY THE PLANNING COMMISSION
- ☐ BY THE CITY COUNCIL

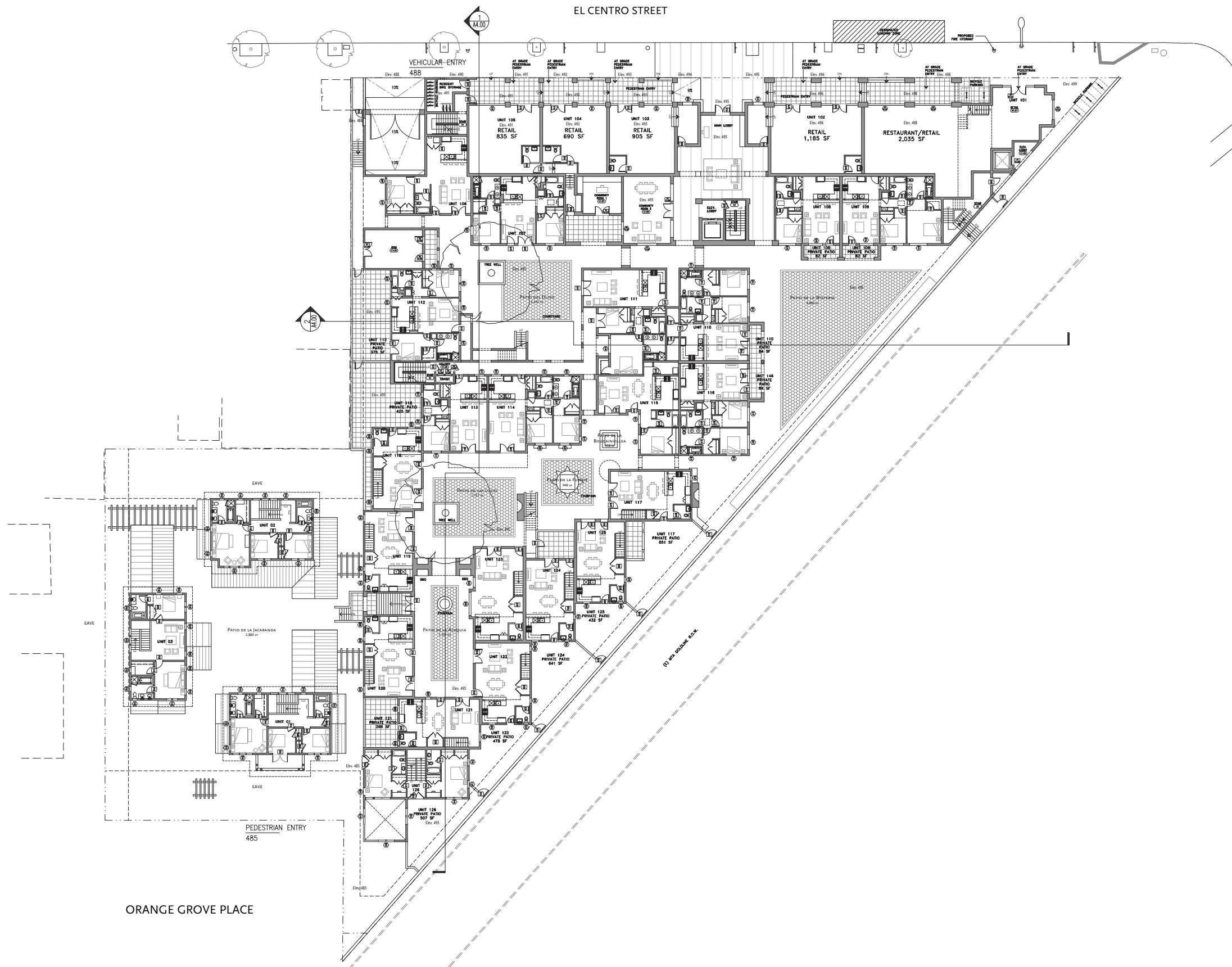
FOR THE CITY OF SOUTH PASADENA ON **Nov. 17, 2020**

APPLICATION NO: **Project No. 2171-CUP/DRX/TTM/TRP**

PLANNER: *Kamifabik*

MOULE & POLYZOIDES
NOTES: **Seven Patios Mixed-Use Residential & Commercial**

A2.B1



Seven Patios
899 El Centro St. South Pasadena, CA
11/04/2020

Ground Floor Plan

APPROVED

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FOR THE CITY OF SOUTH PASADENA ON

Nov. 17, 2020

APPLICATION NO:

Project No. 2171-CUP/DRX/TTM/TRP

PLANNER:

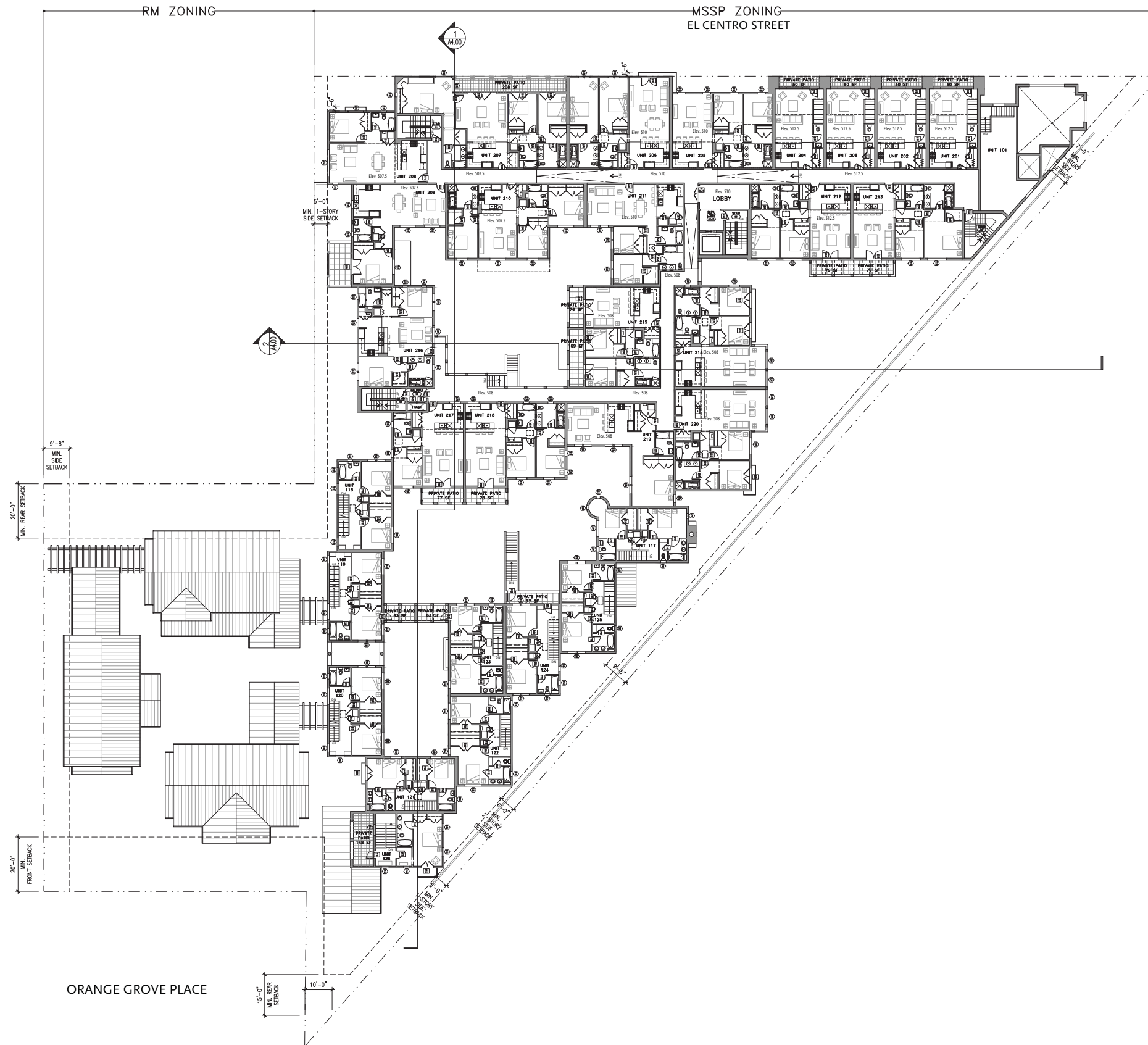
Kamifabill

MOULE & POLYZOIDES

NOTES:

Seven Patios Mixed-Use Residential & Commercial

A2.11



Seven Patios
899 El Centro St. South Pasadena, CA
11/04/2020

Second Floor Plan

APPROVED

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☐ BY THE DESIGN REVIEW BOARD

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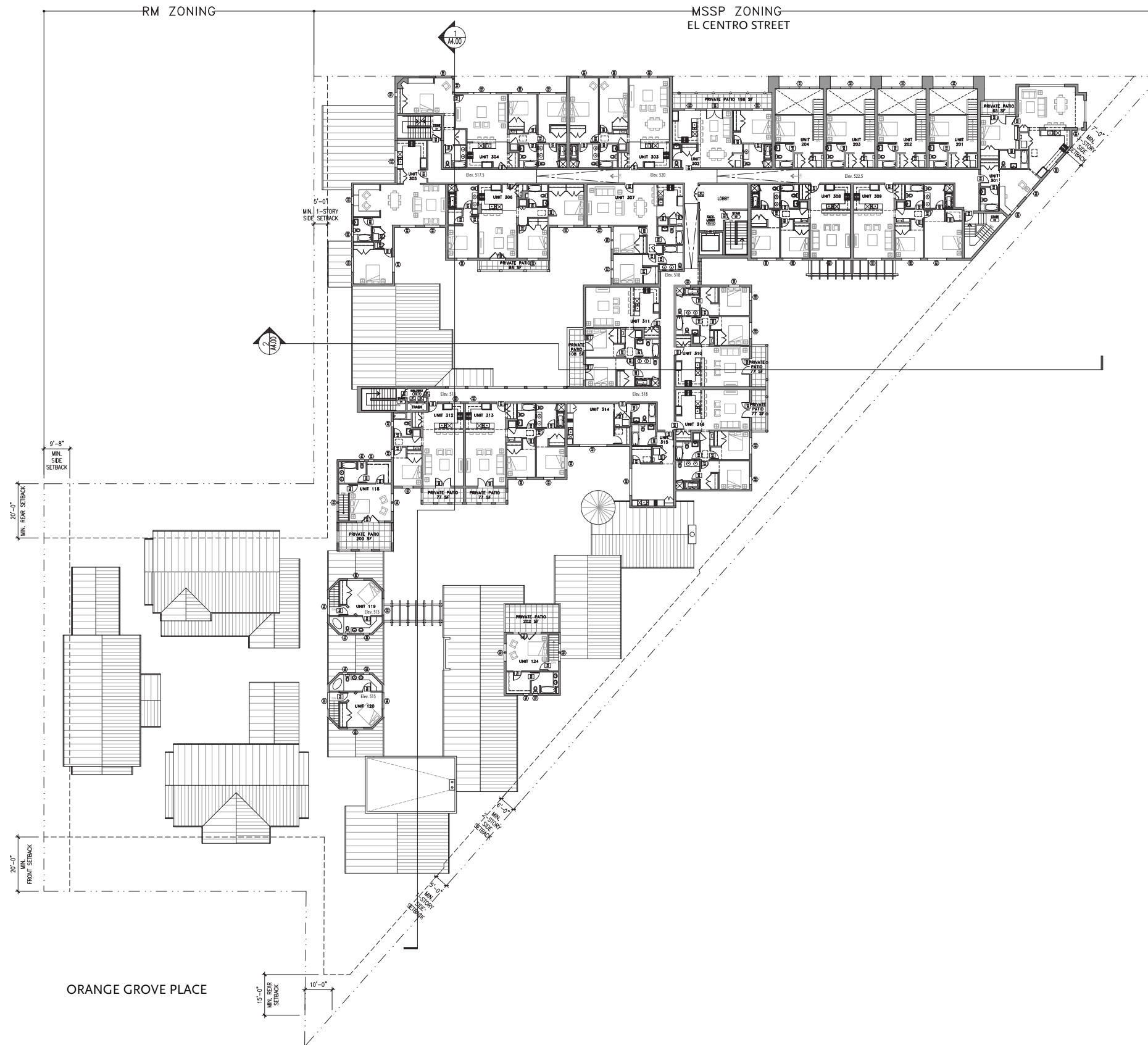
FOR THE CITY OF SOUTH PASADENA ON Nov. 17, 2020

APPLICATION NO: Project No. 2171-CUP/DRX/TTM/TRP

PLANNER: *Kamifabik*

NOTES: MOULE & POLYZOIDES
Seven Patios Mixed-Use Residential & Commercial

A2.12



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FOR THE CITY OF SOUTH PASADENA ON Nov. 17, 2020

APPLICATION NO: Project No. 2171-CUP/DRX/TTM/TRP

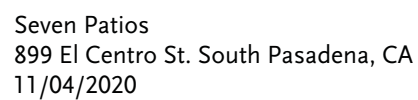
PLANNER: *Kamifabik*

NOTES: **MOULE & POLYZOIDES**
Seven Patios Mixed-Use Residential & Commercial

A2.13

Seven Patios
899 El Centro St. South Pasadena, CA
11/04/2020

Third Floor Plan



APPROVED

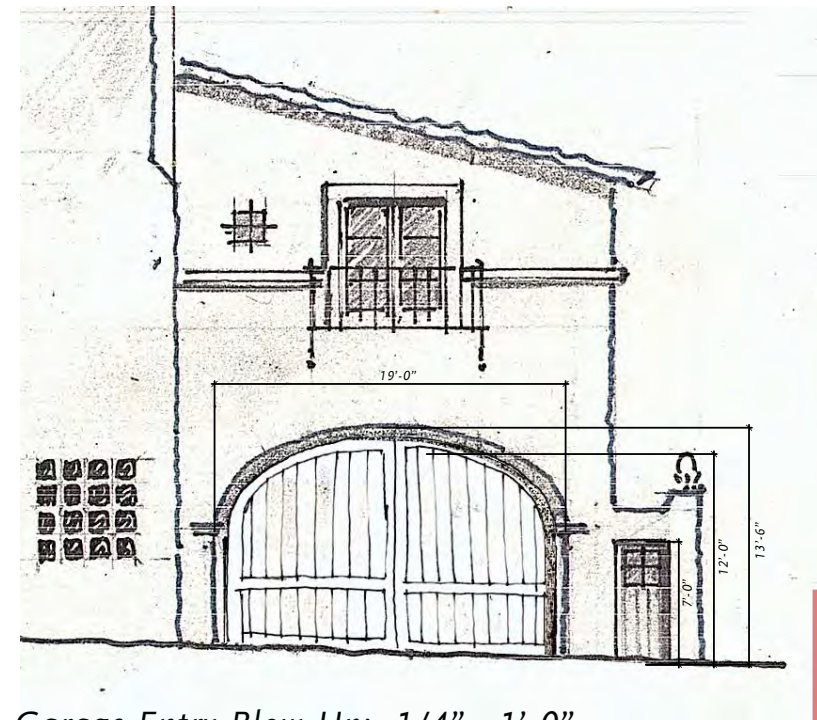
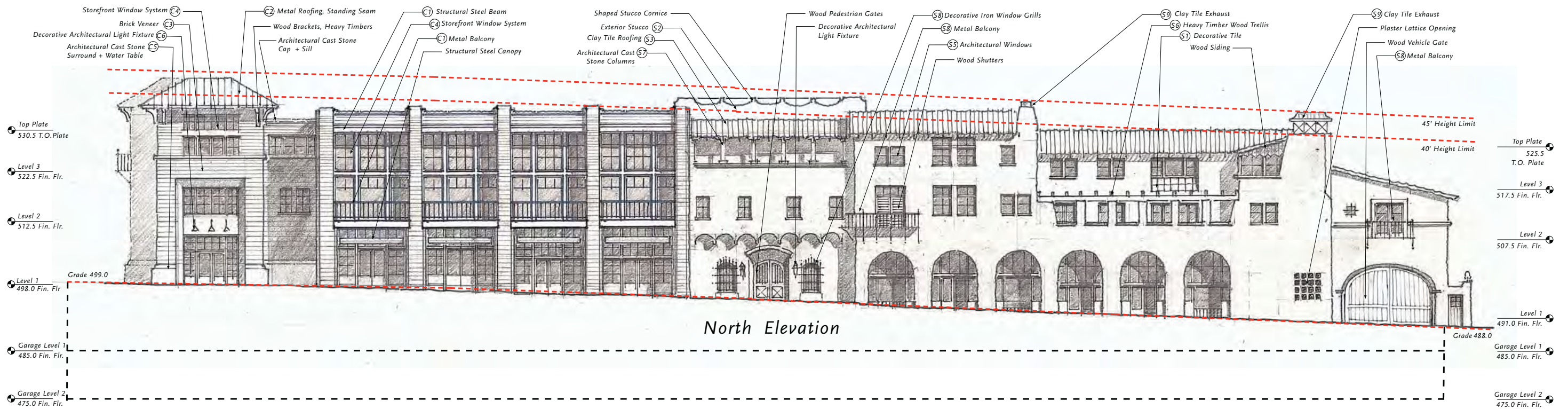
- ☐ BY THE PLANNING DIRECTOR
- ☐ BY THE CULTURAL HERITAGE COMMISSION
- ☐ BY THE DESIGN REVIEW BOARD
- ☒ BY THE PLANNING COMMISSION
- ☐ BY THE CITY COUNCIL

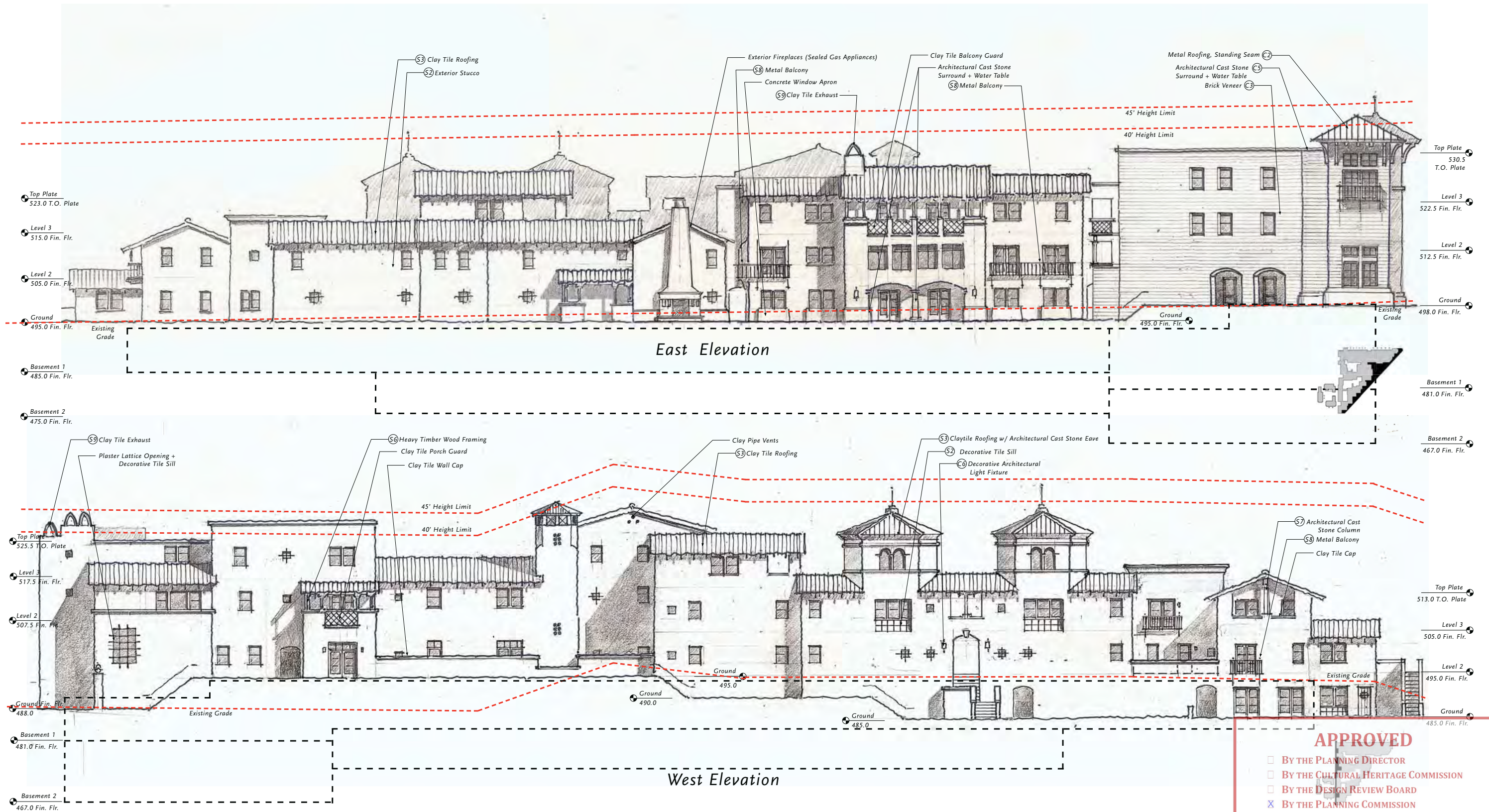
FOR THE CITY OF SOUTH PASADENA ON Nov. 17, 2020

APPLICATION NO: Project No. 2171-CUP/DRX/TTM/TRP

PLANNER: Kamifapith

NOTES: Seven Patios Mixed-Use Residential & Commercial





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FOR THE CITY OF SOUTH PASADENA ON **Nov. 17, 2020**

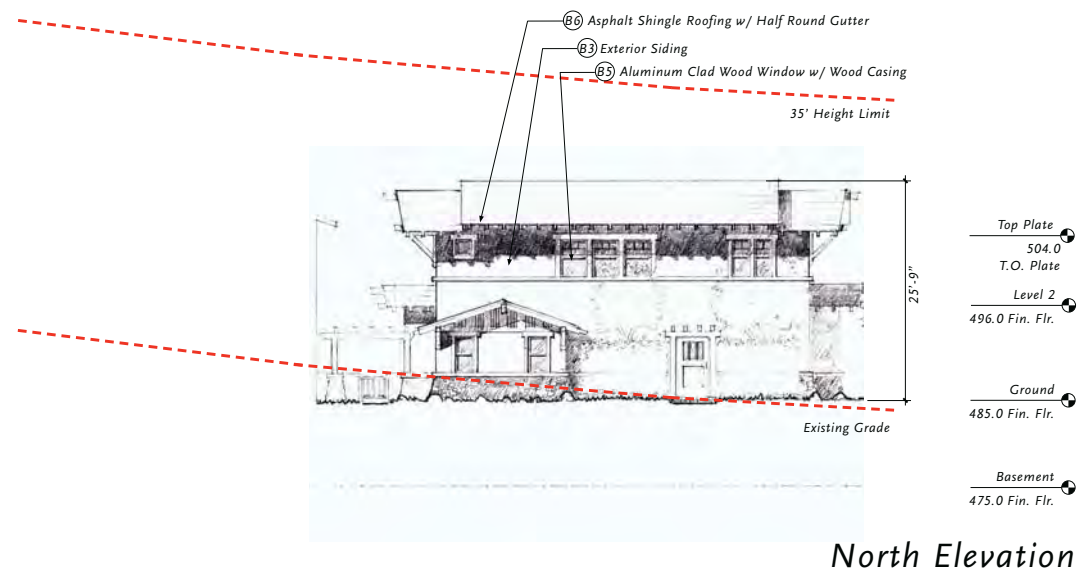
APPLICATION NO: **Project No. 2171-CUP/DRX/TTM/TRP**

PLANNER: *Kamfahik*

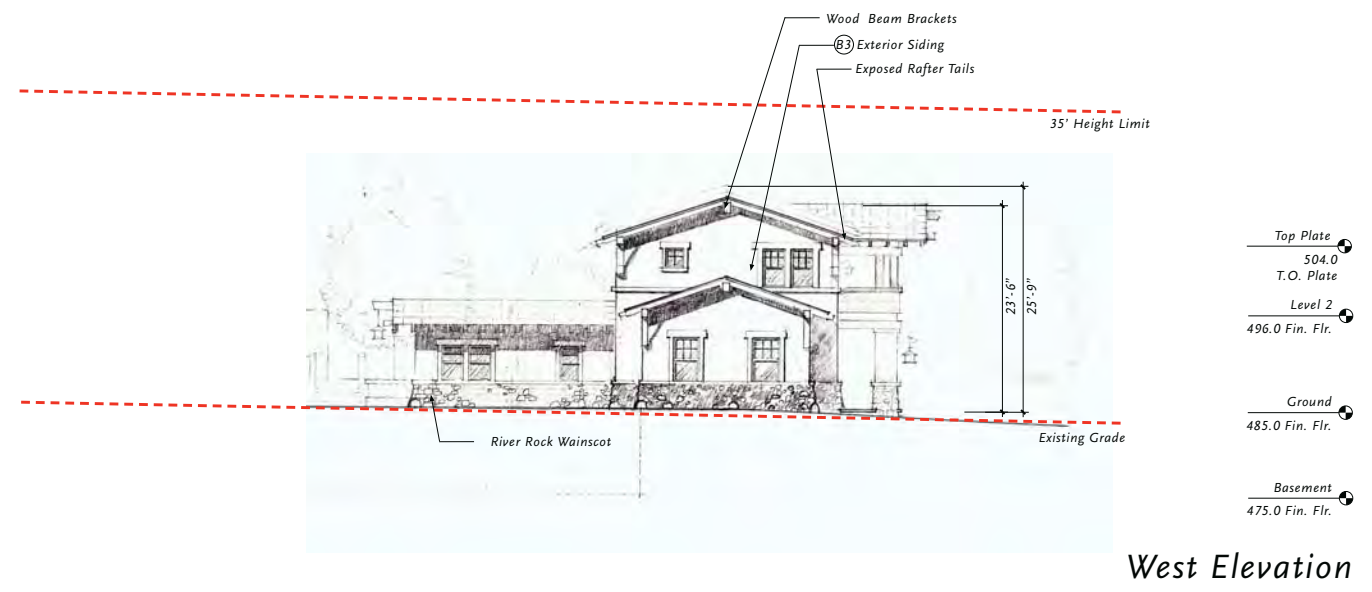
NOTES: **MOULE & POLYZOIDES**
Architects and Urbanists

SEVEN PATIOS
899 EL CENTRO ST., SOUTH PASADENA, CA
11/04/2020

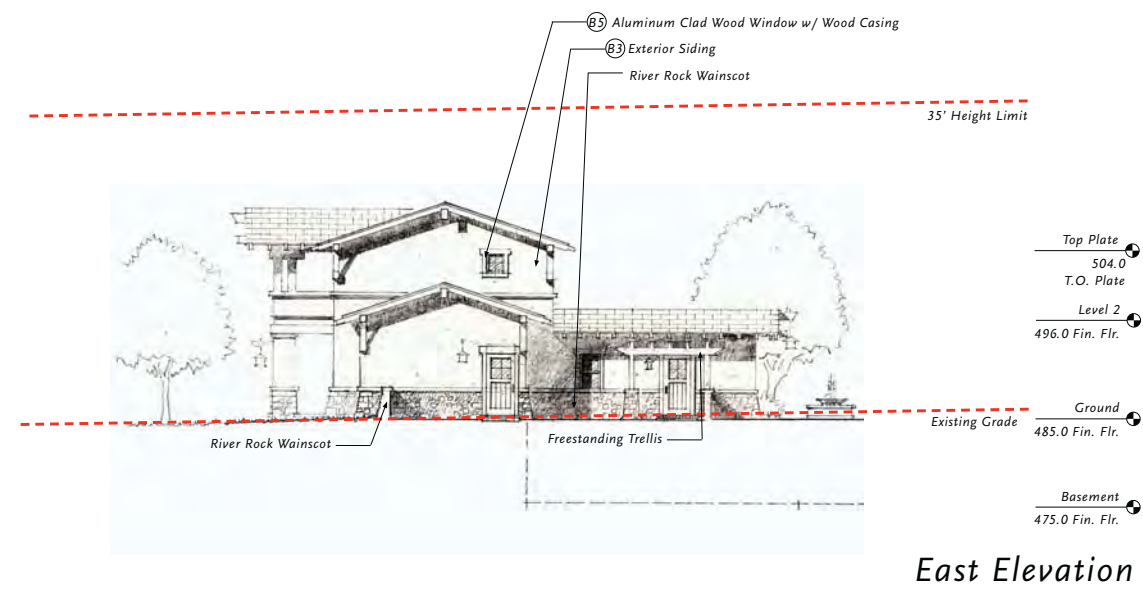
MSSP - Exterior Elevations



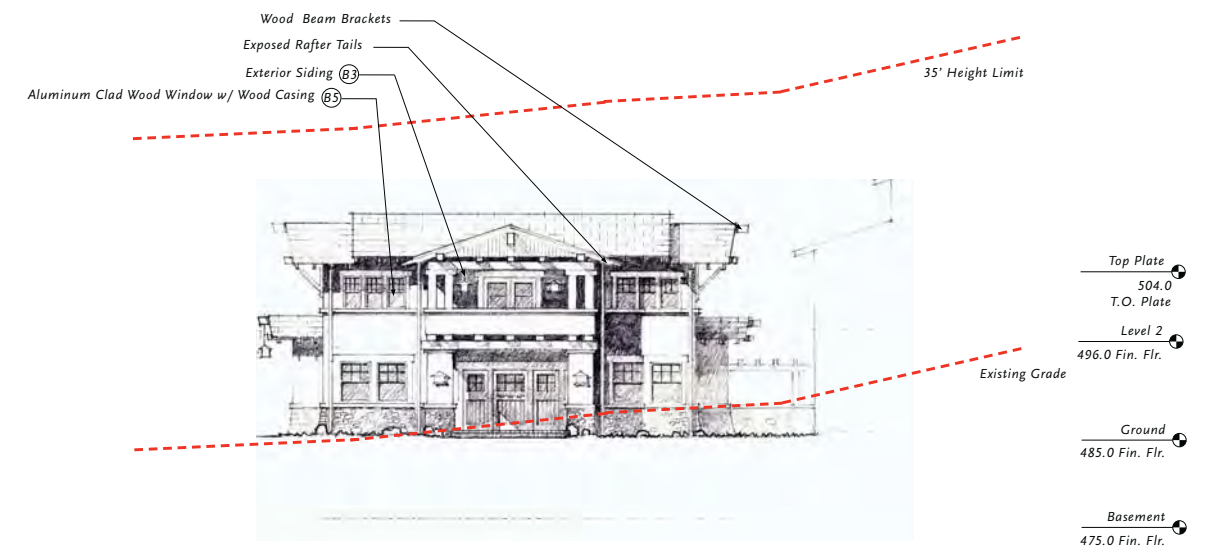
North Elevation



West Elevation



East Elevation



South Elevation

Craftsman Bungalow # 01

RM - Exterior Elevations

SEVEN PATIOS
899 EL CENTRO ST., SOUTH PASADENA, CA
11/04/2020

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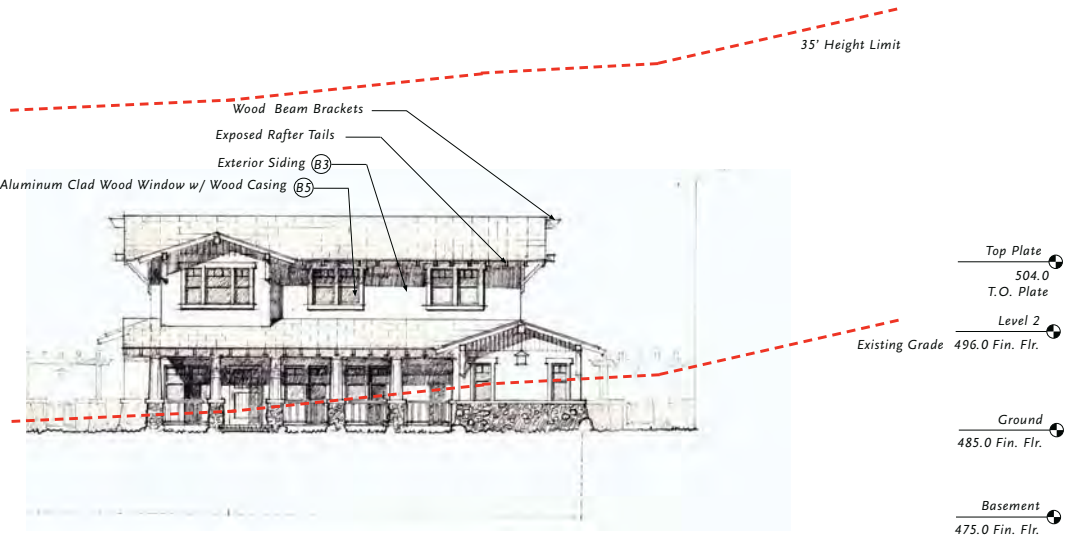
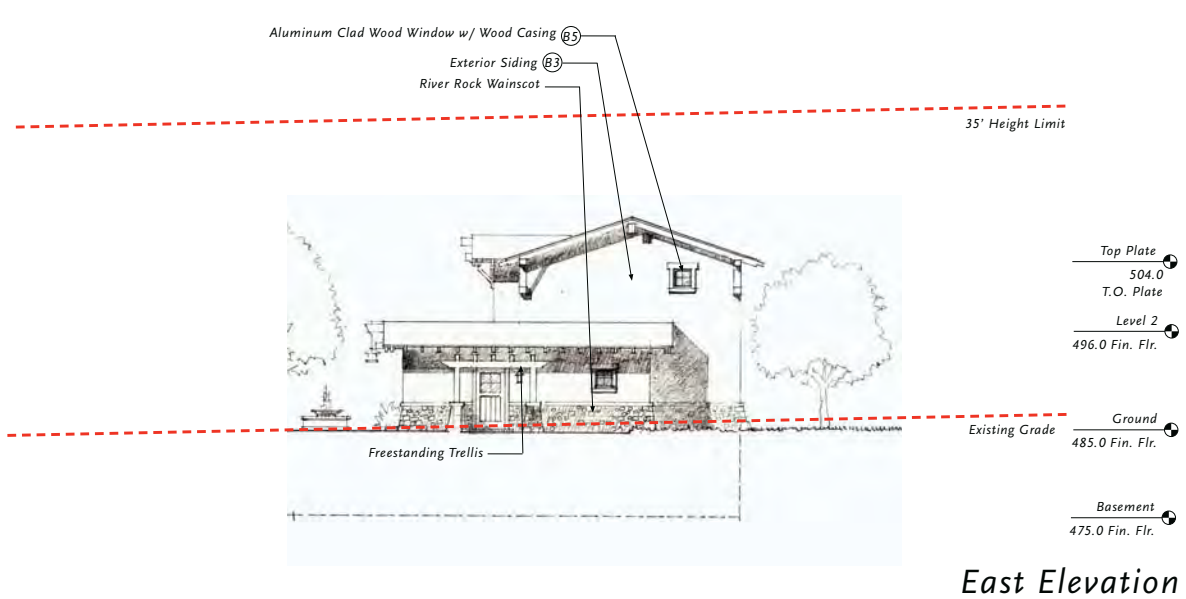
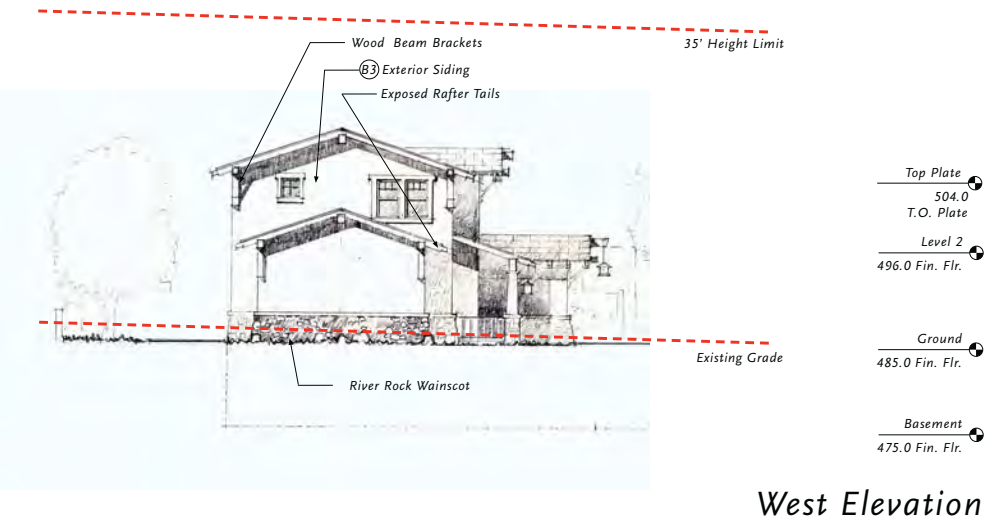
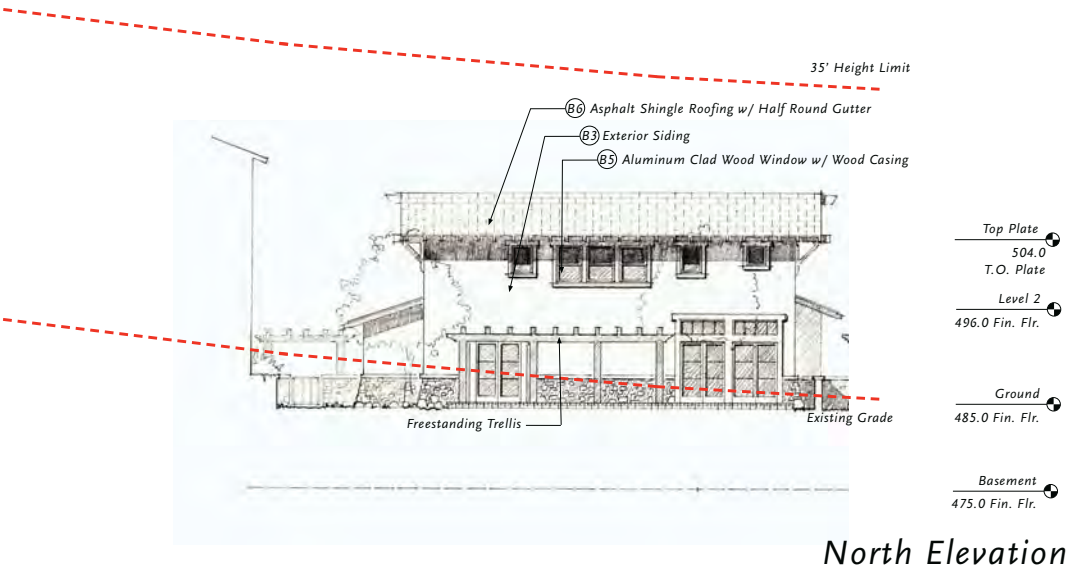
☐ BY THE CITY COUNCIL

FOR THE CITY OF SOUTH PASADENA ON Nov. 17, 2020

APPLICATION NO: Project No. 2171-CUP/DRX/TTM/TRP

PLANNER: Kamifapik

NOTES: Seven Patios Mixed-Use Residential & Commercial



Craftsman Bungalow # 02

RM - Exterior Elevations

APPROVED

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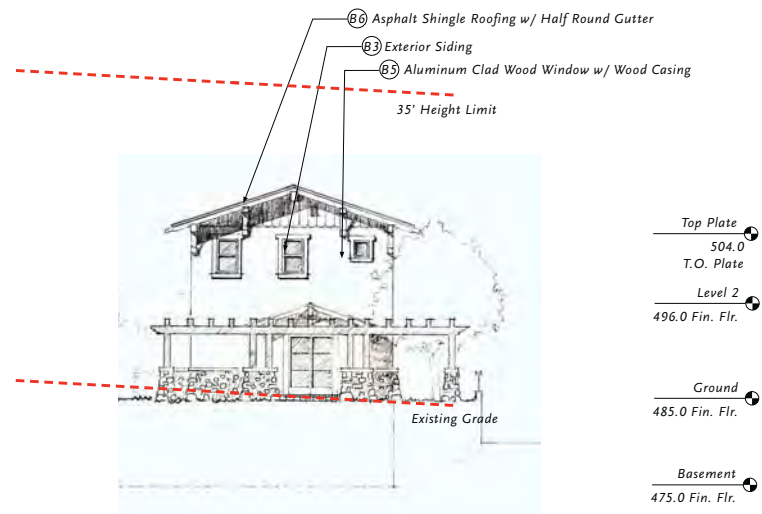
☐ BY THE CITY COUNCIL

FOR THE CITY OF SOUTH PASADENA ON Nov. 17, 2020

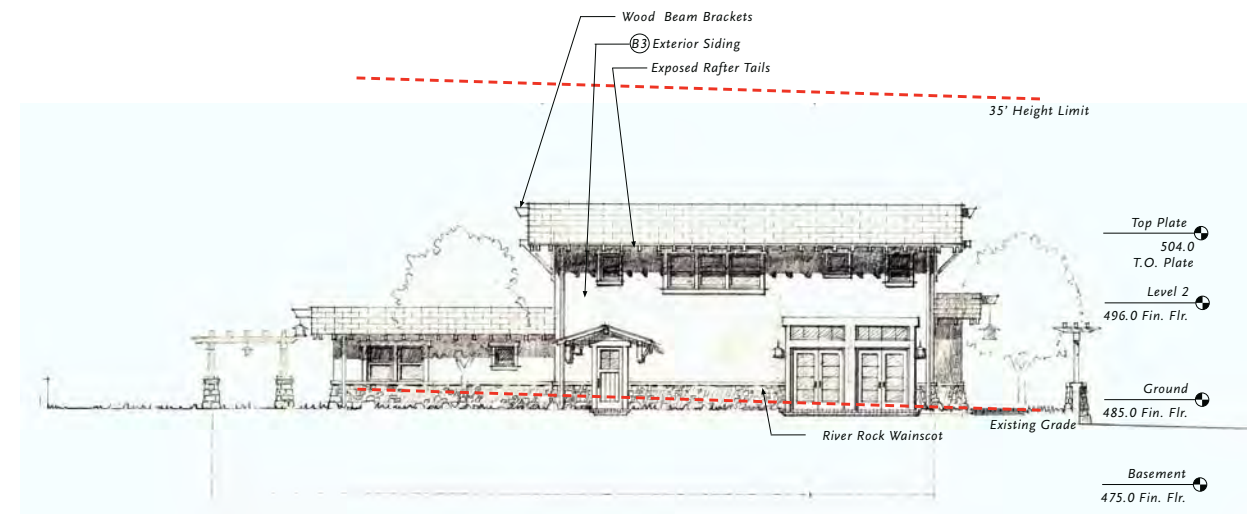
APPLICATION NO: Project No. 2171-CUP/DRX/TTM/TRP

PLANNER:

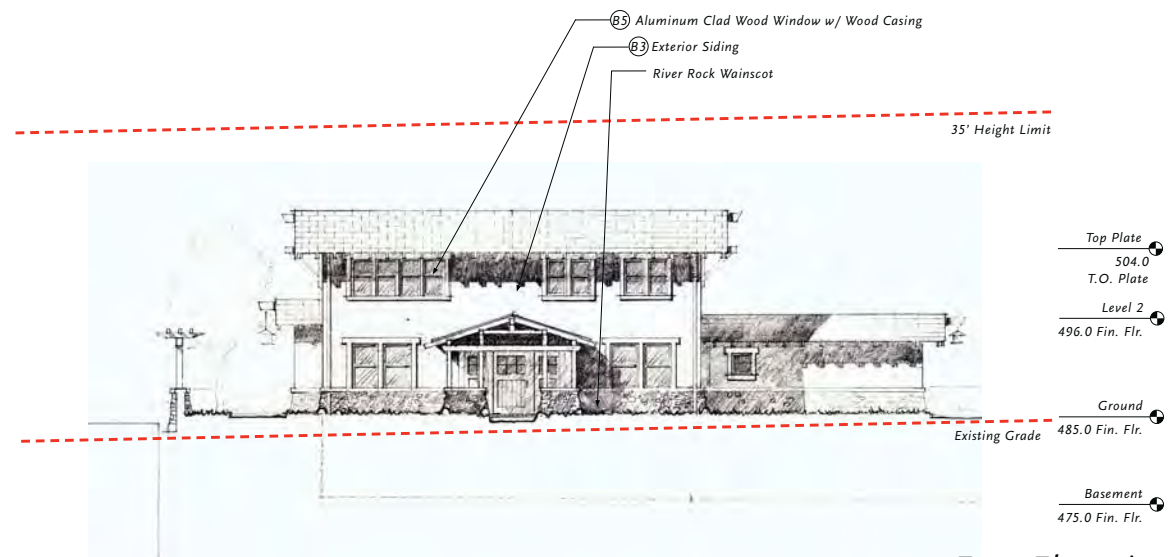
NOTES: Seven Patios Mixed-Use Residential & Commercial



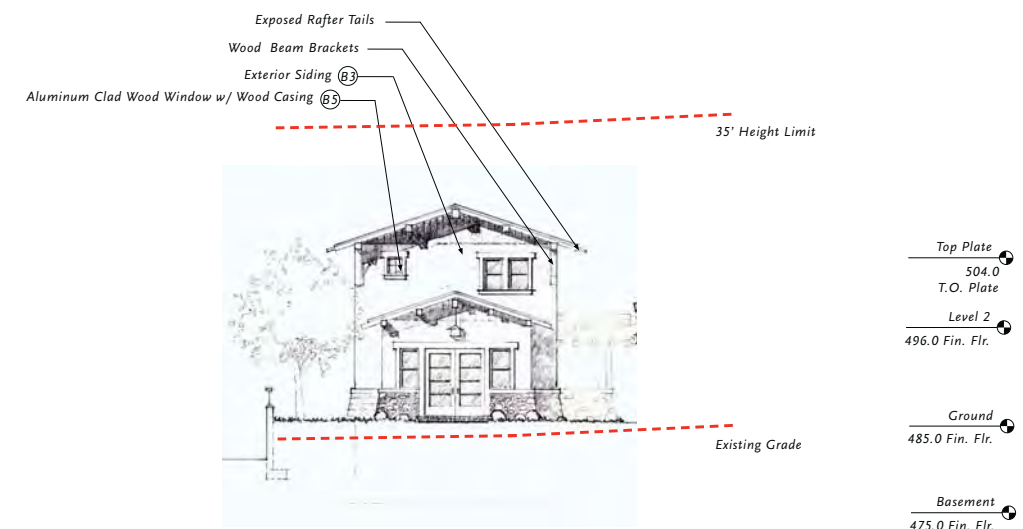
North Elevation



West Elevation



East Elevation



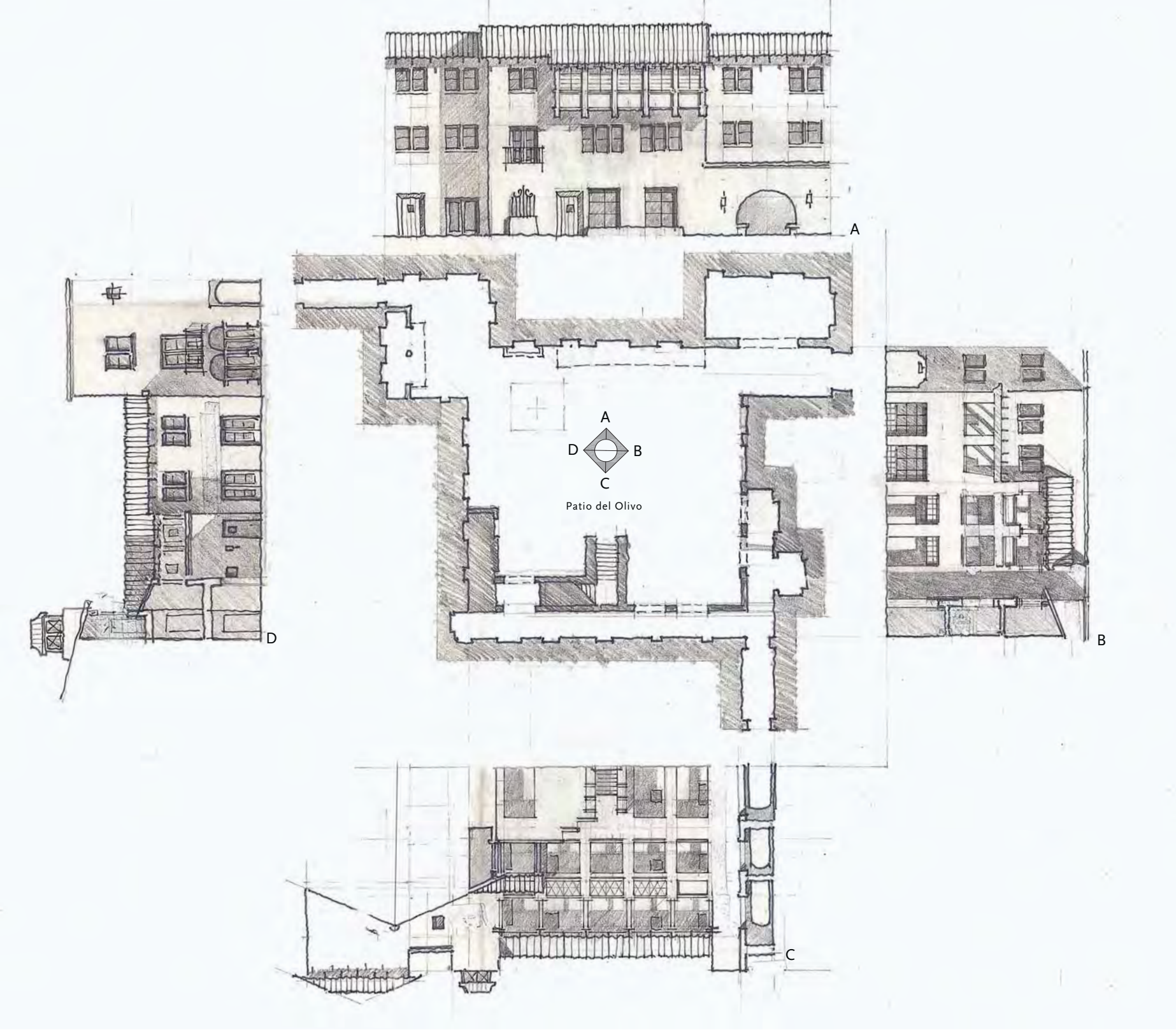
South Elevation

Craftsman Bungalow # 03

RM - Exterior Elevations

SEVEN PATIOS
899 EL CENTRO ST., SOUTH PASADENA, CA
11/04/2020

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<input type="checkbox"/>	BY THE CITY COUNCIL
FOR THE CITY OF SOUTH PASADENA ON <u>Nov. 17, 2020</u>	
APPLICATION NO: <u>Project No. 2171-CUP/DRX/TTM/TRP</u>	
PLANNER: <u>Kamfahik</u>	
NOTES: <u>Seven Patios Mixed-Use Residential & Commercial</u>	
A3.04	



Enlarged Courtyard - Patio del Olivo

SEVEN PATIOS
899 EL CENTRO ST., SOUTH PASADENA, CA
11/04/2020

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☒ BY THE PLANNING COMMISSION

☐ BY THE CITY COUNCIL

FOR THE CITY OF SOUTH PASADENA ON Nov. 17, 2020

APPLICATION NO: Project No. 2171-CUP/DRX/TTM/TRP

PLANNER: Kamifabik

NOTES: Seven Patios Mixed-Use Residential & Commercial

16'

8'

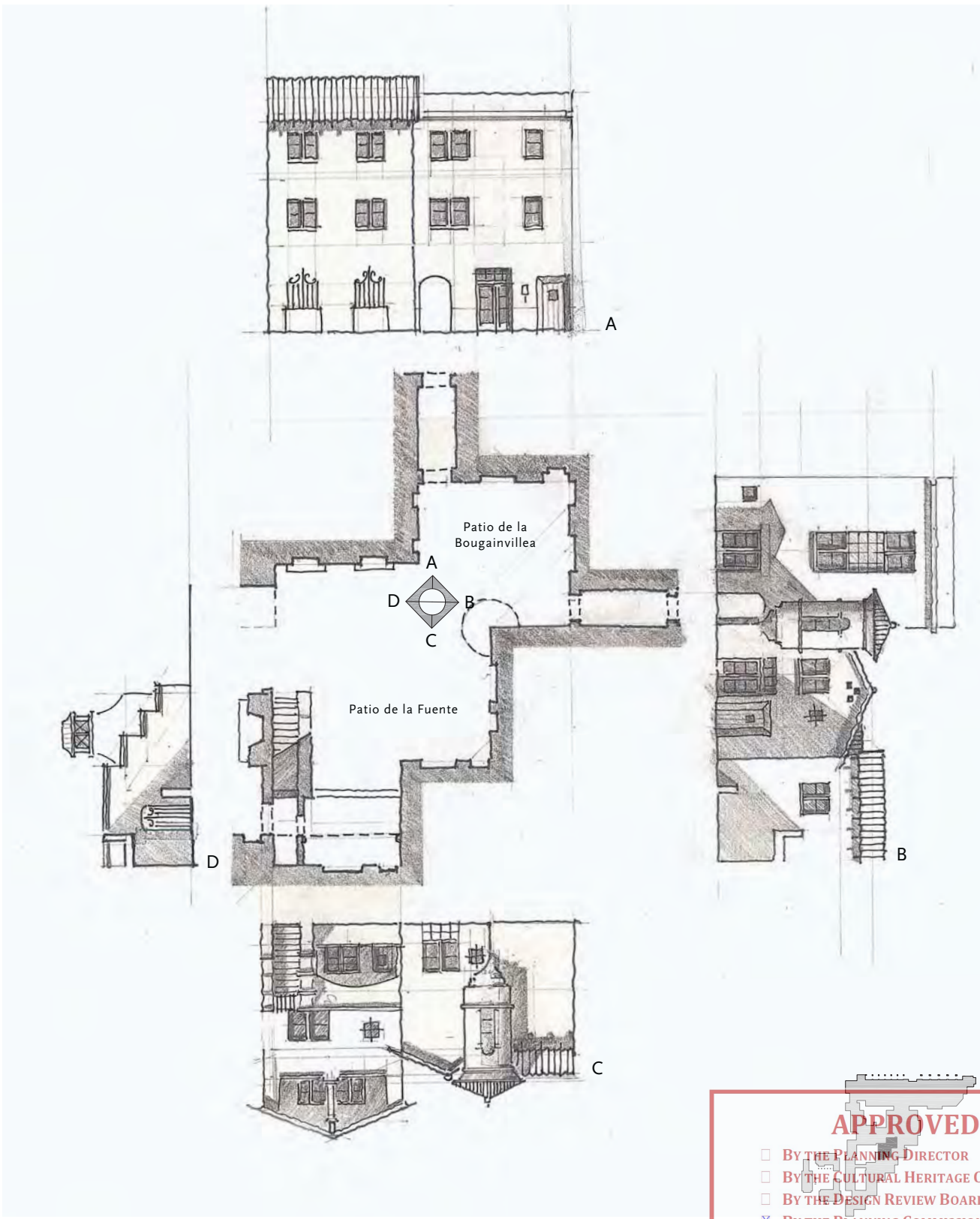
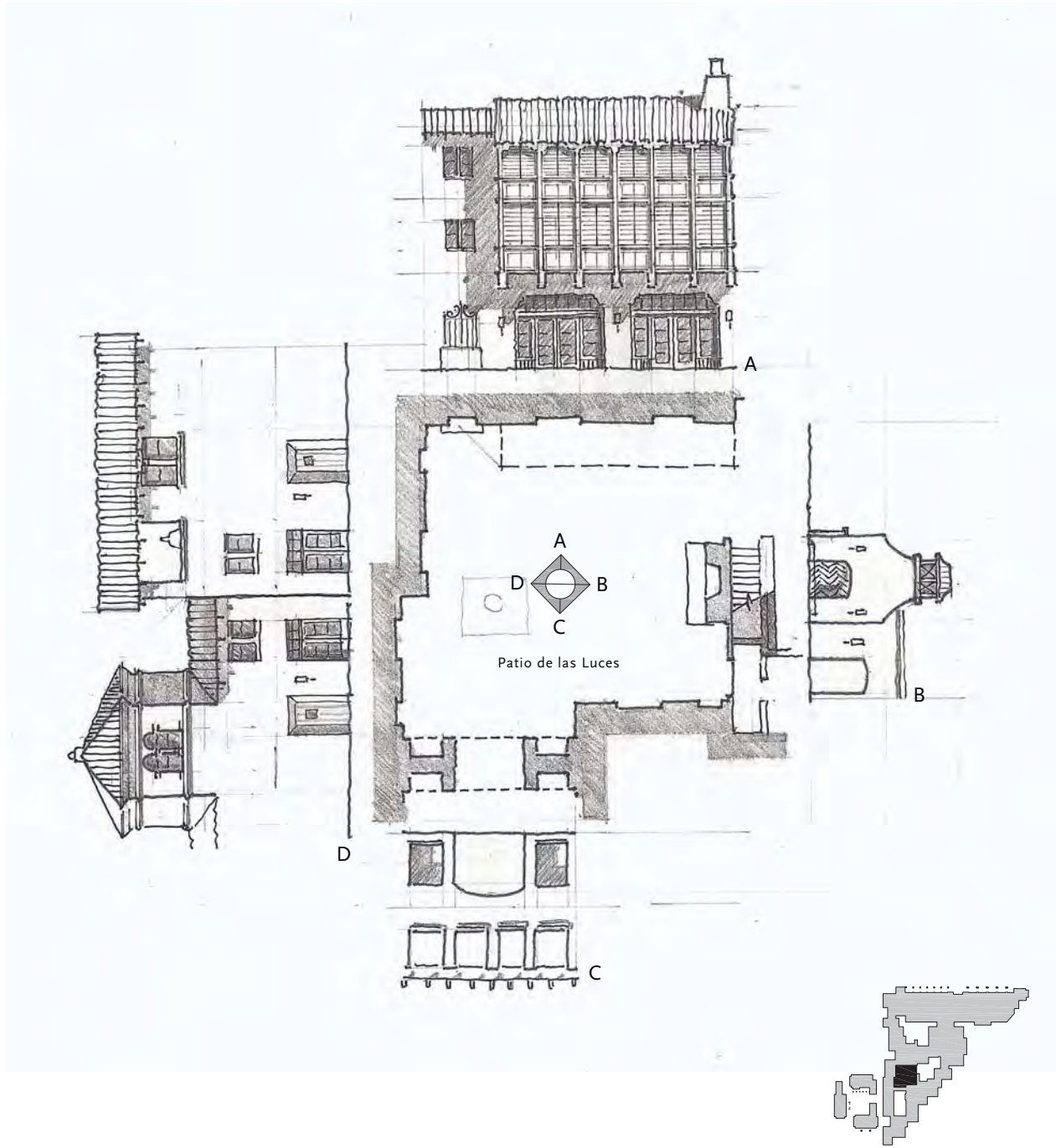
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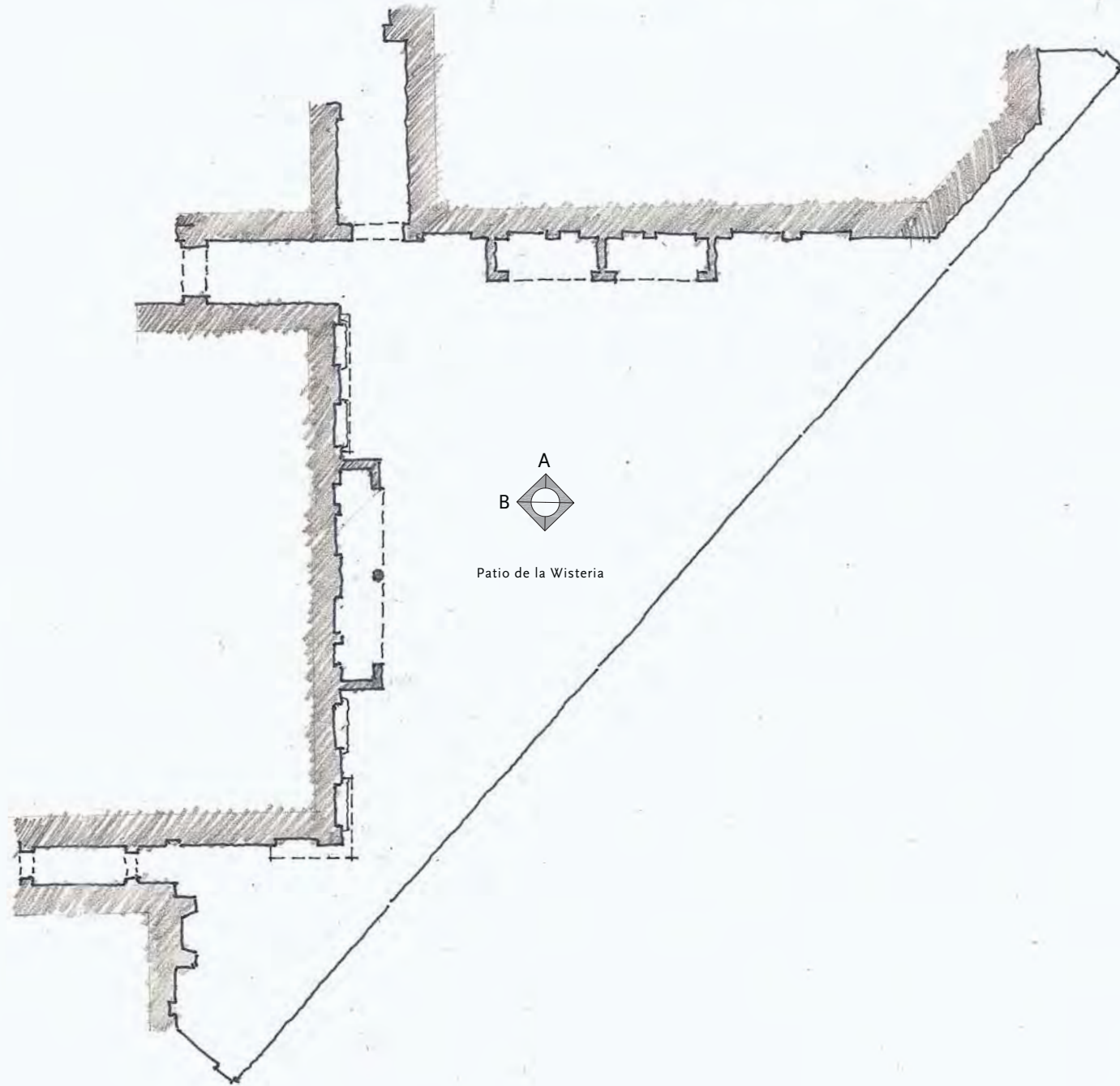
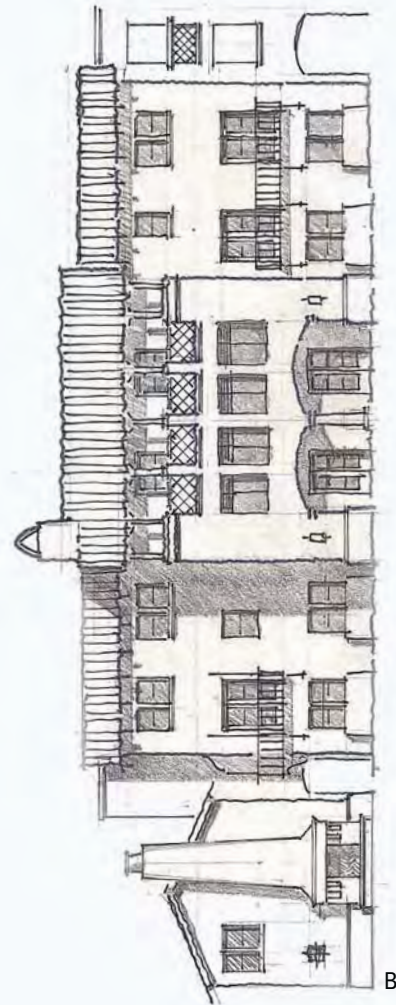
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MOULE & POLYZOIDES

ARCHITECTS AND URBANISTS

A3.05





Enlarged Courtyard - Patio de la Wisteria

APPROVED

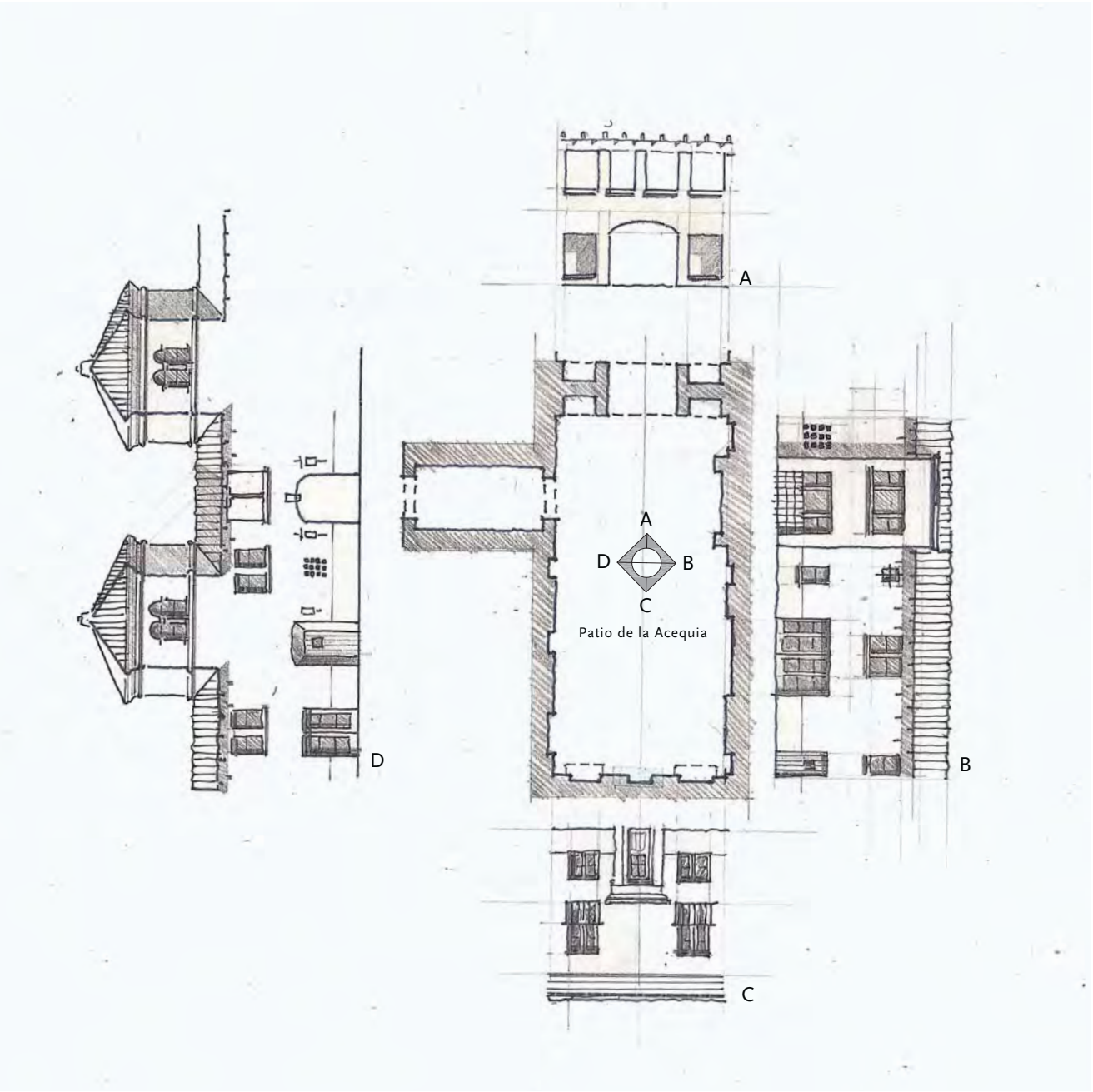
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- ☐ BY THE DESIGN REVIEW BOARD
- ☒ BY THE PLANNING COMMISSION
- ☐ BY THE CITY COUNCIL

FOR THE CITY OF SOUTH PASADENA ON **Nov. 17, 2020**

APPLICATION NO: **Project No. 2171-CUP/DRX/TTM/TRP**

PLANNER: *Kamifabik*

NOTES: **MOULE & POLYZOIDES**
ARCHITECTS AND URBANISTS



Enlarged Courtyard - Patio de la Acequia

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☐ BY THE DESIGN REVIEW BOARD

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☐ BY THE CITY COUNCIL

FOR THE CITY OF SOUTH PASADENA ON Nov. 17, 2020

APPLICATION NO: Project No. 2171-CUP/DRX/TTM/TRP

PLANNER: Kamifapik

NOTES: Seven Patios Mixed-Use Residential & Commercial

16'

8'

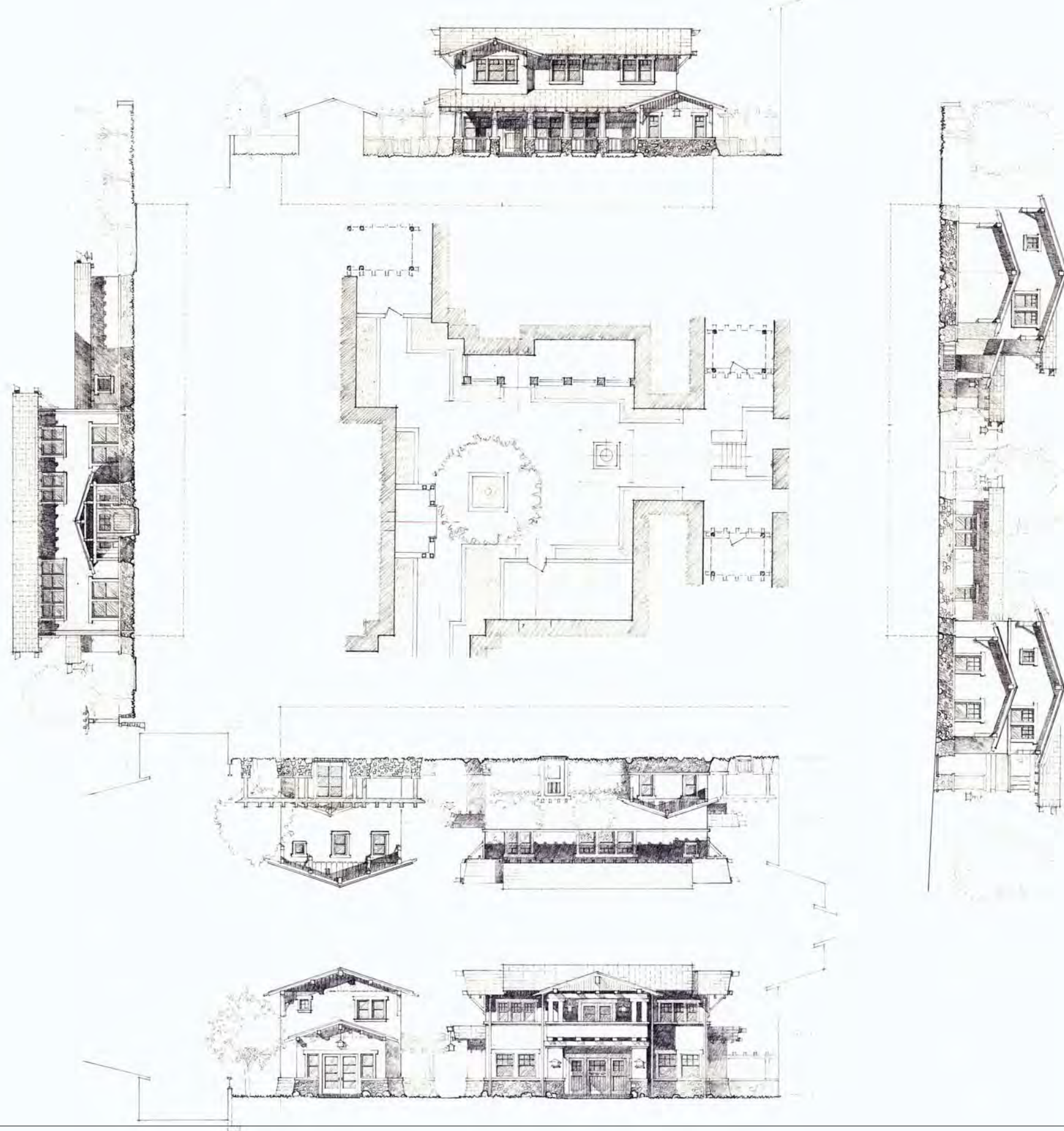
4'

1/8

MOULE & POLYZOIDES

ARCHITECTS AND URBANISTS

A3.08



SEVEN PATIOS
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11/04/2020

Enlarged Courtyard - Patio de la Jacaranda

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FOR THE CITY OF SOUTH PASADENA ON **Nov. 17, 2020**

APPLICATION NO: **Project No. 2171-CUP/DRX/TTM/TRP**

PLANNER: *Kamifabik*

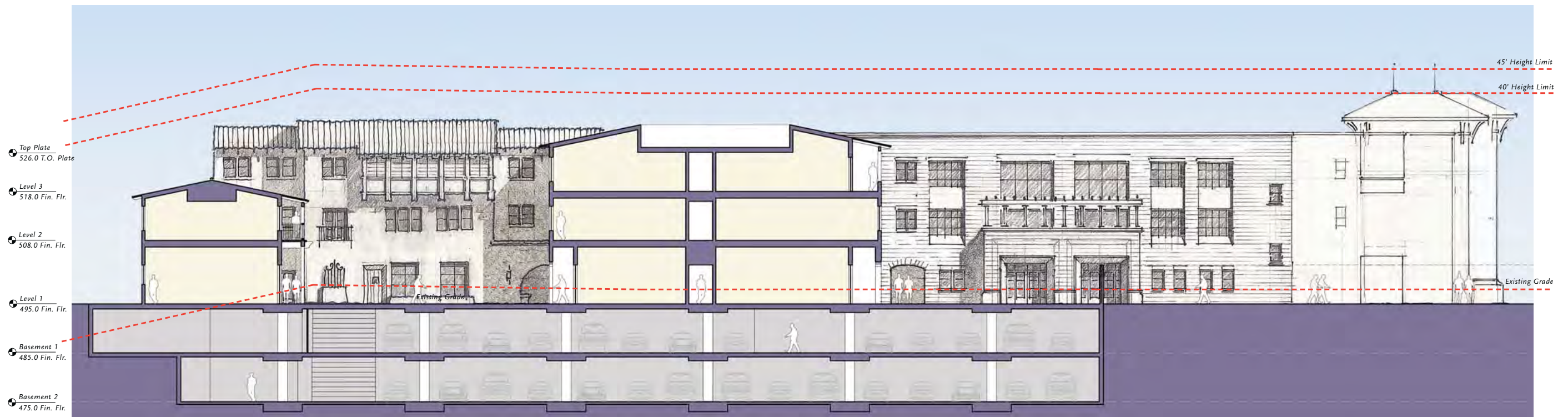
NOTES: **MOULE & POLYZOIDES**
ARCHITECTS AND URBANISTS

16'

8'

1/8

A3.09



Building Cross Section 2



Building Longitudinal Section 1

SEVEN PATIOS
899 EL CENTRO ST., SOUTH PASADENA, CA
11/04/2020

Building Section

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☐ BY THE CITY COUNCIL

FOR THE CITY OF SOUTH PASADENA ON **Nov. 17, 2020**

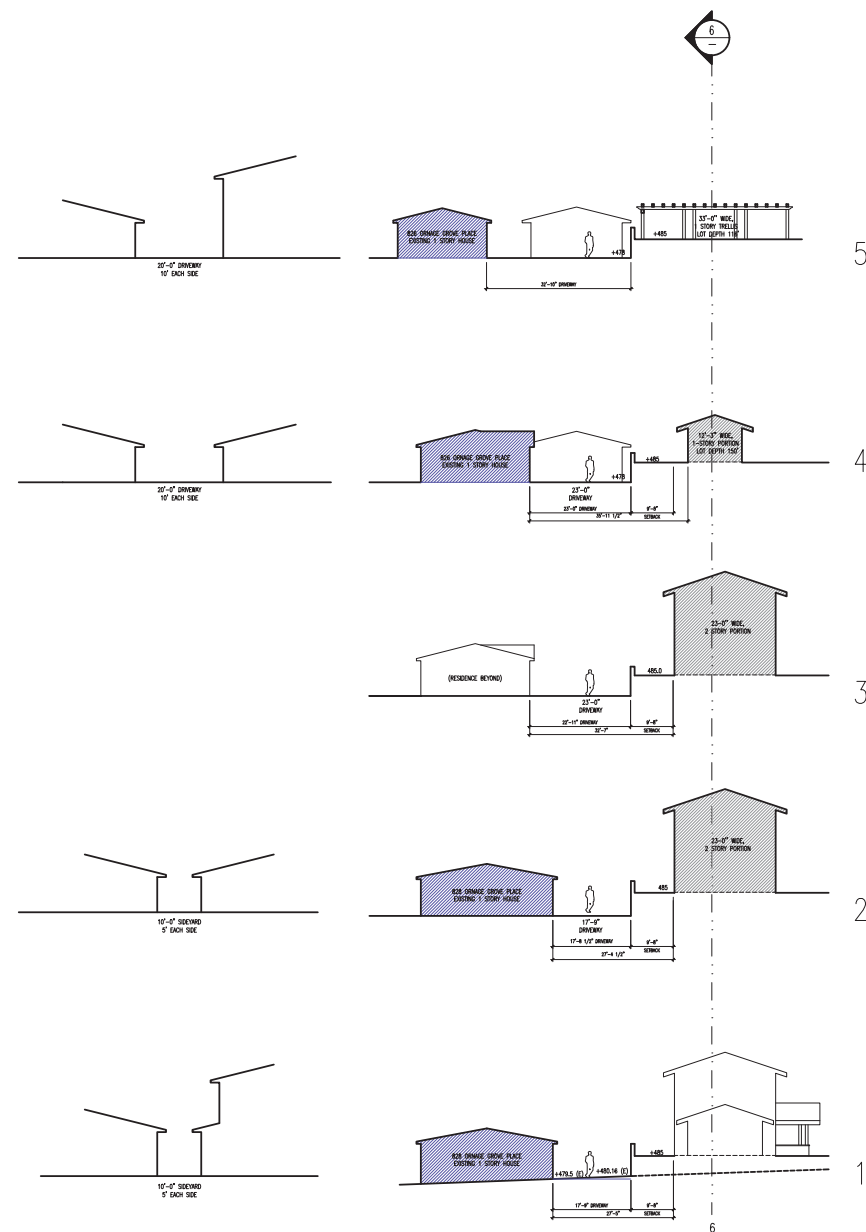
APPLICATION NO: **Project No. 2171-CUP/DRX/TTM/TRP**

PLANNER: **Kamifabik**

NOTES: **Seven Patios Mixed-Use Residential & Commercial**

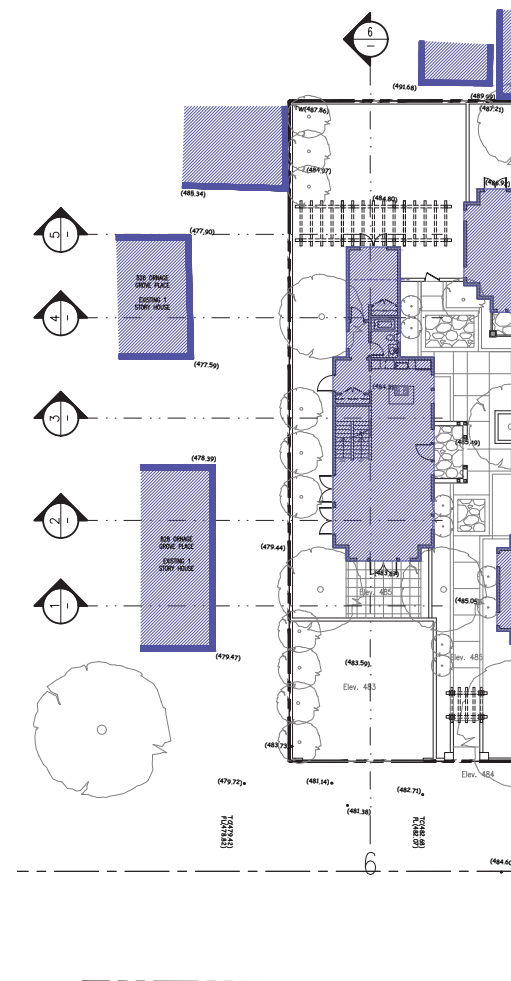
MOULE & POLYZOIDES
ARCHITECTS AND URBANISTS

A4.00

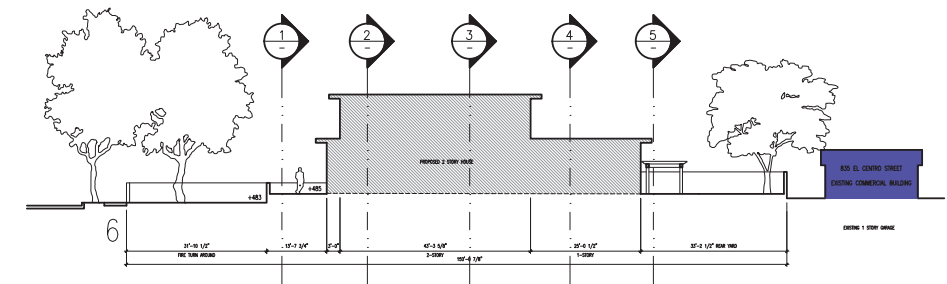


Typical South Pasadena
Bungalow neighborhood sideyards

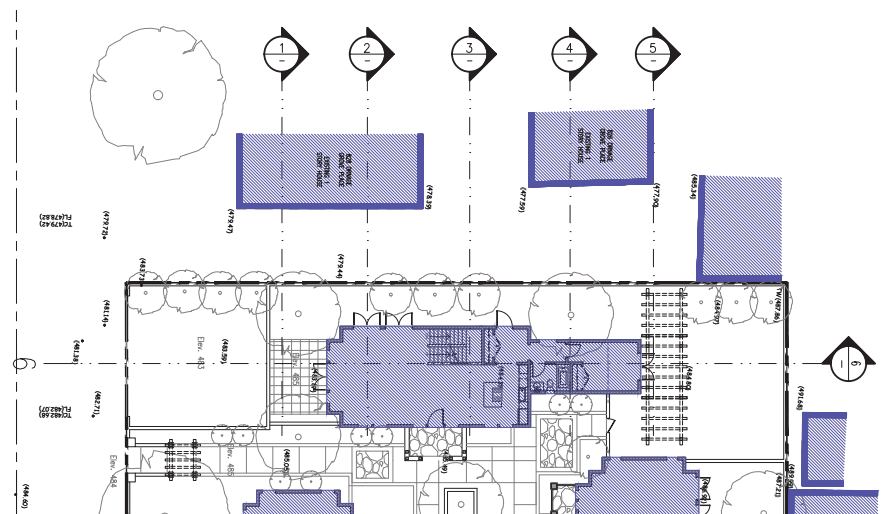
Proposed sideyards



Sections 2 and 3 occur thru the 2-story building portion
Sections 4 occurs thru the 1-story building portion
Section 1 and 5 occur at portion with no building



Proposed courtyard



2-story building portion = 43.3 lf, or 28.87 percent of 150-foot lot depth
1-story building portion = 28.0 lf, or 18.67 percent of 150-foot lot depth
no building = 78.7 lf, or 52.46 percent of 150-foot lot depth

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FOR THE CITY OF SOUTH PASADENA

BY THE PLANNING DIRECTOR

☐ BY THE CULTURAL HERITAGE COMMISSION
☐ BY THE DESIGN REVIEW BOARD
☒ BY THE PLANNING COMMISSION
☐ BY THE CITY COUNCIL

FOR THE CITY OF SOUTH PASADENA, NOV. 17, 2020

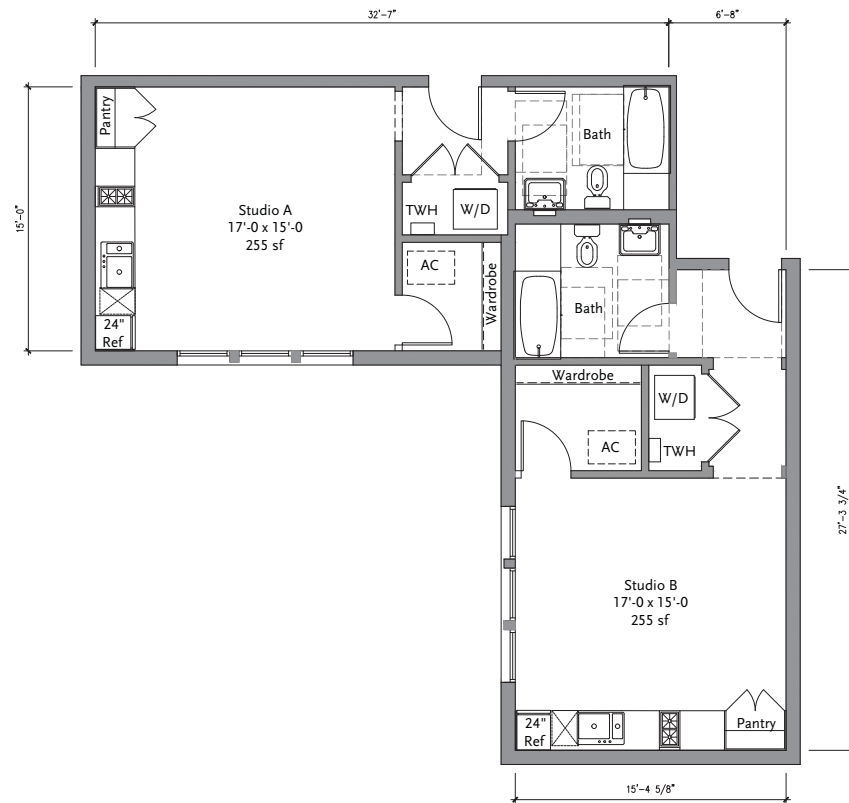
APPLICATION NO: Project No. 2171-CUP/DRX/TTM/TRP

PLANNER: Kamifabik

MOULE & POLYZOIDES

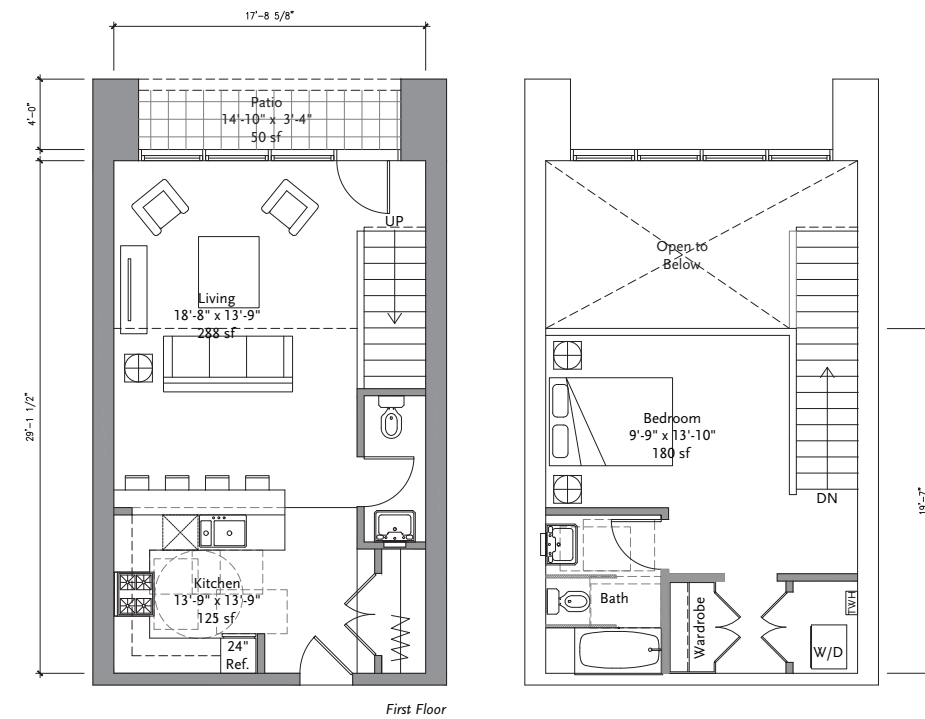
NOTES: Seven Patios Mixed-Use Residential & Commercial

A4.01



1 BEDROOM STUDIO PAIR

GSF - A	435 sf
GSF - B	465 sf
Lot Coverage A	472 sf
Lot Coverage B	513 sf



1 BEDROOM INDUSTRIAL LOFT

GSF	880-955 sf
1st floor	555-560 sf
2nd floor	325-395 sf
Private Outdoor	50 sf
Lot Coverage	692 sf

APPROVED

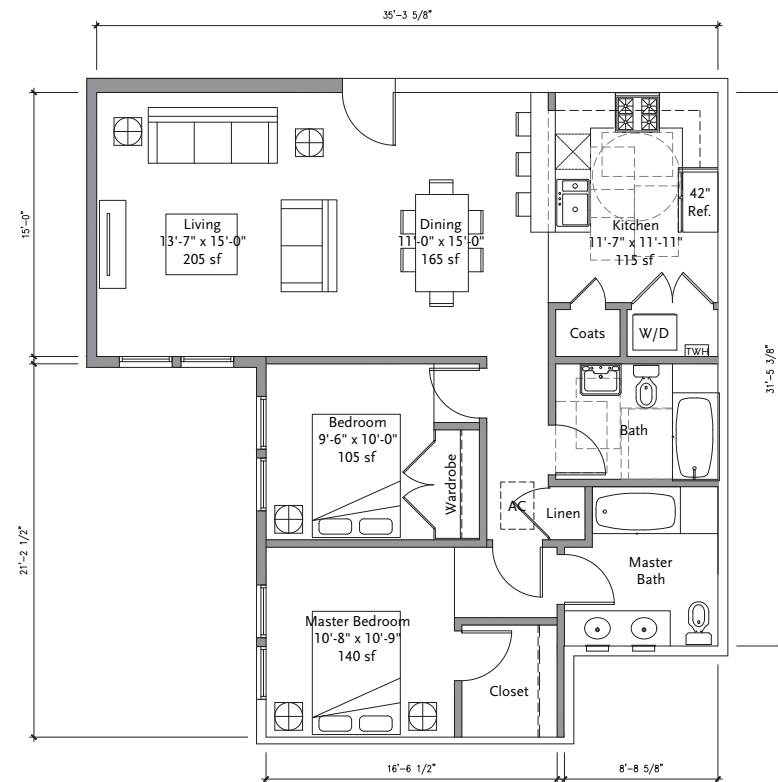
- ☐ BY THE PLANNING DIRECTOR
- ☐ BY THE CULTURAL HERITAGE COMMISSION
- ☐ BY THE DESIGN REVIEW BOARD
- ☒ BY THE PLANNING COMMISSION
- ☐ BY THE CITY COUNCIL

FOR THE CITY OF SOUTH PASADENA ON Nov. 17, 2020

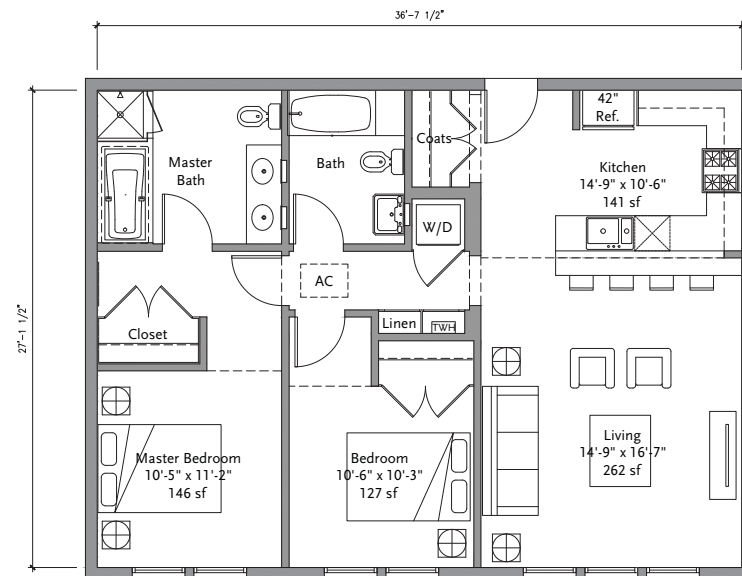
APPLICATION NO: Project No. 2171-CUP/DRX/TTM/TRP

PLANNER: Kanifabik

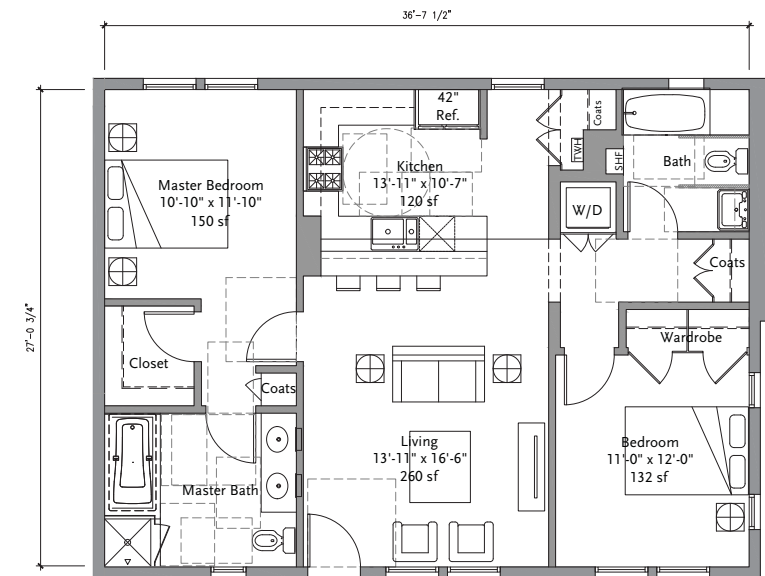
NOTES: MOULE & POLYZOIDES
Seven Patios Mixed-Use Residential & Commercial



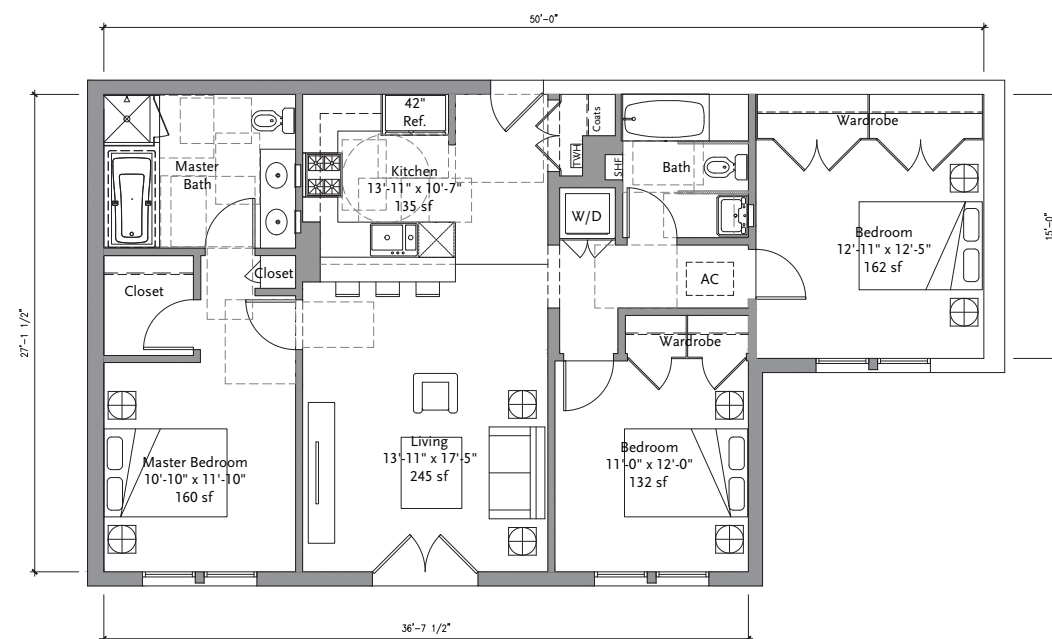
2 BEDROOM FLAT - CORNER
 GSF 1,065 sf
 Lot Coverage 1,130 sf



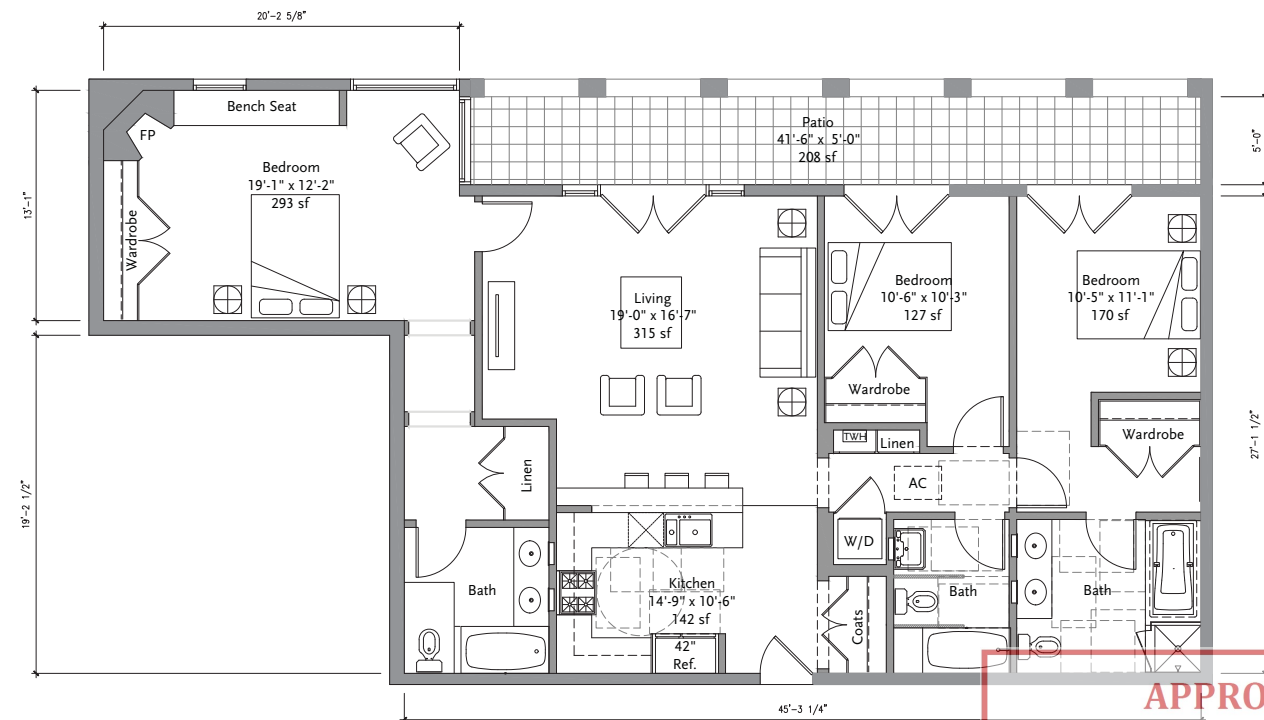
2 BEDROOM FLAT INLINE
 GSF 1,010-1,075 sf
 Lot Coverage 1,120-1,180 sf



2 BEDROOM FLAT - DUAL MASTER
 GSF 1,030 sf
 Lot Coverage 1,090 sf



3 BEDROOM FLAT - TYPICAL
 GSF 1,220 sf
 Lot Coverage 1,330 sf



3 BEDROOM FLAT - SPECIAL
 GSF 1,490 sf
 Private Outdoor 208 sf
 Lot Coverage 1,860 sf

APPROVED

- ☐ BY THE PLANNING DIRECTOR
- ☐ BY THE CULTURAL HERITAGE COMMISSION
- ☐ BY THE DESIGN REVIEW BOARD
- ☒ BY THE PLANNING COMMISSION
- ☐ BY THE CITY COUNCIL

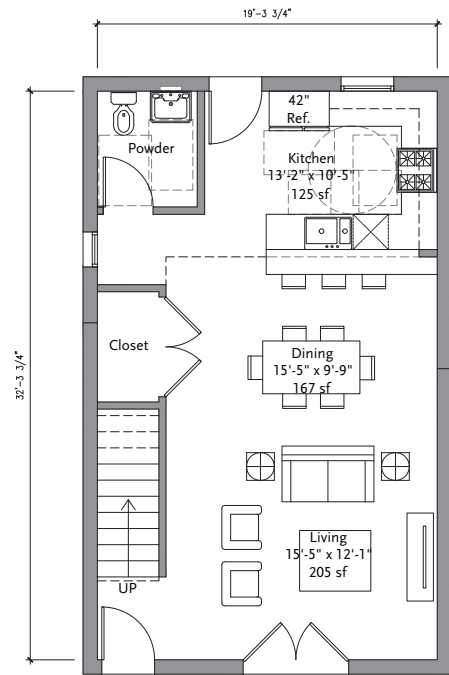
FOR THE CITY OF SOUTH PASADENA ON Nov. 17, 2020

APPLICATION NO: Project No. 2171-CUP/DRX/TTM/TRP

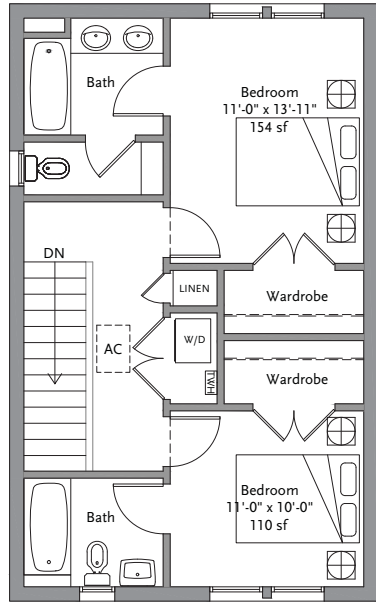
PLANNER: Kamfahle MOULE & POLYZOIDES

NOTES: Seven Patios Mixed-Use Residential & Commercial

A5.01



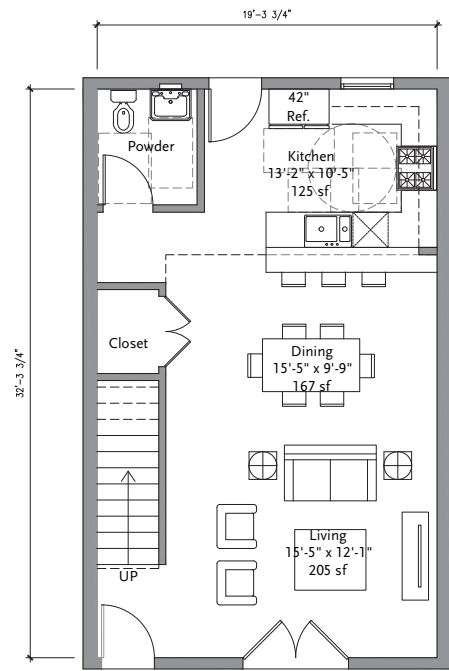
First Floor



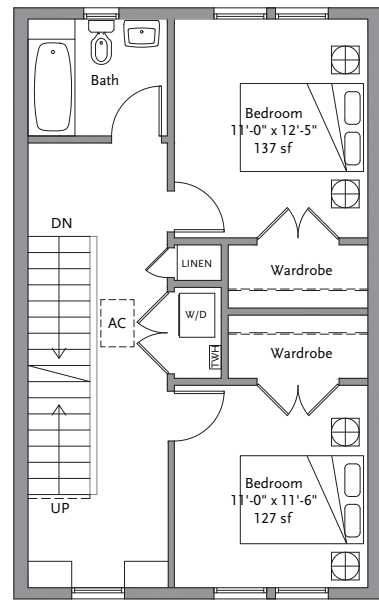
Second Floor

2 BEDROOM TOWNHOME

GSF 1,235-1,440 sf
1st floor 635-775 sf
2nd floor 600-665 sf
Lot Coverage 700-820 sf



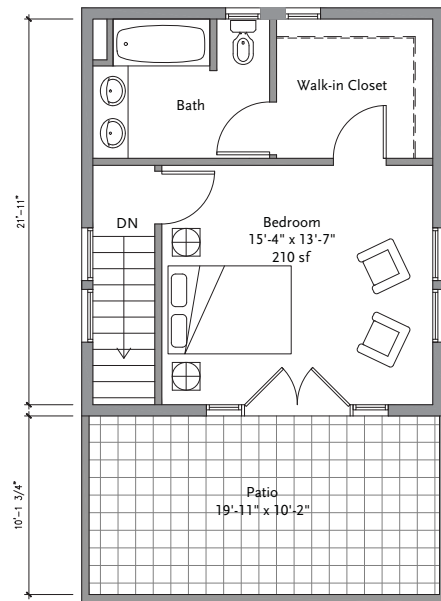
First Floor



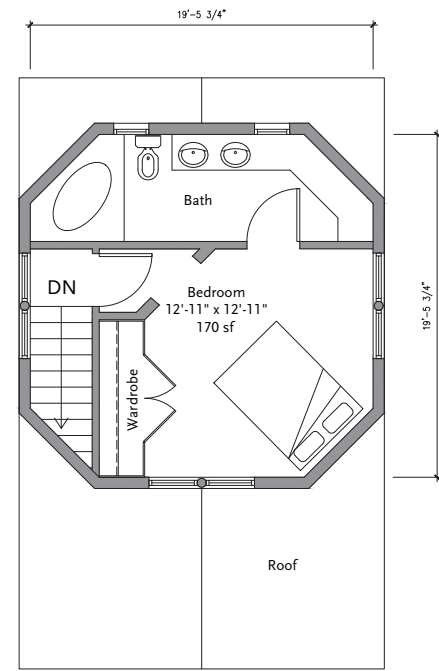
Second Floor

3 BEDROOM TOWNHOME

GSF	1,620-1,630 sf	GSF	1,540-1,550 sf
1st floor	635-640 sf	1st floor	635-640 sf
2nd floor	590-595 sf	2nd floor	580-585 sf
3rd floor	395 sf	Octagon Alt.	325 sf
Private Outdoor	641 sf	Lot Coverage	700-705 sf
Lot Coverage	695 sf		



Third Floor



Octagon Alternative

APPROVED

- ☐ BY THE PLANNING DIRECTOR
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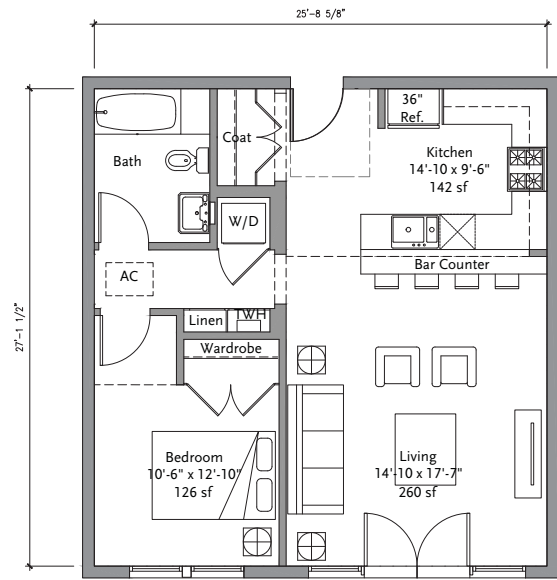
FOR THE CITY OF SOUTH PASADENA ON Nov. 17, 2020

APPLICATION NO: Project No. 2171-CUP/DRX/TTM/TRP

PLANNER: Kanifabik

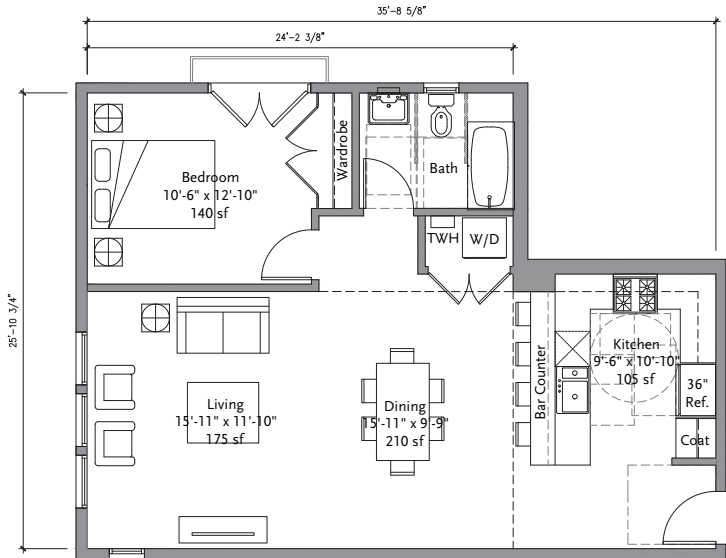
NOTES: MOULE & POLYZOIDES
Seven Patios Mixed-Use Residential & Commercial

A5.02



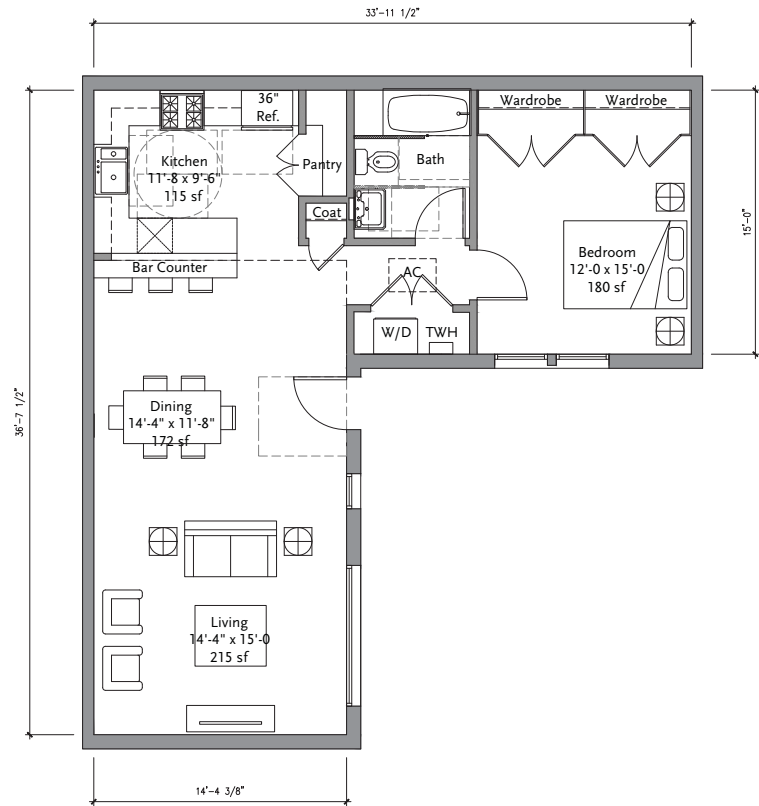
1 BEDROOM FLAT - SMALL

GSF 735 sf
Lot Coverage 770 sf



1 BEDROOM FLAT - LARGE

GSF 765 sf
Lot Coverage 885 sf



1 BEDROOM FLAT - CORNER

GSF 845 sf
Lot Coverage 930 sf

APPROVED

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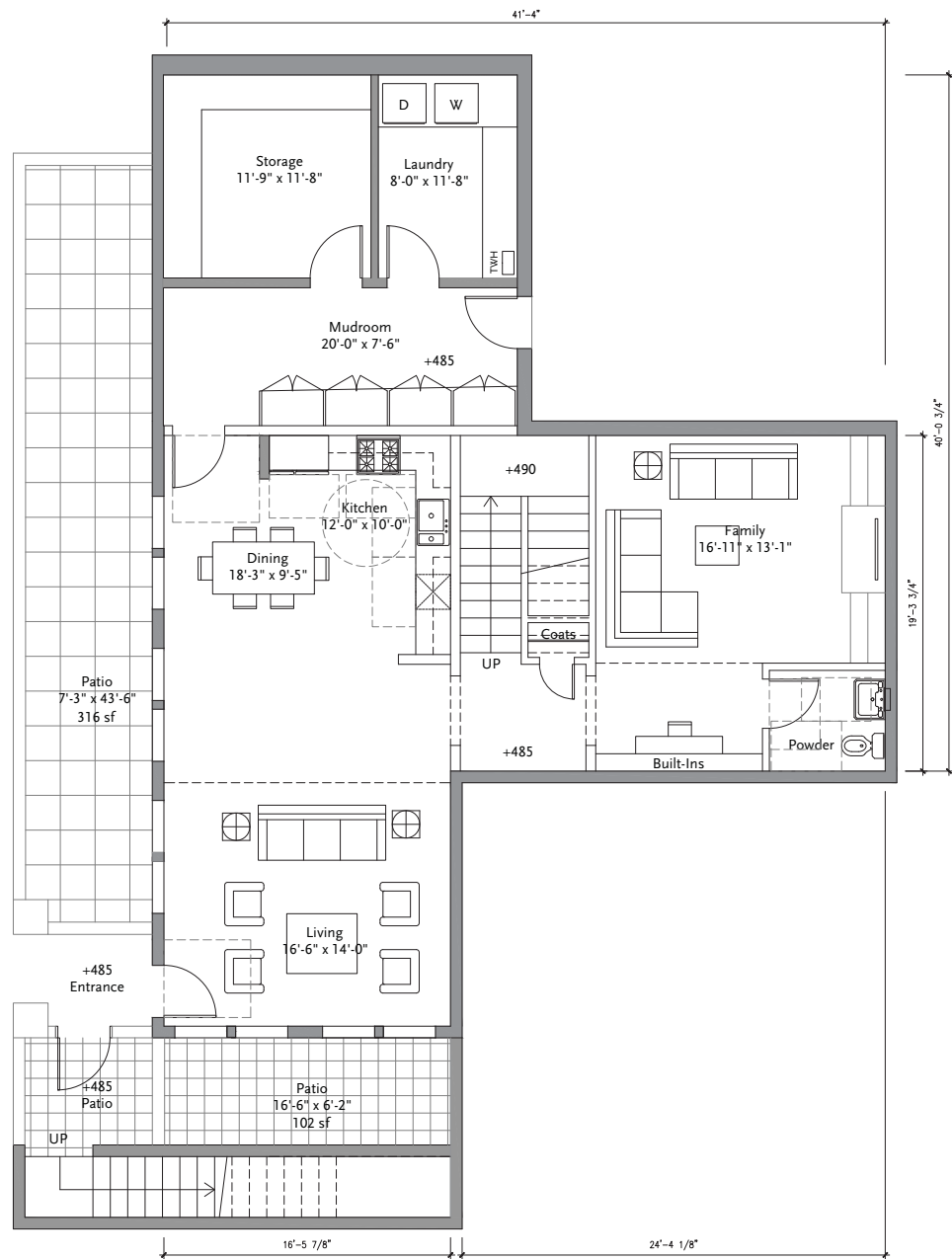
FOR THE CITY OF SOUTH PASADENA ON Nov. 17, 2020

APPLICATION NO: Project No. 2171-CUP/DRX/TTM/TRP

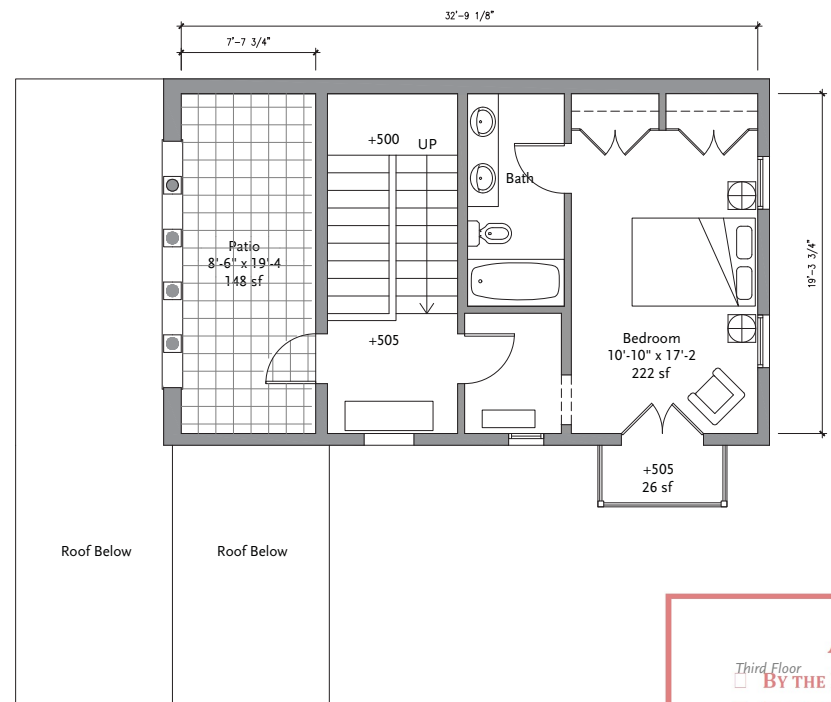
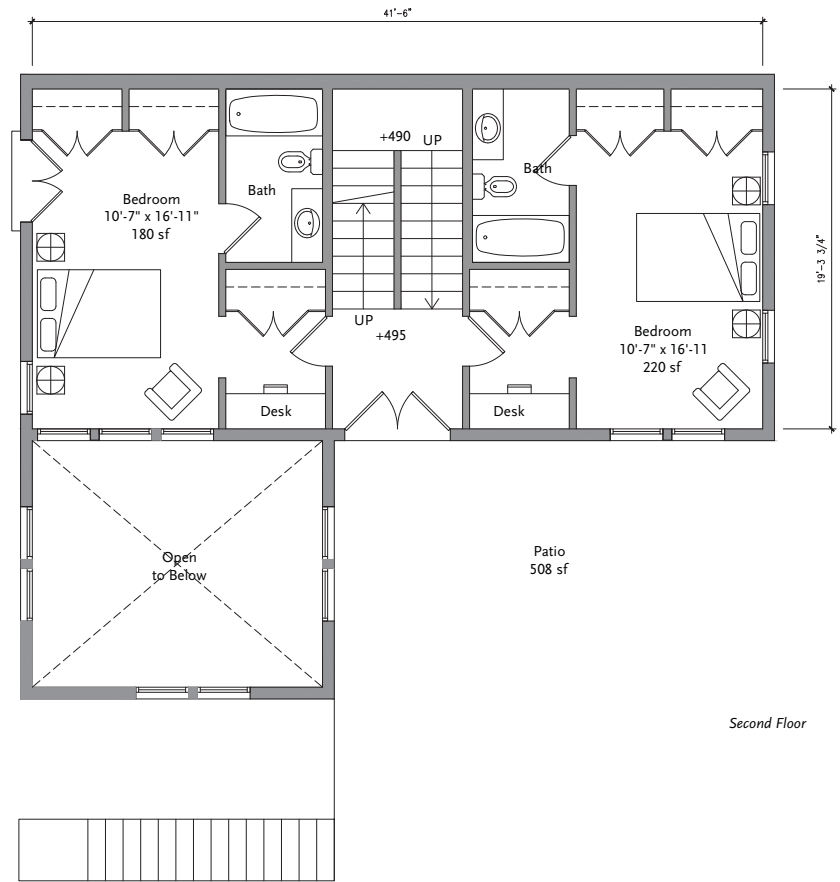
PLANNER: Kamifabik

NOTES: MOULE & POLYZOIDES
Seven Patios Mixed-Use Residential & Commercial

A5.03



3 BEDROOM TOWNHOUSE



APPROVED

Third Floor

☐ BY THE PLANNING DIRECTOR
 ☐ BY THE CULTURAL HERITAGE COMMISSION
 ☐ BY THE DESIGN REVIEW BOARD
 ☒ BY THE PLANNING COMMISSION
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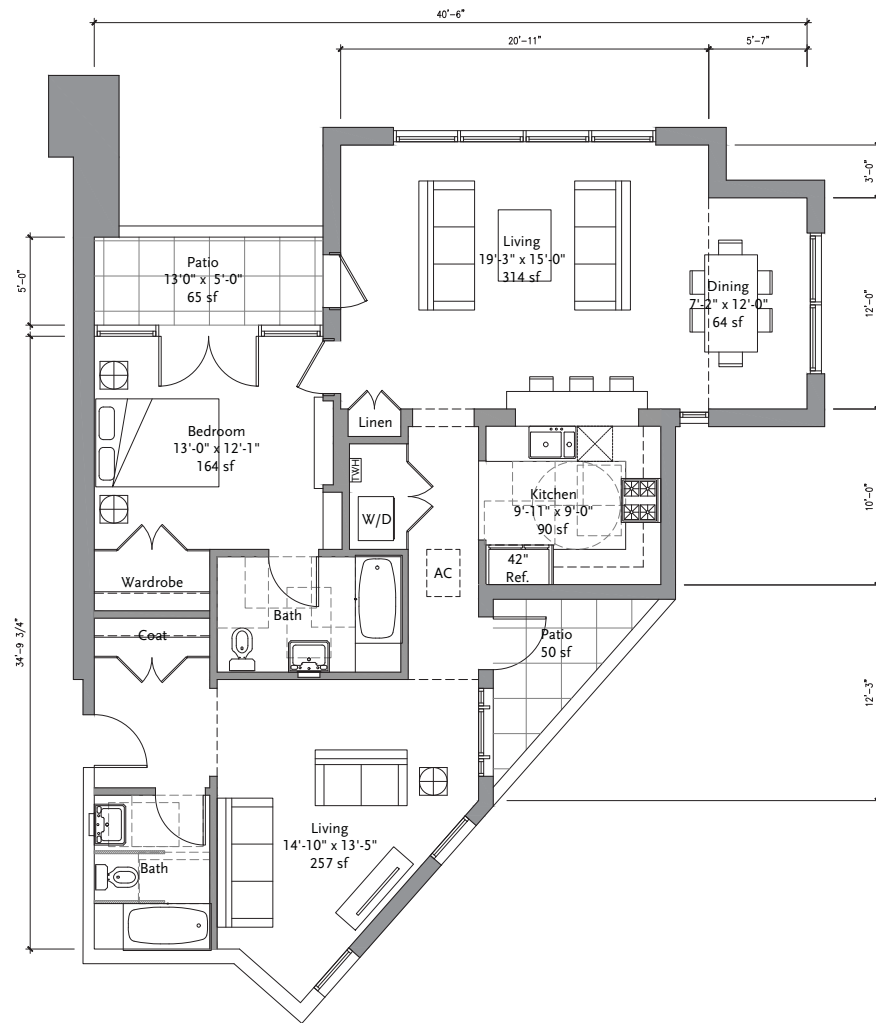
FOR THE CITY OF SOUTH PASADENA ON Nov. 17, 2020

APPLICATION NO: Project No. 2171-CUP/DRX/TTM/TRP

PLANNER: *Kanifabik*

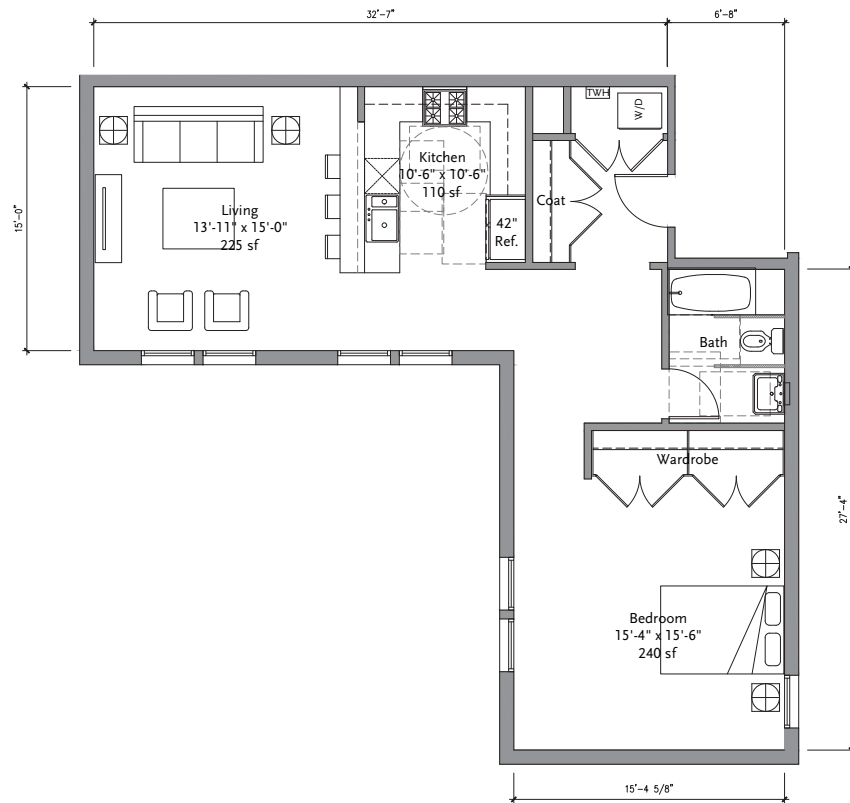
MOULE & POLYZOIDES
 NOTES: Seven Patios Mixed-Use Residential & Commercial

A5.04



1 BEDROOM FLAT

GSF	1,150 sf
Private Outdoor	115 sf
Lot Coverage	1,487 sf



1 BEDROOM FLAT

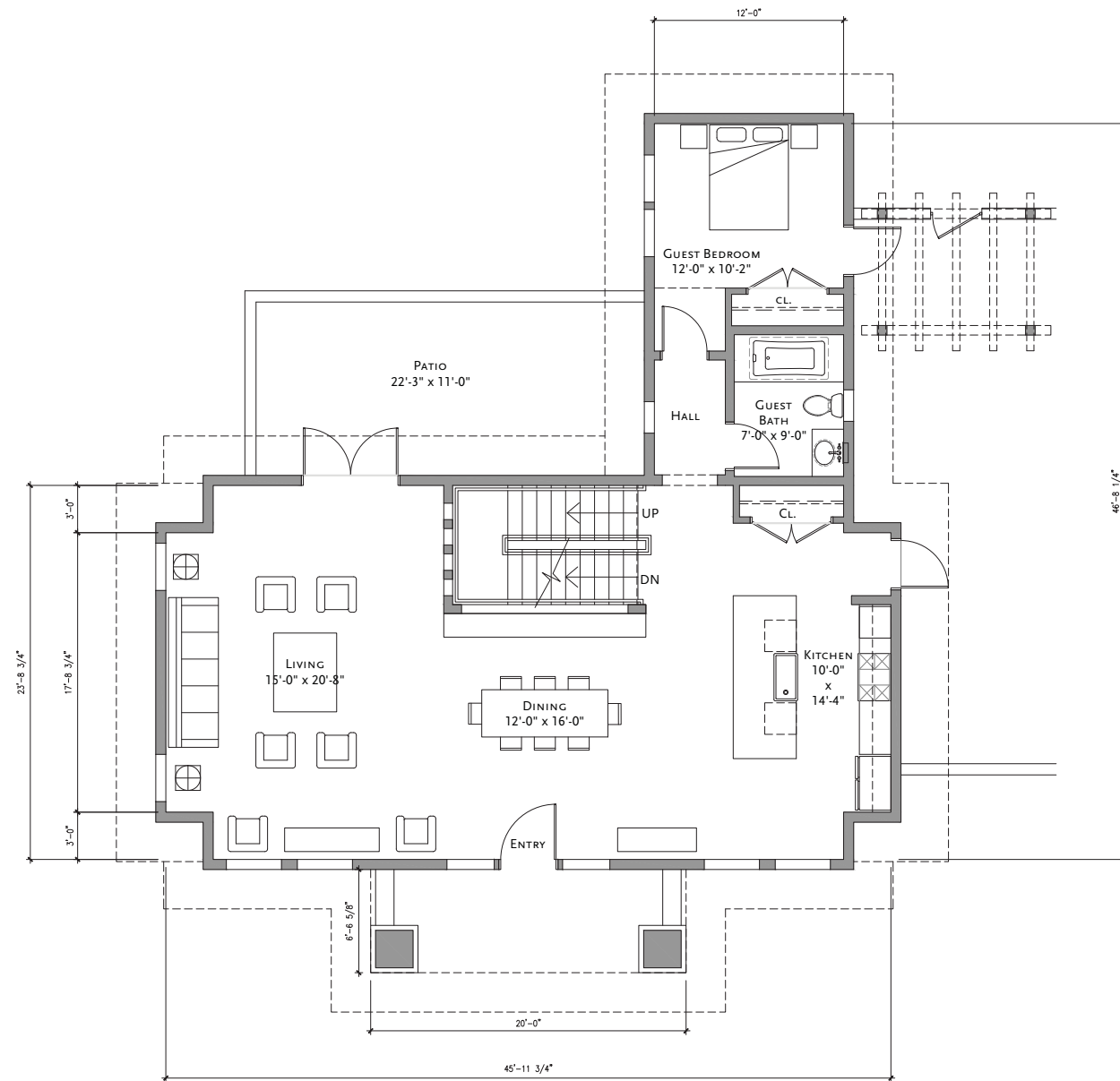
GSF	900 sf
Lot Coverage	985 sf

APPROVED

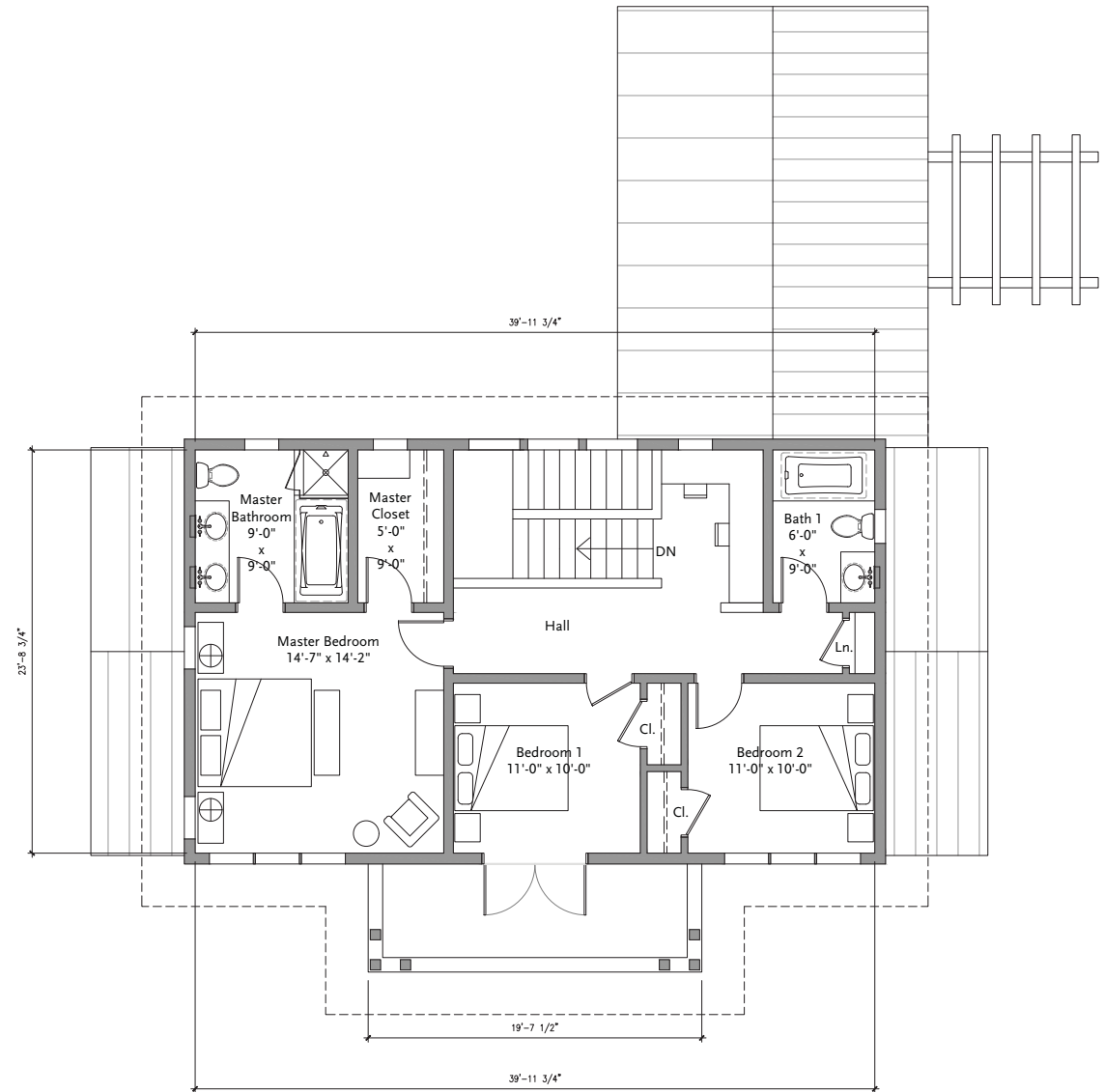
☐ BY THE PLANNING DIRECTOR
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FOR THE CITY OF SOUTH PASADENA ON Nov. 17, 2020
 APPLICATION NO: Project No. 2171-CUP/DRX/TTM/TRP
 PLANNER: Kamifabik
 NOTES: Seven Patios Mixed-Use Residential & Commercial

MOULE & POLYZOIDES
 A5.05



FIRST FLOOR



SECOND FLOOR

UNIT 01 BUNGALOW

CSF	2,475 sf
1st floor	1,445 sf
2nd floor	1,030 sf
Private Outdoor	675 sf
Lot Coverage	1,590 sf

APPROVED

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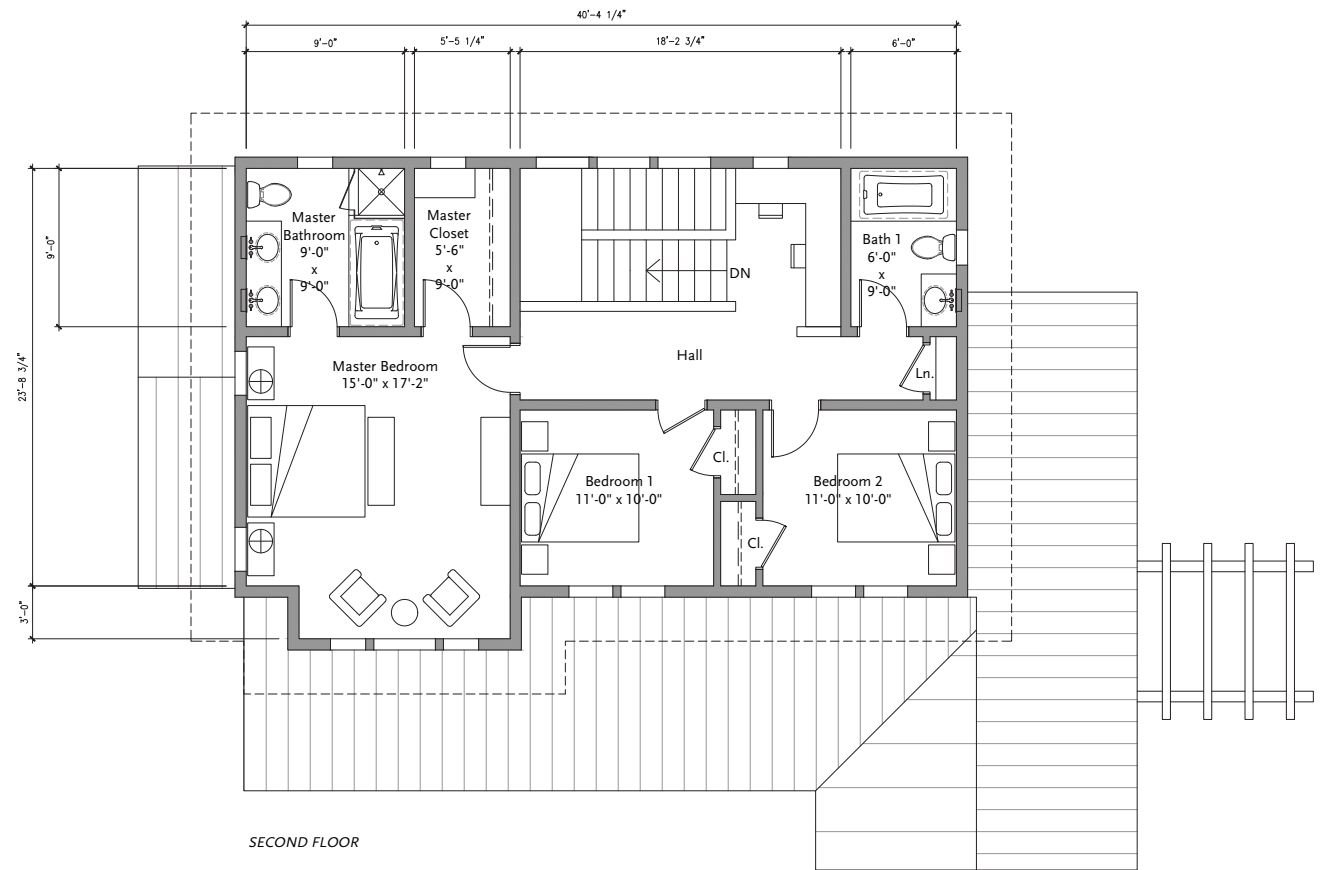
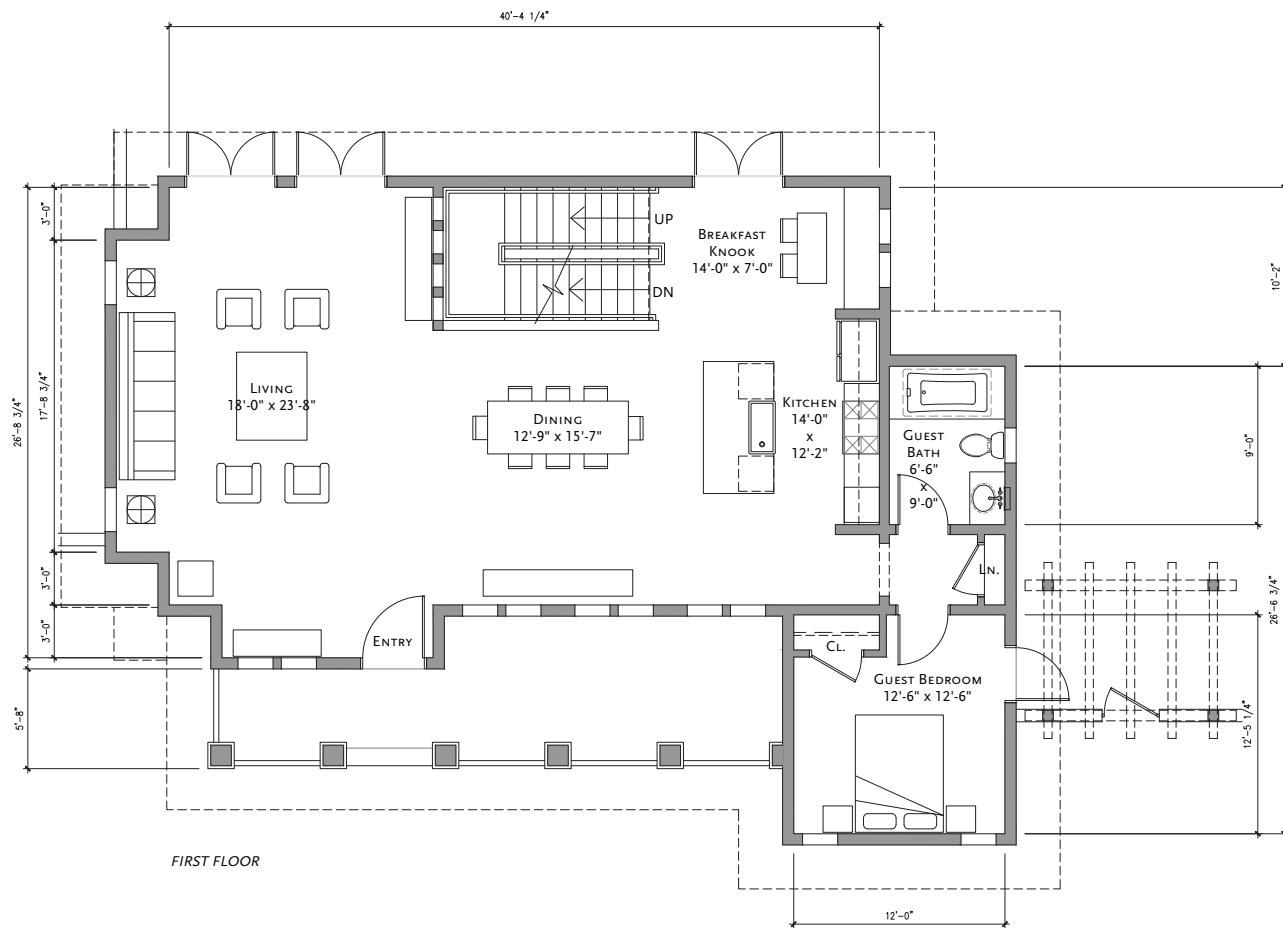
FOR THE CITY OF SOUTH PASADENA ON Nov. 17, 2020

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PLANNER: Kanifabik

MOULE & POLYZOIDES
NOTES: Seven Patios Mixed-Use Residential & Commercial

A5.06



UNIT 02 BUNGALOW

CSF	2,480 sf
1st floor	1,410 sf
2nd floor	1,070 sf
Private Outdoor	1,700 sf
Lot Coverage	1,660 sf

APPROVED

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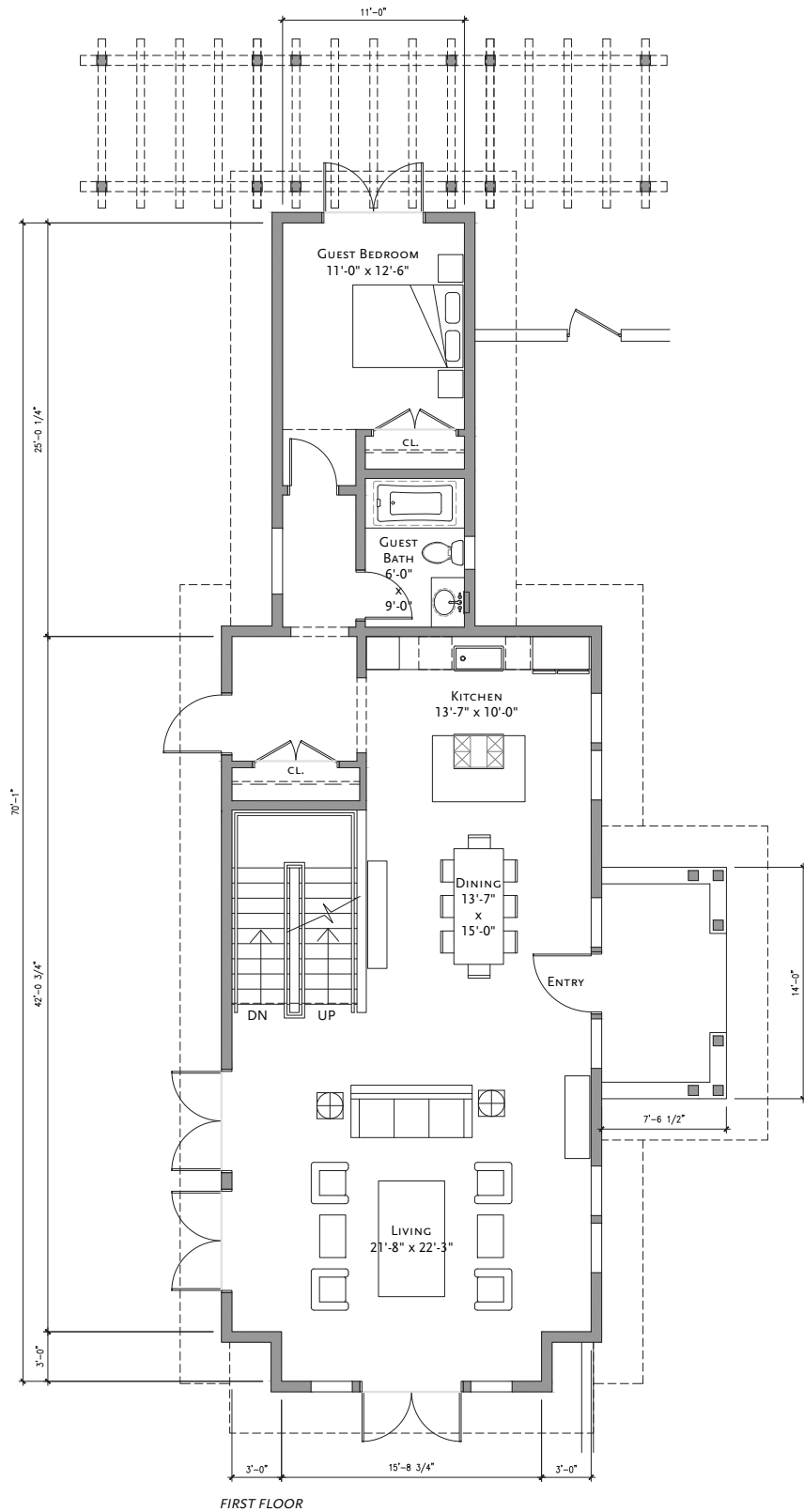
FOR THE CITY OF SOUTH PASADENA ON Nov. 17, 2020

APPLICATION NO: Project No. 2171-CUP/DRX/TTM/TRP

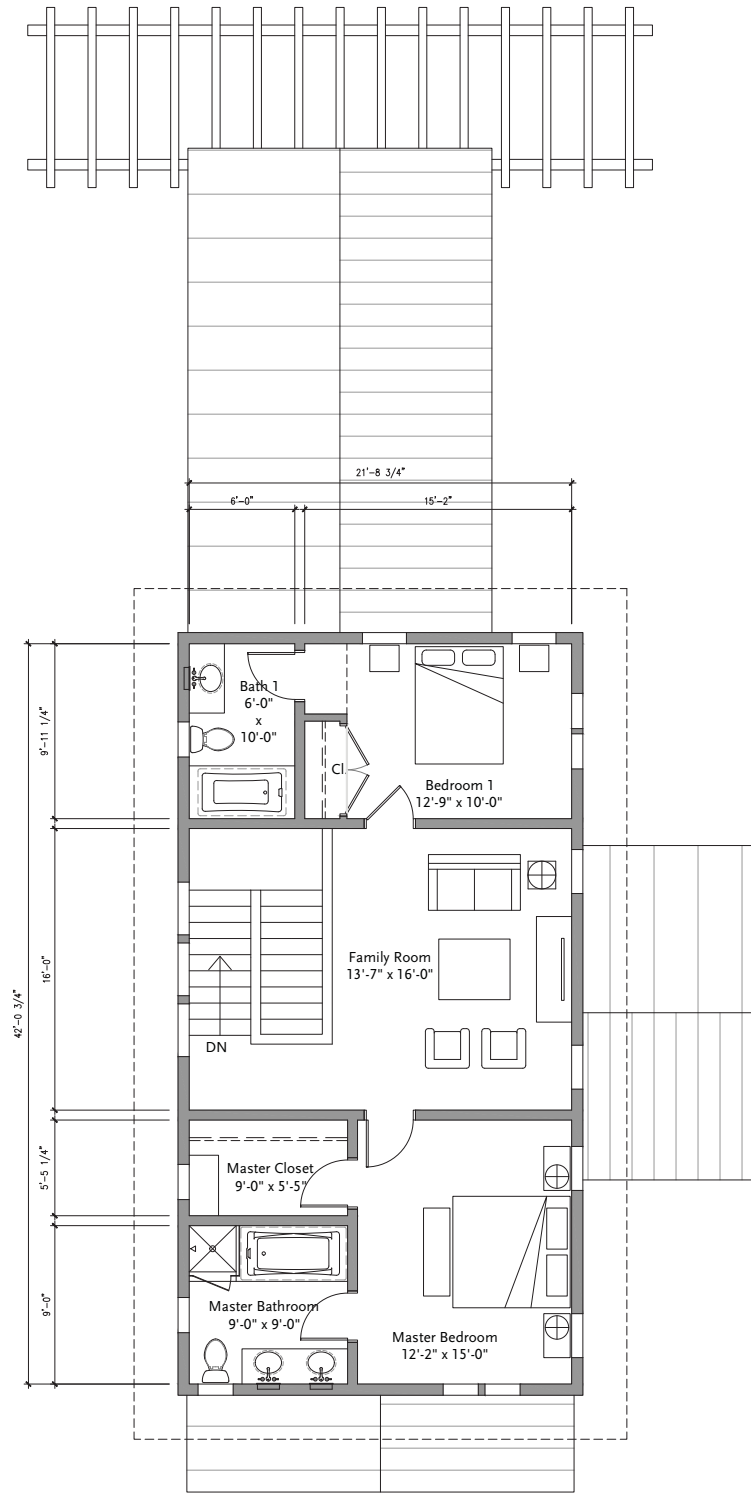
PLANNER: Kanifabik

NOTES: MOULE & POLYZOIDES
Seven Patios Mixed-Use Residential & Commercial

A5.07



FIRST FLOOR



SECOND FLOOR

UNIT 03 BUNGALOW

CSF	2,345 sf
1st floor	1,350 sf
2nd floor	995 sf
Private Outdoor	2,525 sf
Lot Coverage	1,460 sf

APPROVED

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FOR THE CITY OF SOUTH PASADENA ON Nov. 17, 2020

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PLANNER: Kamifabik

NOTES: MOULE & POLYZOIDES
Seven Patios Mixed-Use Residential & Commercial

A5.08



Asphalt Shingles

SCALE: NTS

B6

Distributor: CertainTeed
Style: Landmark
Color: Variegated blend



Heavy Timber Wood Porch

SCALE: NTS

B4

Manufacture; Custom Framing
Color: TBD
Finish: Rough Sawn/Chamfer



Heavy Timber Wood Trellis

SCALE: NTS

B2

Manufacture; Custom Framing
Color: TBD
Finish: Rough Sawn/Chamfer



Aluminum Clad Wood Window

SCALE: NTS

B5

Distributor: Sierra Pacific
Style: Aspen
Color and Finish: TBD



Exterior Siding

SCALE: NTS

B3

Distributor: James Hardie
Color: TBD
Finish: Shingle & Lap Siding



Wood Entry Door & Sidelight

SCALE: NTS

B1

APPROVED
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FOR THE CITY OF SOUTH PASADENA ON **Nov. 17, 2020**

APPLICATION NO: **Project No. 2171-CUP/DRX/TTM/TRP**

PLANNER: **Kamifabik MOULE & POLYZOIDES**

NOTES: **Seven Patios Mixed-Use Residential & Commercial**

A6.01



Roof Features

SCALE: NTS



(S9) Distributor: Superior Clay
Color and Finish: Natural



Heavy Timber Wood Balcony

SCALE: NTS

(S6) Distributor: Custom
Color: "Dawn Mist 32-25"



Clay Roofing Tiles

SCALE: NTS

(S3) Manufacturer: Redland Tile
Style: Baja Mission Tile & Cap
Color Mix: Custom Blend



Metal Balcony

SCALE: NTS



(S8) Manufacturer: Jansen Metal
Paint: Pratt & Lambert
"Witching Hour" 30-18



Aluminum Clad Wood Windows

SCALE: NTS

(S5) Manuf: Sierra Pacific
Style: Aspen
Color: "Dawn Mist 32-25"



Stucco

SCALE: NTS

(S2) Distributor: Omega Stucco
Color: White
Finish: S.B. Humpy-Bumpy



Architectural Precast Concrete

SCALE: NTS

(S7) Manufacturer: Rouhani
Finish: "Light Sandblast"



Wood Entry Door

SCALE: NTS

(S4) Manuf: Sierra Pacific
Style: H3 Composite
Finish: "Aqua Mist 115"



Decorative Clay Tiles

SCALE: NTS



Light Fixture

SCALE: NTS

C6 Distributor: Prudential
Color: TBD
Finish: TBD



Iron Window

SCALE: NTS

C4 Distributor: Wausau
Color and Finish: Painted



Standing Seam Metal Roofing

SCALE: NTS

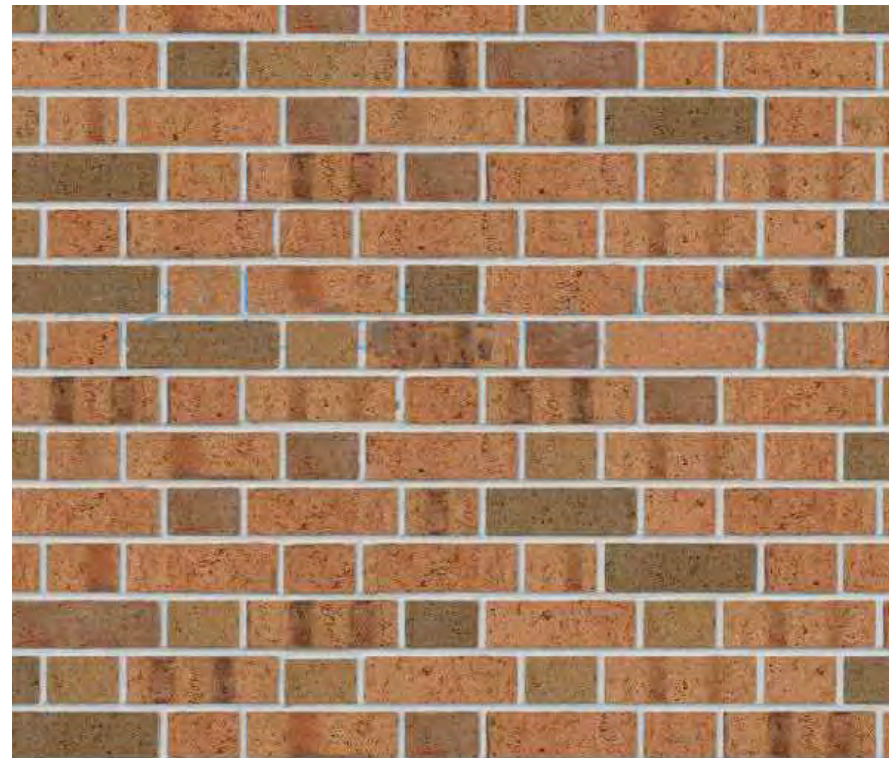
C2 Distributor: Custom Built Metals
Color and Finish: TBD



Architectural Cast Stone

SCALE: NTS

C5 Distributor: Rhouhani Precast
Color: TBD
Finish: Light Travertine



Full Face Brick

SCALE: NTS

C3 Distributor: Belden
Color: Custom blend
Grout: Natural Gray



Iron Balcony & Steel Lintel

SCALE: NTS

Seven Patios
899 El Centro St. South Pasadena, CA
04/15/2019

Material Finishes - Commercial

APPROVED

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FOR THE CITY OF SOUTH PASADENA ON **Nov. 17, 2020**

APPLICATION NO: **Project No. 2171-CUP/DRX/TTM/TRP**

PLANNER: *Kamifabik*

MOULE & POLYZOIDES
NOTES: **Seven Patios Mixed-Use Residential & Commercial**

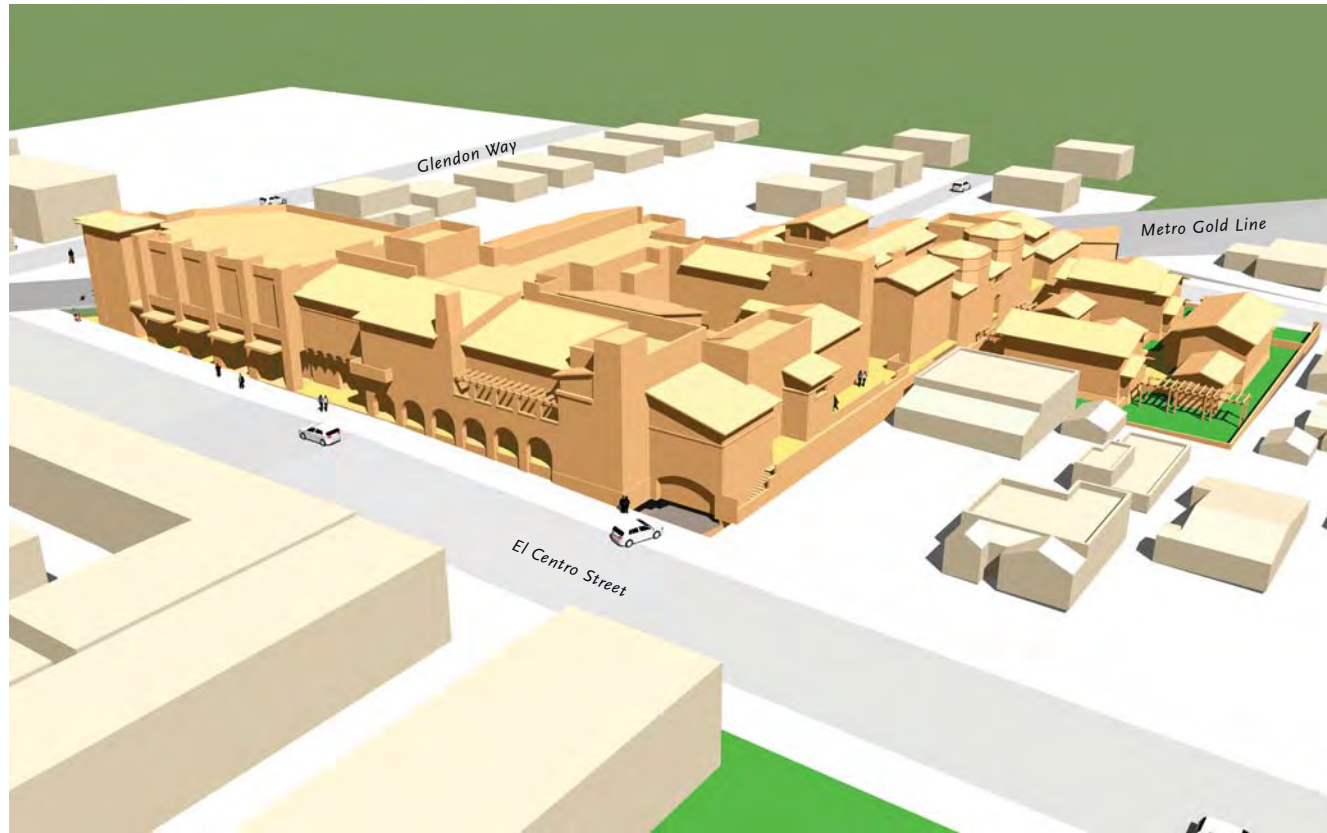
A6.02



View looking North East



View looking South West



View looking South East



View looking North West

APPROVED

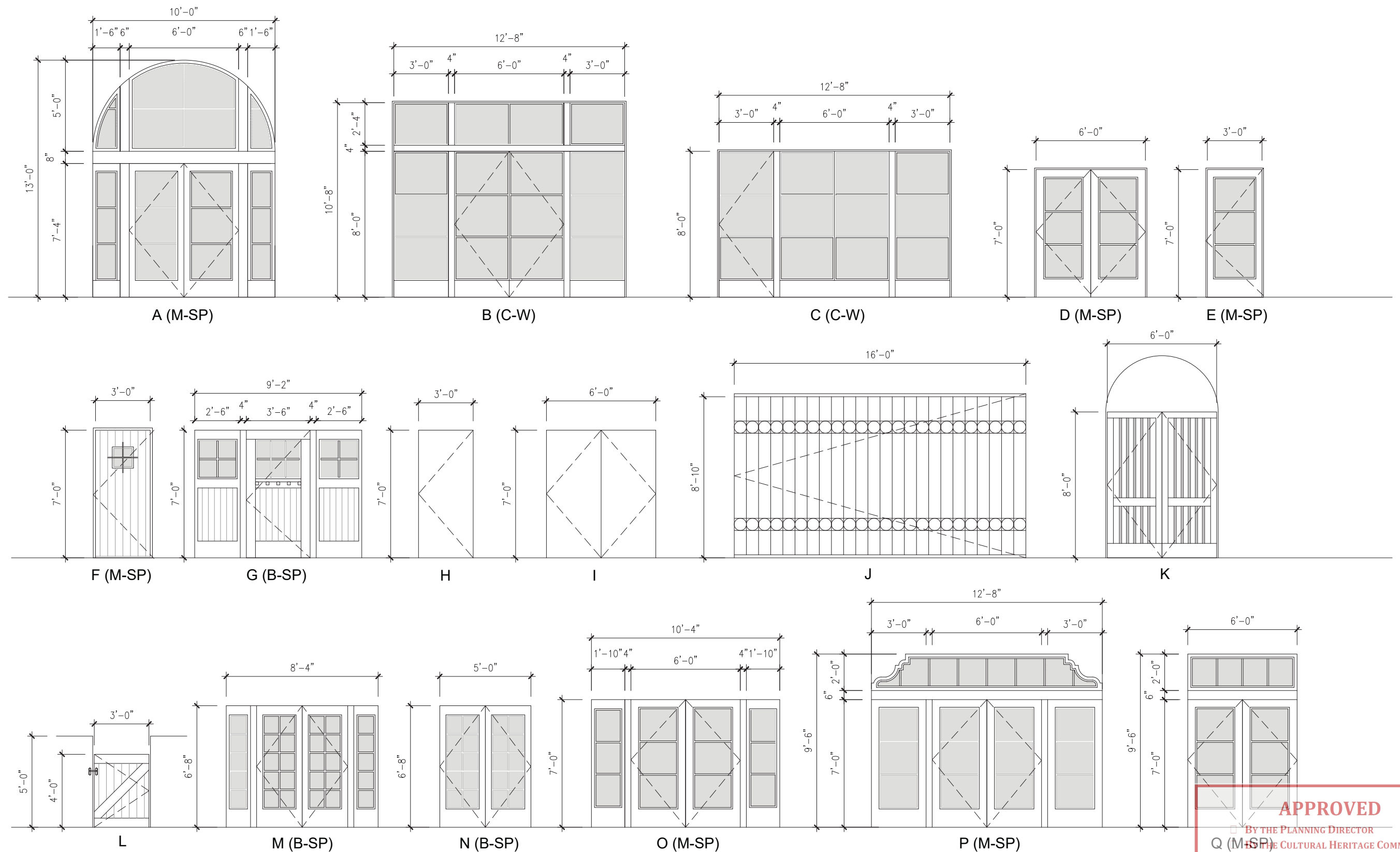
- ☐ BY THE PLANNING DIRECTOR
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FOR THE CITY OF SOUTH PASADENA ON: Nov. 17, 2020

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PLANNER: Kamifabik

NOTES: MOULE & POLYZOIDES
Seven Patios Mixed-Use Residential & Commercial
Architects and Urbanists



C - COMMERCIAL
M - MEDITERRANEAN
B - BUNGALOW

S - SIERRA PACIFIC
W - WAUSAU

Seven Patios
899 El Centro St. South Pasadena, CA
04/15/2019

Door Types

APPROVED

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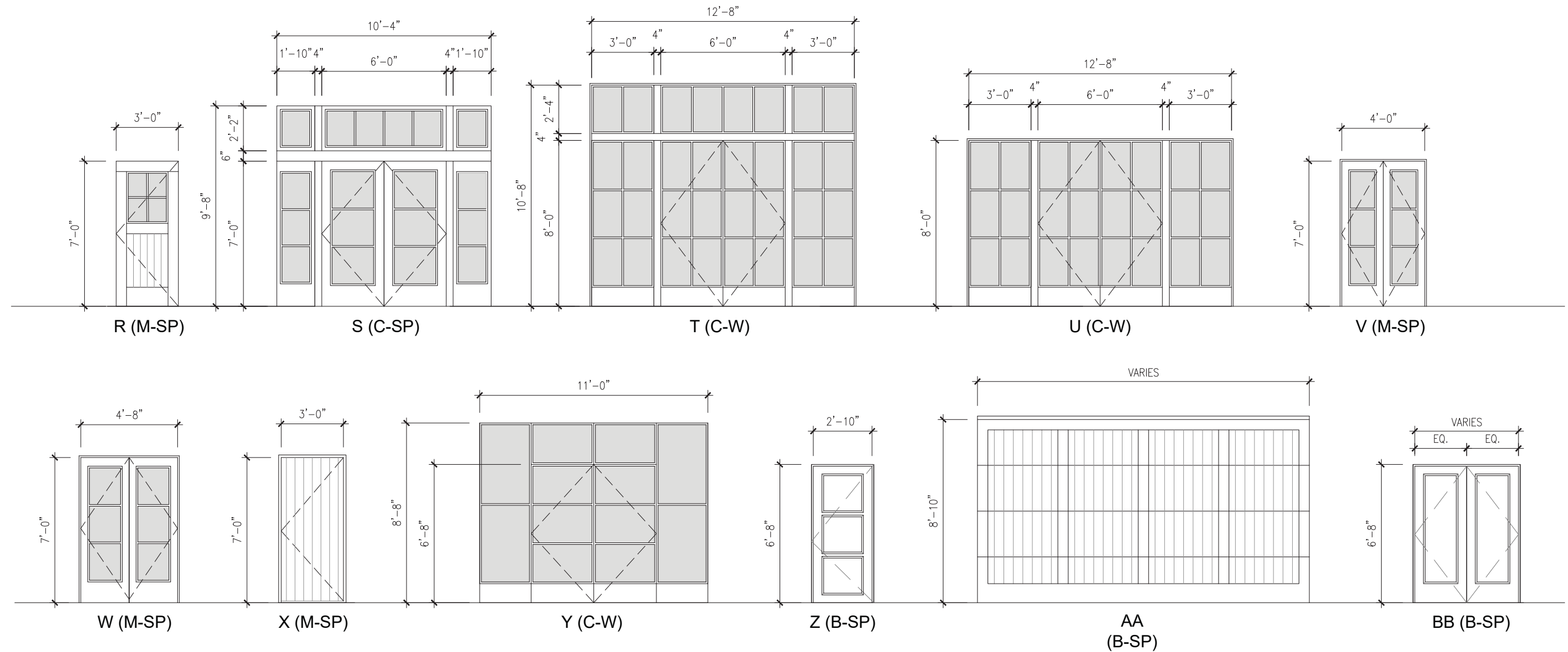
FOR THE CITY OF SOUTH PASADENA ON Nov. 17, 2020

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PLANNER: Kanifabik

NOTES: Seven Patios Mixed-Use Residential & Commercial

A7.00



C - COMMERCIAL
M - MEDITERRANEAN
B - BUNGALOW

S - SIERRA PACIFIC
W - WAUSAU

Seven Patios
899 El Centro St. South Pasadena, CA
04/15/2019

Door Types

APPROVED

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PLANNER: Kanifabik

MOULE & POLYZOIDES
NOTES: Seven Patios Mixed-Use Residential & Commercial

A7.01

ZONE 1 DOOR SCHEDULE																	
DOOR #	DOOR					FRAME					HARDWARE		TRIM			REMARKS	
	TYPE	RT'G LABEL	CONSTR.	FINISH	GLASS	HEAD HEIGHT	WIDTH	THRLD	FRAME MATERIAL	FINISH	HARDWARE NUMBER	ACCES.	MATERIAL	FINISH	TYPE		
S1-01	H	—	ALMN	P	NO	7'-0"	3'-0"	—	ALMN	P	—	—	—	P	—	RATED	
S2-01	H	—	ALMN	P	NO	7'-0"	3'-0"	—	ALMN	P	—	—	—	P	—	RATED	
S5-01	H	—	ALMN	P	NO	7'-0"	3'-0"	—	ALMN	P	—	—	—	P	—	RATED	
01-01	F	—	WD	P	YES	7'-0"	3'-0"	—	WD	P	—	—	WD	P	—	EGRESS	
01-02	H	—	ALMN	P	NO	7'-0"	3'-0"	—	ALMN	P	—	—	—	P	—	RATED	
01-03	Z	—	WD	P	NO	7'-0"	2'-10"	—	WD	P	—	—	WD	P	—		
01-04	Z	—	WD	P	NO	7'-0"	2'-10"	—	WD	P	—	—	WD	P	—		
01-05	Z	—	WD	P	NO	7'-0"	2'-10"	—	WD	P	—	—	WD	P	—		
01-06	Z	—	WD	P	NO	7'-0"	2'-10"	—	WD	P	—	—	WD	P	—		
01-07	Z	—	WD	P	NO	7'-0"	2'-10"	—	WD	P	—	—	WD	P	—		
01-08	D	—	WD	P	YES	7'-0"	6'-0"	—	WD	P	—	—	WD	P	—	EGRESS	
01-09	D	—	WD	P	YES	7'-0"	6'-0"	—	WD	P	—	—	WD	P	—	EGRESS	
01-10	Z	—	WD	P	NO	7'-0"	2'-10"	—	WD	P	—	—	WD	P	—		
01-11	Z	—	WD	P	NO	7'-0"	2'-10"	—	WD	P	—	—	WD	P	—		
01-12	Z	—	WD	P	NO	7'-0"	2'-10"	—	WD	P	—	—	WD	P	—		
01-13	Z	—	WD	P	NO	7'-0"	2'-10"	—	WD	P	—	—	WD	P	—		
C0.01-01	H	—	ALMN	P	NO	7'-0"	3'-0"	—	ALMN	P	—	—	—	P	—	RATED	
C0.02-01	H	—	ALMN	P	NO	7'-0"	3'-0"	—	ALMN	P	—	—	—	P	—	RATED	
G0-01	K	—	WD	P	NO	8'-0"	6'-0"	—	WD	P	—	—	WD	P	—	—	
C0.03-01	H	—	ALMN	P	NO	7'-0"	3'-0"	—	ALMN	P	—	—	—	P	—	RATED	
C0.04-01	I	—	ALMN	P	NO	7'-0"	6'-0"	—	ALMN	P	—	—	—	P	—	RATED	
C0.04-02	I	—	ALMN	P	NO	7'-0"	6'-0"	—	ALMN	P	—	—	—	P	—	RATED	
G0-02	J	—	IRON	—	NO	8-10"	16-0"	—	—	—	—	—	—	—	—	—	
G0-03	J	—	IRON	—	NO	8-10"	16-0"	—	—	—	—	—	—	—	—	—	
S0.01-01	I	—	ALMN	P	NO	7'-0"	6'-0"	—	ALMN	P	—	—	—	P	—	RATED	
C0.05-01	I	—	ALMN	P	NO	7'-0"	6'-0"	—	ALMN	P	—	—	—	P	—	RATED	
S3-01	H	—	ALMN	P	NO	7'-0"	3'-0"	—	ALMN	P	—	—	—	P	—	RATED	
S2-02	H	—	ALMN	P	NO	7'-0"	3'-0"	—	ALMN	P	—	—	—	P	—	RATED	
S1-02	H	—	ALMN	P	NO	7'-0"	3'-0"	—	ALMN	P	—	—	—	P	—	RATED	
G1-01	L	—	WD	P	NO	4'-0"	3'-0"	—	WD	P	—	—	WD	P	—	—	
02-01	F	—	WD	P	YES	7'-0"	3'-0"	—	WD	P	—	—	WD	P	—	EGRESS	
02-02	D	—	WD	P	YES	7'-0"	6'-0"	—	WD	P	—	—	WD	P	—	EGRESS	
02-03	E	—	WD	P	YES	7'-0"	3'-0"	—	WD	P	—	—	WD	P	—	EGRESS	
02-04	Z	—	WD	P	NO	7'-0"	2'-10"	—	WD	P	—	—	WD	P	—		
02-05	BB	—	WD	P	NO	7'-0"	6'-0"	—	WD	P	—	—	WD	P	—		
02-06	D	—	WD	P	YES	7'-0"	6'-0"	—	WD	P	—	—	WD	P	—		
02-07	Z	—	WD	P	NO	7'-0"	2'-10"	—	WD	P	—	—	WD	P	—		
02-08	BB	—	WD	P	NO	7'-0"	6'-0"	—	WD	P	—	—	WD	P	—		
02-09	Z	—	WD	P	NO	7'-0"	2'-10"	—	WD	P	—	—	WD	P	—		
02-10	Z	—	WD	P	NO	7'-0"	2'-10"	—	WD	P	—	—	WD	P	—		
02-11	BB	—	WD	P	NO	7'-0"	6'-0"	—	WD	P	—	—	WD	P	—		
02-12	Z	—	WD	P	NO	7'-0"	2'-10"	—	WD	P	—	—	WD	P	—		
02-13	Z	—	WD	P	NO	7'-0"	2'-10"	—	WD	P	—	—	WD	P	—		
02-14	Z	—	WD	P	NO	7'-0"	2'-10"	—	WD	P	—	—	WD	P	—		
02-15	BB	—	WD	P	NO	7'-0"	6'-0"	—	WD	P	—	—	WD	P	—		
03-01	F	—	WD	P	YES	7'-0"	3'-0"	—	WD	P	—	—	WD	P	—	EGRESS	
03-02	D	—	WD	P	YES	7'-0"	6'-0"	—	WD	P	—	—	WD	P	—	EGRESS	
03-03	Z	—	WD	P	NO	7'-0"	2'-10"	—	WD	P	—	—	WD	P	—		
03-04	BB	—	WD	P	NO	7'-0"	6'-0"	—	WD	P	—	—	WD	P	—		
03-05	Z	—	WD	P	NO	7'-0"	2'-10"	—	WD	P	—	—	WD	P	—		
03-06	Z	—	WD	P	NO	7'-0"	2'-10"	—	WD	P	—	—	WD	P	—		
03-07	BB	—	WD	P	NO	7'-0"	6'-0"	—	WD	P	—	—	WD	P	—		
03-08	BB	—	WD	P	NO	7'-0"	6'-0"	—	WD	P	—	—	WD	P	—		
03-09	BB	—	WD	P	NO	7'-0"	6'-0"	—	WD	P	—	—	WD	P	—		
03-10	Z	—	WD	P	NO	7'-0"	2'-10"	—	WD	P	—	—	WD	P	—		
03-11	Z	—	WD	P	NO	7'-0"	2'-10"	—	WD	P	—	—	WD	P	—		
04-01	F	—	WD	P	YES	7'-0"	3'-0"	—	WD	P	—	—	WD	P	—	EGRESS	
04-02	O	—	WD	P	YES	7'-0"	10'-4"	—	WD	P	—	—	WD	P	—	EGRESS	
04-03	E	—	WD	P	YES	7'-0"	3'-0"	—	WD	P	—	—	WD	P	—	EGRESS	

ZONE 1 DOOR SCHEDULE																	
DOOR #	DOOR					FRAME					HARDWARE		TRIM			REMARKS	
	TYPE	RT'G LABEL	CONSTR.	FINISH	GLASS	HEAD HEIGHT	WIDTH	THRLD	FRAME MATERIAL	FINISH	HARDWARE NUMBER	ACCES.	MATERIAL	FINISH	TYPE		
04-04	Z	—	WD	P	NO	7'-0"	2'-10"	—	WD	P	—	—	WD	P	—		
04-05	BB	—	WD	P	NO	7'-0"	6'-0"	—	WD	P	—	—	WD	P	—		
04-06	Z	—	WD	P	NO	7'-0"	2'-10"	—	WD	P	—	—	WD	P	—		
04-07	Z	—	WD	P	NO	7'-0"	2'-10"	—	WD	P	—	—	WD	P	—		
04-08	BB	—	WD	P	NO	7'-0"	6'-0"	—	WD	P	—	—	WD	P	—		
04-09	BB	—	WD	P	NO	7'-0"	6'-0"	—	WD	P	—	—	WD	P	—		
04-10	BB	—	WD	P	NO	7'-0"	6'-0"	—	WD	P	—	—	WD	P	—		
04-11	Z	—	WD	P	NO	7'-0"	2'-10"	—	WD	P	—	—	WD	P	—		
04-12	Z	—	WD	P	NO	7'-0"	2'-10"	—	WD	P	—	—	WD	P	—		
04-13	Z	—	WD	P	NO	7'-0"	2'-10"	—	WD	P	—	—	WD	P	—		
G1-02	L	—	WD	P	NO	4'-0"	3'-0"	—	WD	P	—	—	WD	P	—	—	
G1-03	K	—	WD	P	NO	8'-0"	6'-0"	—	WD	P	—	—	WD	P	—	—	
05-01	F	—	WD	P	YES	7'-0"	3'-0"	—	WD	P	—	—	WD	P	—	EGRESS	
05-02	D	—	WD	P	YES	7'-0"	6'-0"	—	WD	P	—	—	WD	P	—	EGRESS	
05-03	Z	—	WD	P	NO	7'-0"	2'-10"	—	WD	P	—	—	WD	P	—		
05-04	BB	—	WD	P	NO	7'-0"	6'-0"	—	WD	P	—	—	WD	P	—		
05-05	E	—	WD	P	YES	7'-0"	3'-0"	—	WD	P	—	—	WD	P	—	EGRESS	
05-06	Z	—	WD	P	NO	7'-0"	2'-10"	—	WD	P	—	—	WD	P	—		
05-07	Z	—	WD	P	NO	7'-0"	2'-10"	—	WD	P	—	—	WD	P	—		
05-08	BB	—	WD	P	NO	7'-0"	6'-0"	—	WD	P	—	—	WD	P	—		
05-09	BB	—	WD	P	NO	7'-0"	6'-0"	—	WD	P	—	—	WD	P	—		
05-10	BB	—	WD	P	NO	7'-0"	6'-0"	—	WD	P	—	—	WD	P	—		
05-11	Z	—	WD	P	NO	7'-0"	2'-10"	—	WD	P	—	—	WD	P	—		
05-12	Z	—	WD	P	NO	7'-0"	2'-10"	—	WD	P	—	—	WD	P	—		
06-01	F	—	WD	P	YES	7'-0"	3'-0"	—	WD	P	—	—	WD	P	—	EGRESS	
06-02	D	—	WD	P	YES	7'-0"	6'-0"	—	WD	P	—	—	WD	P	—	EGRESS	
06-03	Z	—	WD	P	NO	7'-0"	2'-10"	—	WD	P	—	—	WD	P	—		
06-04	BB	—	WD	P	NO	7'-0"	6'-0"	—	WD	P	—	—	WD	P	—		
06-05	E	—	WD	P	YES	7'-0"	3'-0"	—	WD	P	—	—	WD	P	—	EGRESS	
06-06	Z	—	WD	P	NO	7'-0"	2'-10"	—	WD	P	—	—	WD	P	—		
06-07	Z	—	WD	P	NO	7'-0"	2'-10"	—	WD	P	—	—	WD	P	—		
06-08	BB	—	WD	P	NO	7'-0"	6'-0"	—	WD	P	—	—	WD	P	—		
06-09	Z	—	WD	P	NO	7'-0"	2'-10"	—	WD	P	—	—	WD	P	—		
06-10	Z	—	WD	P	NO	7'-0"	2'-10"	—	WD	P	—	—	WD	P	—		
06-11	Z	—	WD	P	NO	7'-0"	2'-10"	—	WD	P	—	—	WD	P	—		
06-12	BB	—	WD	P	NO	7'-0"	6'-0"	—	WD	P	—	—	WD	P	—		
06-13	Z	—	WD	P	NO	7'-0"	2'-10"	—	WD	P	—	—	WD	P	—		
06-14	BB	—	WD	P	NO	7'-0"	6'-0"	—	WD	P	—	—	WD	P	—		
07-01	F	—	WD	P	YES	7'-0"	3'-0"	—	WD	P	—	—	WD	P	—	EGRESS	
07-02	D	—	WD	P	YES	7'-0"	6'-0"	—	WD	P	—	—	WD	P	—	EGRESS	
07-03	E	—	WD	P	YES	7'-0"	3'-0"	—	WD	P	—	—	WD	P	—	EGRESS	
07-04	Z	—	WD	P	NO	7'-0"	2'-10"	—	WD	P	—	—	WD	P	—		
07-05	BB	—	WD	P	NO	7'-0"	6'-0"	—	WD	P	—	—	WD	P	—		
07-06	E	—	WD	P	YES	7'-0"	3'-0"	—	WD	P	—	—	WD	P	—	EGRESS	
07-07	Z	—	WD	P	NO	7'-0"	2'-10"	—	WD	P	—	—	WD	P	—		
07-08	Z	—	WD	P	NO	7'-0"	2'-10"	—	WD	P	—	—	WD	P	—		
07-09	BB	—	WD	P	NO	7'-0"	6'-0"	—	WD	P	—	—	WD	P	—		
07-10	BB	—	WD	P	NO	7'-0"	6'-0"	—	WD	P	—	—	WD	P	—		
07-11	BB	—	WD	P	NO	7'-0"	6'-0"	—	WD	P	—	—	WD	P	—		
07-12	Z	—	WD	P	NO	7'-0"	2'-10"	—	WD	P	—	—	WD	P	—		
07-13	Z	—	WD	P	NO	7'-0"	2'-10"	—	WD	P	—	—	WD	P	—		
07-14	Z	—	WD	P	NO	7'-0"	2'-10"	—	WD	P	—	—	WD	P	—		
07-15	Z	—	WD	P	NO	7'-0"	2'-10"	—	WD	P	—	—	WD	P	—		
07-16	Z	—	WD	P	NO	7'-0"	2'-10"	—	WD	P	—	—	WD	P	—		
07-17	O	—	WD	P	YES	7'-0"	10'-4"	—	WD	P	—	—	WD	P	—	EGRESS	
G1-04	L	—	WD	P	NO	4'-0"	3'-0"	—	WD	P	—	—	WD	P	—	—	
G1-05	L	—	WD	P	NO	4'-0"	3'-0"	—	WD	P	—	—	WD	P	—	—	
08-01	F	—	WD	P	YES	7'-0"	3'-0"	—	WD	P	—	—	WD	P	—	EGRESS	
08-02	D	—	WD	P	YES	7'-0"	6'-0"	—	WD	P	—	—	WD	P	—	EGRESS	
08-03	E	—	WD	P	YES	7'-0"	3'-0"	—	WD	P	—	—	WD	P	—	EGRESS	
08-04	Z	—	WD	P	NO	7'-0"	2'-10"	—	WD	P	—	—	WD	P	—		
08-05	BB	—	WD	P	NO	7'-0"	6'-0"	—	WD	P	—	—	WD	P	—		
08-06	Z	—	WD	P	NO	7'-0"	2'-10"	—	WD	P	—	—	WD	P	—		
08-07	Z	—	WD	P	NO	7'-0"	2'-10"	—	WD	P	—	—	WD	P	—		
08-08	BB	—	WD	P	NO	7'-0"	6'-0"	—	WD	P	—	—	WD	P	—		
08-09	BB	—	WD	P	NO	7'-0"	6'-0"	—	WD	P	—	—	WD	P	—		
08-10	BB	—	WD	P	NO	7'-0"	6'-0"	—	WD	P	—	—	WD	P	—		
08-11	Z	—	WD	P	NO	7'-0"	2'-10"	—	WD	P	—	—	WD	P	—		
08-12	Z	—	WD	P	NO	7'-0"	2'-10"	—	WD	P	—	—	WD	P	—		

Seven Patios
899 El Centro St. South Pasadena, CA
09/04/2020

Door Schedule

WD	P	—	EGRESS
WD	P	—	
WD	P	—	
WD	P	—	
WD	P	—	
WD	<input type="checkbox"/> P		BY THE PLANNING DIRECTOR
WD	<input type="checkbox"/> P		BY THE CULTURAL HERITAGE COMMISSION
WD	<input type="checkbox"/> P		BY THE DESIGN REVIEW BOARD
WD	<input checked="" type="checkbox"/> P		BY THE PLANNING COMMISSION
WD	<input type="checkbox"/> P		BY THE CITY COUNCIL

FOR THE CITY OF SOUTH PASADENA ON Nov. 17, 2020

APPLICATION NO: Project No. 2171-CUP/DRX/TTM/TRP

PLANNER: Kamkapfili

NOTES: MOULE & POLYZOIDES
Seven Patios Mixed-Use Residential & Commercial

A7.02

ZONE 1 DOOR SCHEDULE																
DOOR #	DOOR					FRAME					HARDWARE		TRIM			REMARKS
	TYPE	RT'G LABEL	CONSTR.	FINISH	GLASS	HEAD HEIGHT	WIDTH	THRLD	FRAME MATERIAL	FINISH	HARDWARE NUMBER	ACCES.	MATERIAL	FINISH	TYPE	
08-13	Z	-	WD	P	NO	7'-0"	2'-10"	-	WD	P	-	-	WD	P	-	
08-14	Z	-	WD	P	NO	7'-0"	2'-10"	-	WD	P	-	-	WD	P	-	
G1-06	L	-	WD	P	NO	4'-0"	3'-0"	-	WD	P	-	-	WD	P	-	-
09-01	F	-	WD	P	YES	7'-0"	3'-0"	-	WD	P	-	-	WD	P	-	EGRESS
09-02	Q	-	WD	P	YES	9'-6"	6'-0"	-	WD	P	-	-	WD	P	-	EGRESS
09-03	E	-	WD	P	YES	7'-0"	3'-0"	-	WD	P	-	-	WD	P	-	EGRESS
09-04	Z	-	WD	P	NO	7'-0"	2'-10"	-	WD	P	-	-	WD	P	-	
09-05	BB	-	WD	P	NO	7'-0"	6'-0"	-	WD	P	-	-	WD	P	-	
09-06	Z	-	WD	P	NO	7'-0"	2'-10"	-	WD	P	-	-	WD	P	-	
09-07	BB	-	WD	P	NO	7'-0"	6'-0"	-	WD	P	-	-	WD	P	-	
09-08	BB	-	WD	P	NO	7'-0"	6'-0"	-	WD	P	-	-	WD	P	-	
09-09	BB	-	WD	P	NO	7'-0"	6'-0"	-	WD	P	-	-	WD	P	-	
09-10	Z	-	WD	P	NO	7'-0"	2'-10"	-	WD	P	-	-	WD	P	-	
09-11	Z	-	WD	P	NO	7'-0"	2'-10"	-	WD	P	-	-	WD	P	-	
09-12	Z	-	WD	P	NO	7'-0"	2'-10"	-	WD	P	-	-	WD	P	-	
10-01	F	-	WD	P	YES	7'-0"	3'-0"	-	WD	P	-	-	WD	P	-	EGRESS
10-02	Q	-	WD	P	YES	9'-6"	6'-0"	-	WD	P	-	-	WD	P	-	EGRESS
10-03	E	-	WD	P	YES	7'-0"	3'-0"	-	WD	P	-	-	WD	P	-	EGRESS
10-04	Z	-	WD	P	NO	7'-0"	2'-10"	-	WD	P	-	-	WD	P	-	
10-05	Z	-	WD	P	NO	7'-0"	2'-10"	-	WD	P	-	-	WD	P	-	
10-06	Z	-	WD	P	NO	7'-0"	2'-10"	-	WD	P	-	-	WD	P	-	
10-07	Z	-	WD	P	NO	7'-0"	2'-10"	-	WD	P	-	-	WD	P	-	
10-08	BB	-	WD	P	NO	7'-0"	6'-0"	-	WD	P	-	-	WD	P	-	
10-09	BB	-	WD	P	NO	7'-0"	6'-0"	-	WD	P	-	-	WD	P	-	
10-10	BB	-	WD	P	NO	7'-0"	6'-0"	-	WD	P	-	-	WD	P	-	
10-11	Z	-	WD	P	NO	7'-0"	2'-10"	-	WD	P	-	-	WD	P	-	
10-12	Z	-	WD	P	NO	7'-0"	2'-10"	-	WD	P	-	-	WD	P	-	
10-13	Z	-	WD	P	NO	7'-0"	2'-10"	-	WD	P	-	-	WD	P	-	
G1-07	L	-	WD	P	NO	4'-0"	3'-0"	-	WD	P	-	-	WD	P	-	-
11-01	F	-	WD	P	YES	7'-0"	3'-0"	-	WD	P	-	-	WD	P	-	EGRESS
11-02	D	-	WD	P	YES	7'-0"	6'-0"	-	WD	P	-	-	WD	P	-	EGRESS
11-03	Z	-	WD	P	NO	7'-0"	2'-10"	-	WD	P	-	-	WD	P	-	
11-04	Z	-	WD	P	NO	7'-0"	2'-10"	-	WD	P	-	-	WD	P	-	
12-01	F	-	WD	P	YES	7'-0"	3'-0"	-	WD	P	-	-	WD	P	-	EGRESS
12-02	D	-	WD	P	YES	7'-0"	6'-0"	-	WD	P	-	-	WD	P	-	EGRESS
12-03	Z	-	WD	P	NO	7'-0"	2'-10"	-	WD	P	-	-	WD	P	-	
12-04	Z	-	WD	P	NO	7'-0"	2'-10"	-	WD	P	-	-	WD	P	-	
12-05	Z	-	WD	P	NO	7'-0"	2'-10"	-	WD	P	-	-	WD	P	-	
12-06	Z	-	WD	P	NO	7'-0"	2'-10"	-	WD	P	-	-	WD	P	-	
13-01	F	-	WD	P	YES	7'-0"	3'-0"	-	WD	P	-	-	WD	P	-	EGRESS
13-02	Q	-	WD	P	YES	9'-6"	6'-0"	-	WD	P	-	-	WD	P	-	EGRESS
13-03	Z	-	WD	P	NO	7'-0"	2'-10"	-	WD	P	-	-	WD	P	-	
13-04	Z	-	WD	P	NO	7'-0"	2'-10"	-	WD	P	-	-	WD	P	-	
13-05	Z	-	WD	P	NO	7'-0"	2'-10"	-	WD	P	-	-	WD	P	-	
14-01	F	-	WD	P	YES	7'-0"	3'-0"	-	WD	P	-	-	WD	P	-	EGRESS
14-02	D	-	WD	P	YES	7'-0"	6'-0"	-	WD	P	-	-	WD	P	-	EGRESS
14-03	Z	-	WD	P	NO	7'-0"	2'-10"	-	WD	P	-	-	WD	P	-	
14-04	Z	-	WD	P	NO	7'-0"	2'-10"	-	WD	P	-	-	WD	P	-	
14-05	Z	-	WD	P	NO	7'-0"	2'-10"	-	WD	P	-	-	WD	P	-	
14-06	Z	-	WD	P	NO	7'-0"	2'-10"	-	WD	P	-	-	WD	P	-	
S4-01	H	-	ALMN	P	-	7'-0"	3'-0"	-	ALMN	P	-	-	-	P	-	RATED
G1.05-01	H	-	ALMN	P	-	7'-0"	3'-0"	-	ALMN	P	-	-	-	P	-	RATED
C1.05-02	H	-	ALMN	P	-	7'-0"	3'-0"	-	ALMN	P	-	-	-	P	-	RATED
C1.05-03	H	-	ALMN	P	-	7'-0"	3'-0"	-	ALMN	P	-	-	-	P	-	RATED
15-01	F	-	WD	P	YES	7'-0"	3'-0"	-	WD	P	-	-	WD	P	-	EGRESS
15-02	D	-	WD	P	YES	7'-0"	6'-0"	-	WD	P	-	-	WD	P	-	EGRESS
15-03	Z	-	WD	P	NO	7'-0"	2'-10"	-	WD	P	-	-	WD	P	-	
15-04	Z	-	WD	P	NO	7'-0"	2'-10"	-	WD	P	-	-	WD	P	-	
15-05	Z	-	WD	P	NO	7'-0"	2'-10"	-	WD	P	-	-	WD	P	-	
15-06	Z	-	WD	P	NO	7'-0"	2'-10"	-	WD	P	-	-	WD	P	-	
15-07	Z	-	WD	P	NO	7'-0"	2'-10"	-	WD	P	-	-	WD	P	-	
16-01	F	-	WD	P	YES	7'-0"	3'-0"	-	WD	P	-	-	WD	P	-	EGRESS
16-02	D	-	WD	P	YES	7'-0"	6'-0"	-	WD	P	-	-	WD	P	-	EGRESS
16-03	D	-	WD	P	YES	7'-0"	6'-0"	-	WD	P	-	-	WD	P	-	EGRESS
16-04	Z	-	WD	P	NO	7'-0"	2'-10"	-	WD	P	-	-	WD	P	-	

ZONE 1 DOOR SCHEDULE																
DOOR #	DOOR					FRAME					HARDWARE		TRIM			REMARKS
	TYPE	RT'G LABEL	CONSTR.	FINISH	GLASS	HEAD HEIGHT	WIDTH	THRLD	FRAME MATERIAL	FINISH	HARDWARE NUMBER	ACCES.	MATERIAL	FINISH	TYPE	
16-05	Z	-	WD	P	NO	7'-0"	2'-10"	-	WD	P	-	-	WD	P	-	
16-06	Z	-	WD	P	NO	7'-0"	2'-10"	-	WD	P	-	-	WD	P	-	
17-01	F	-	WD	P	YES	7'-0"	3'-0"	-	WD	P	-	-	WD	P	-	EGRESS
17-02	D	-	WD	P	YES	7'-0"	6'-0"	-	WD	P	-	-	WD	P	-	EGRESS
17-03	Z	-	WD	P	NO	7'-0"	2'-10"	-	WD	P	-	-	WD	P	-	
17-04	Z	-	WD	P	NO	7'-0"	2'-10"	-	WD	P	-	-	WD	P	-	
17-05	Z	-	WD	P	NO	7'-0"	2'-10"	-	WD	P	-	-	WD	P	-	
17-06	Z	-	WD	P	NO	7'-0"	2'-10"	-	WD	P	-	-	WD	P	-	
17-07	Z	-	WD	P	NO	7'-0"	2'-10"	-	WD	P	-	-	WD	P	-	
17-08	Z	-	WD	P	NO	7'-0"	2'-10"	-	WD	P	-	-	WD	P	-	
17-09	Z	-	WD	P	NO	7'-0"	2'-10"	-	WD	P	-	-	WD	P	-	
C1.06-01	D	-	WD	P	YES	7'-0"	6'-0"	-	WD	P	-	-	WD	P	-	EGRESS
C1.06-02	E	-	WD	P	YES	7'-0"	3'-0"	-	WD	P	-	-	WD	P	-	EGRESS
C1.06-03	E	-	WD	P	YES	7'-0"	3'-0"	-	WD	P	-	-	WD	P	-	EGRESS
18-01	F	-	WD	P	YES	7'-0"	3'-0"	-	WD	P	-	-	WD	P	-	EGRESS
18-02	D	-	WD	P	YES	7'-0"	6'-0"	-	WD	P	-	-	WD	P	-	EGRESS
18-03	Z	-	WD	P	NO	7'-0"	2'-10"	-	WD	P	-	-	WD	P	-	
18-04	Z	-	WD	P	NO	7'-0"	2'-10"	-	WD	P	-	-	WD	P	-	
18-05	BB	-	WD	P	NO	7'-0"	6'-0"	-	WD	P	-	-	WD	P	-	
19-01	F	-	WD	P	YES	7'-0"	3'-0"	-	WD	P	-	-	WD	P	-	EGRESS
19-02	D	-	WD	P	YES	7'-0"	6'-0"	-	WD	P	-	-	WD	P	-	EGRESS
19-03	Z	-	WD	P	NO	7'-0"	2'-10"	-	WD	P	-	-	WD	P	-	
19-04	Z	-	WD	P	NO	7'-0"	2'-10"	-	WD	P	-	-	WD	P	-	
19-05	Z	-	WD	P	NO	7'-0"	2'-10"	-	WD	P	-	-	WD	P	-	
19-06	Z	-	WD	P	NO	7'-0"	2'-10"	-	WD	P	-	-	WD	P	-	
19-07	Z	-	WD	P	NO	7'-0"	2'-10"	-	WD	P	-	-	WD	P	-	
C1.07-01	D	-	WD	P	YES	7'-0"	6'-0"	-	WD	P	-	-	WD	P	-	EGRESS
C1.08-01	D	-	WD	P	YES	7'-0"	6'-0"	-	WD	P	-	-	WD	P	-	EGRESS
S3-02	H	-	ALMN	P	NO	7'-0"	3'-0"	-	ALMN	P	-	-	-	P	-	RATED
20-01	S	-	WD	P	YES	9'-8"	10'-4"	-	WD	P	-	-	WD	P	-	EGRESS
20-02	Z	-	WD	P	NO	7'-0"	2'-10"	-	WD	P	-	-	WD	P	-	
20-03	Z	-	WD	P	NO	7'-0"	2'-10"	-	WD	P	-	-	WD	P	-	
21-01	S	-	WD	P	YES	9'-8"	10'-4"	-	WD	P	-	-	WD	P	-	EGRESS
21-02	Z	-	WD	P	NO	7'-0"	2'-10"	-	WD	P	-	-	WD	P	-	
21-03	Z	-	WD	P	NO	7'-0"	2'-10"	-	WD	P	-	-	WD	P	-	
21-04	Z	-	WD	P	NO	7'-0"	2'-10"	-	WD	P	-	-	WD	P	-	
21-05	Z	-	WD	P	NO	7'-0"	2'-10"	-	WD	P	-	-	WD	P	-	
21-06	Z	-	WD	P	NO	7'-0"	2'-10"	-	WD	P	-	-	WD	P	-	
S2-02	H	-	ALMN	P	NO	7'-0"	3'-0"	-	ALMN	P	-	-	-	P	-	RATED
C1.09-01	H	-	ALMN	P	NO	7'-0"	3'-0"	-	ALMN	P	-	-	-	P	-	RATED
G1-08	L	-	WD	P	NO	4'-0"	3'-0"	-	WD	P	-	-	WD	P	-	-
G1-09	L	-	WD	P	NO	4'-0"	3'-0"	-	WD	P	-	-	WD	P	-	-
S1-03	H	-	ALMN	P	NO	7'-0"	3'-0"	-	ALMN	P	-	-	-	P	-	RATED
S1-04	H	-	ALMN	P	NO	7'-0"	3'-0"	-	ALMN	P	-	-	-	P	-	RATED
22-01	A	-	WD	P	YES	7'-4"	6'-0"	-	WD	P	-	-	WD	P	-	EGRESS
22-02	X	-	WD	P	NO	7'-0"	3'-0"	-	WD	P	-	-	WD	P	-	EGRESS
22-03	Z	-	WD	P	NO	7'-0"	2'-10"	-	WD	P	-	-	WD	P	-	
23-01	A	-	WD	P	YES	7'-4"	6'-0"	-	WD	P	-	-	WD	P	-	EGRESS
23-02	X	-	WD	P	NO	7'-0"	3'-0"	-	WD	P	-	-	WD	P	-	EGRESS
23-03	Z	-	WD	P	NO	7'-0"	2'-10"	-	WD	P	-	-	WD	P	-	
G1-10	K	-	WD	P	NO	8'-0"	6'-0"	-	WD	P	-	-	WD	P	-	-
24-01	B	-	IRON	-	YES	8'-0"	6'-0"	-	WD	P	-	-	WD	P	-	EGRESS
24-02	B	-	IRON	-	YES	8'-0"	6'-0"	-	WD	P	-	-	WD	P	-	EGRESS
24-03	X	-	WD	P	NO	7'-0"	3'-0"	-	WD	P	-	-	WD	P	-	EGRESS
24-04	Z	-	WD	P	NO	7'-0"	2'-10"	-	WD	P	-	-	WD	P	-	EGRESS
R1.01-01	B	-	IRON	-	YES	8'-0"	6'-0"	-	WD	P	-	-	WD	P	-	EGRESS
G2-11	L	-	WD	P	NO	4'-0"	3'-0"	-	WD	P	-	-	WD	P	-	EGRESS

Door Schedule

ZONE 2 DOOR SCHEDULE																
DOOR #	DOOR					FRAME					HARDWARE		TRIM			REMARKS
	TYPE	RT'G LABEL	CONSTR.	FINISH	GLASS	HEAD HEIGHT	WIDTH	THRLD	FRAME MATERIAL	FINISH	HARDWARE NUMBER	ACCES.	MATERIAL	FINISH	TYPE	
01-01	H	—	ALMN	P	NO	7'-0"	3'-0"	—	ALMN	P	—	—	—	P	—	RATED
01-02	Z	—	WD	P	NO	6'-8"	2'-10"	—	WD	P	—	—	WD	P	—	
01-03	Z	—	WD	P	NO	6'-8"	2'-10"	—	WD	P	—	—	WD	P	—	
01-04	Z	—	WD	P	NO	6'-8"	2'-10"	—	WD	P	—	—	WD	P	—	
01-05	Z	—	WD	P	NO	6'-8"	2'-6"	—	WD	P	—	—	WD	P	—	
01-06	AA	—	ALMN	P	NO	8'-10"	9'-0"	—	ALMN	P	—	—	—	P	—	RATED
01-07	AA	—	ALMN	P	NO	8'-10"	16'-0"	—	ALMN	P	—	—	—	P	—	RATED
01-08	G	—	WD	P	YES	7'-0"	9'-2"	—	WD	P	—	—	WD	P	—	EGRESS
01-09	D	—	WD	P	YES	7'-0"	6'-0"	—	WD	P	—	—	WD	P	—	EGRESS
01-10	R	—	WD	P	YES	7'-0"	3'-0"	—	WD	P	—	—	WD	P	—	EGRESS
01-11	BB	—	WD	P	NO	7'-0"	5'-0"	—	WD	P	—	—	WD	P	—	
01-12	Z	—	WD	P	NO	7'-0"	2'-10"	—	WD	P	—	—	WD	P	—	
01-13	Z	—	WD	P	NO	7'-0"	2'-10"	—	WD	P	—	—	WD	P	—	
01-14	BB	—	WD	P	NO	7'-0"	5'-0"	—	WD	P	—	—	WD	P	—	
01-15	R	—	WD	P	YES	7'-0"	3'-0"	—	WD	P	—	—	WD	P	—	EGRESS
01-16	Z	—	WD	P	NO	6'-8"	2-8"	—	WD	P	—	—	WD	P	—	
01-17	Z	—	WD	P	NO	6'-8"	2-8"	—	WD	P	—	—	WD	P	—	
01-18	Z	—	WD	P	NO	6'-8"	2-8"	—	WD	P	—	—	WD	P	—	
01-19	Z	—	WD	P	NO	6'-8"	2-8"	—	WD	P	—	—	WD	P	—	
01-20	R	—	WD	P	YES	6'-8"	3'-0"	—	WD	P	—	—	WD	P	—	EGRESS
01-21	Z	—	WD	P	NO	6'-8"	2-8"	—	WD	P	—	—	WD	P	—	
01-22	Z	—	WD	P	NO	6'-8"	2-8"	—	WD	P	—	—	WD	P	—	
01-23	Z	—	WD	P	NO	6'-8"	2-8"	—	WD	P	—	—	WD	P	—	
01-24	Z	—	WD	P	NO	6'-8"	2-8"	—	WD	P	—	—	WD	P	—	
01-25	Z	—	WD	P	NO	6'-8"	2-8"	—	WD	P	—	—	WD	P	—	
02-01	H	—	ALMN	P	NO	7'-0"	3'-0"	—	ALMN	P	—	—	—	P	—	RATED
02-02	AA	—	ALMN	P	NO	8'-10"	16'-0"	—	ALMN	P	—	—	—	P	—	RATED
02-03	AA	—	ALMN	P	NO	8'-10"	16'-0"	—	ALMN	P	—	—	—	P	—	RATED
02-04	H	—	ALMN	P	NO	7'-0"	3'-0"	—	ALMN	P	—	—	—	P	—	RATED
02-05	Z	—	WD	P	NO	7'-0"	2'-10"	—	WD	P	—	—	WD	P	—	
02-06	Z	—	WD	P	NO	7'-0"	2'-10"	—	WD	P	—	—	WD	P	—	
02-07	Z	—	WD	P	NO	7'-0"	2'-10"	—	WD	P	—	—	WD	P	—	
02-08	G	—	WD	P	YES	7'-0"	9'-2"	—	WD	P	—	—	WD	P	—	EGRESS
02-09	D	—	WD	P	YES	7'-0"	6'-0"	—	WD	P	—	—	WD	P	—	EGRESS
02-10	D	—	WD	P	YES	7'-0"	6'-0"	—	WD	P	—	—	WD	P	—	EGRESS
02-11	D	—	WD	P	YES	7'-0"	6'-0"	—	WD	P	—	—	WD	P	—	EGRESS
02-12	Z	—	WD	P	NO	7'-0"	2'-10"	—	WD	P	—	—	WD	P	—	
02-13	Z	—	WD	P	NO	7'-0"	2'-10"	—	WD	P	—	—	WD	P	—	
02-14	Z	—	WD	P	NO	7'-0"	2'-10"	—	WD	P	—	—	WD	P	—	
02-15	Z	—	WD	P	NO	7'-0"	2'-10"	—	WD	P	—	—	WD	P	—	
02-16	R	—	WD	P	YES	7'-0"	3'-0"	—	WD	P	—	—	WD	P	—	EGRESS
02-17	Z	—	WD	P	NO	6'-8"	2-8"	—	WD	P	—	—	WD	P	—	
02-18	Z	—	WD	P	NO	6'-8"	2-8"	—	WD	P	—	—	WD	P	—	
02-19	Z	—	WD	P	NO	6'-8"	2-8"	—	WD	P	—	—	WD	P	—	
02-20	Z	—	WD	P	NO	6'-8"	2-8"	—	WD	P	—	—	WD	P	—	
02-21	Z	—	WD	P	NO	6'-8"	2-8"	—	WD	P	—	—	WD	P	—	
02-22	Z	—	WD	P	NO	6'-8"	2-8"	—	WD	P	—	—	WD	P	—	
02-23	Z	—	WD	P	NO	6'-8"	2-8"	—	WD	P	—	—	WD	P	—	
02-24	Z	—	WD	P	NO	6'-8"	2-8"	—	WD	P	—	—	WD	P	—	
02-25	Z	—	WD	P	NO	6'-8"	2-8"	—	WD	P	—	—	WD	P	—	
03-01	H	—	ALMN	P	NO	7'-0"	3'-0"	—	ALMN	P	—	—	—	P	—	RATED
03-02	AA	—	ALMN	P	NO	8'-10"	16'-0"	—	ALMN	P	—	—	—	P	—	RATED
03-03	BB	—	WD	P	NO	7'-0"	5'-0"	—	WD	P	—	—	WD	P	—	
03-03	Z	—	WD	P	NO	7'-0"	2'-10"	—	WD	P	—	—	WD	P	—	
03-04	Z	—	WD	P	NO	7'-0"	2'-10"	—	WD	P	—	—	WD	P	—	
03-05	Z	—	WD	P	NO	7'-0"	2'-6"	—	WD	P	—	—	WD	P	—	
03-06	G	—	WD	P	YES	7'-0"	9'-2"	—	WD	P	—	—	WD	P	—	EGRESS
03-07	D	—	WD	P	YES	7'-0"	6'-0"	—	WD	P	—	—	WD	P	—	EGRESS
03-08	D	—	WD	P	YES	7'-0"	6'-0"	—	WD	P	—	—	WD	P	—	EGRESS
03-09	D	—	WD	P	YES	7'-0"	6'-0"	—	WD	P	—	—	WD	P	—	EGRESS
03-10	D	—	WD	P	YES	7'-0"	6'-0"	—	WD	P	—	—	WD	P	—	EGRESS
03-11	BB	—	WD	P	NO	7'-0"	5'-0"	—	WD	P	—	—	WD	P	—	
03-12	Z	—	WD	P	NO	7'-0"	2'-10"	—	WD	P	—	—	WD	P	—	
03-13	Z	—	WD	P	NO	7'-0"	2'-10"	—	WD	P	—	—	WD	P	—	
03-14	BB	—	WD	P	NO	7'-0"	5'-0"	—	WD	P	—	—	WD	P	—	
03-15	D	—	WD	P	YES	7'-0"	6'-0"	—	WD	P	—	—	WD	P	—	EGRESS
03-16	Z	—	WD	P	NO	6'-8"	2-8"	—	WD	P	—	—	WD	P	—	
03-17	Z	—	WD	P	NO	6'-8"	2-8"	—	WD	P	—	—	WD	P	—	
03-18	Z	—	WD	P	NO	6'-8"	2-8"	—	WD	P	—	—	WD	P	—	
03-19	Z	—	WD	P	NO	6'-8"	2-8"	—	WD	P	—	—	WD	P	—	
03-20	BB	—	WD	P	NO	6'-8"	5'-0"	—	WD	P	—	—	WD	P	—	
03-21	Z	—	WD	P	NO	6'-8"	2-8"	—	WD	P	—	—	WD	P	—	

APPROVED

☐

By the Planning Director

☐

By the Cultural Heritage Commission

☐

By the Design Review Board

☒

By the Planning Commission

☐

By the City Council

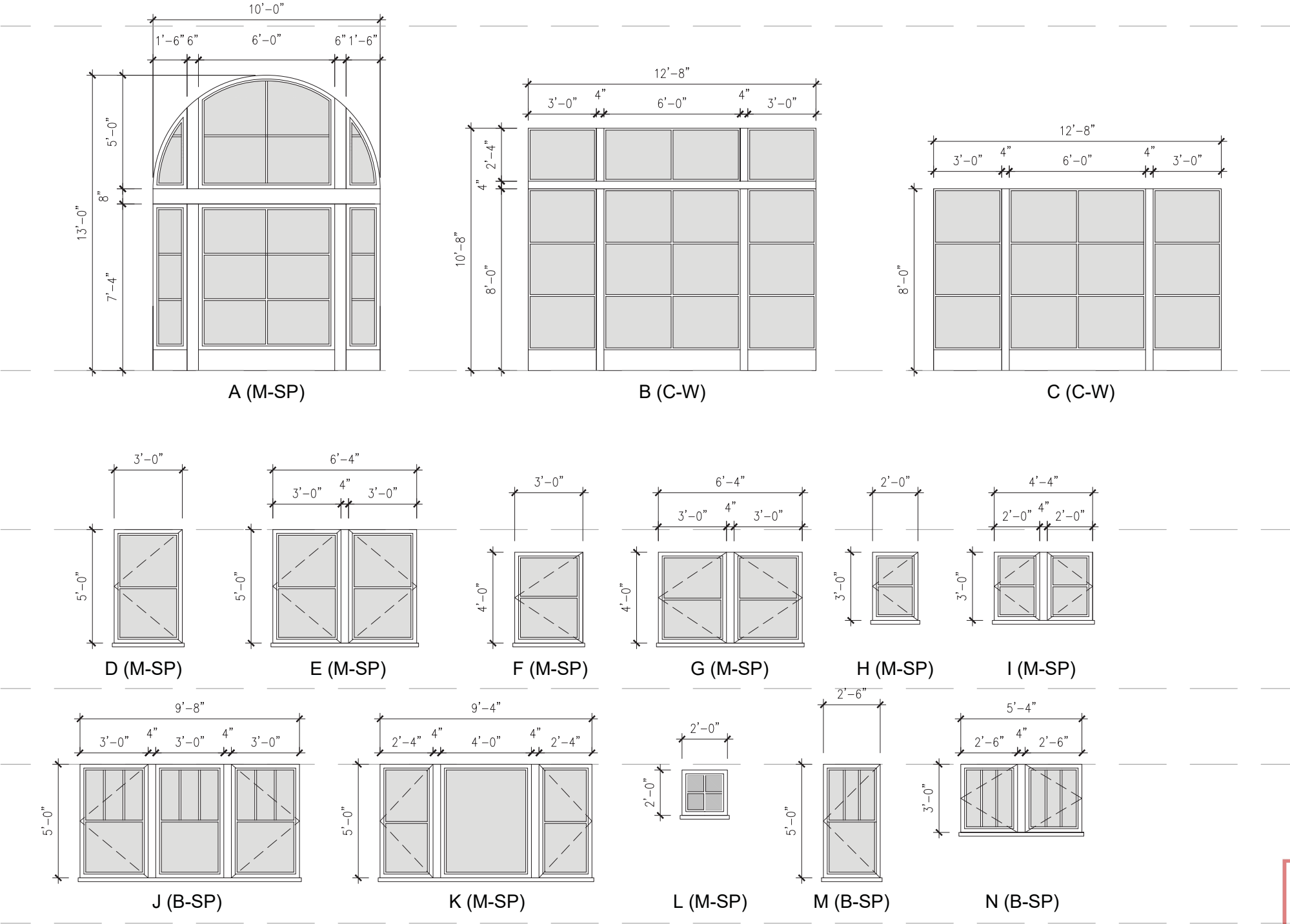
FOR THE CITY OF SOUTH PASADENA ON Nov. 17, 2020

APPLICATION NO: Project No. 2171-CUP/DRX/TTM/TRP

PLANNER: *Kanifabik*

MOULE & POLYZOIDES
NOTES: Seven Patios Mixed Use Residential & Commercial

A7.06



C - COMMERCIAL
M - MEDITERRANEAN
B - BUNGALOW

S - SIERRA PACIFIC
W - WAUSAU

Seven Patios
899 El Centro St. South Pasadena, CA
04/15/2019

Window Types

APPROVED

☐ BY THE PLANNING DIRECTOR

☐ BY THE CULTURAL HERITAGE COMMISSION

☐ BY THE DESIGN REVIEW BOARD

☒ BY THE PLANNING COMMISSION

☐ BY THE CITY COUNCIL

FOR THE CITY OF SOUTH PASADENA ON Nov. 17, 2020

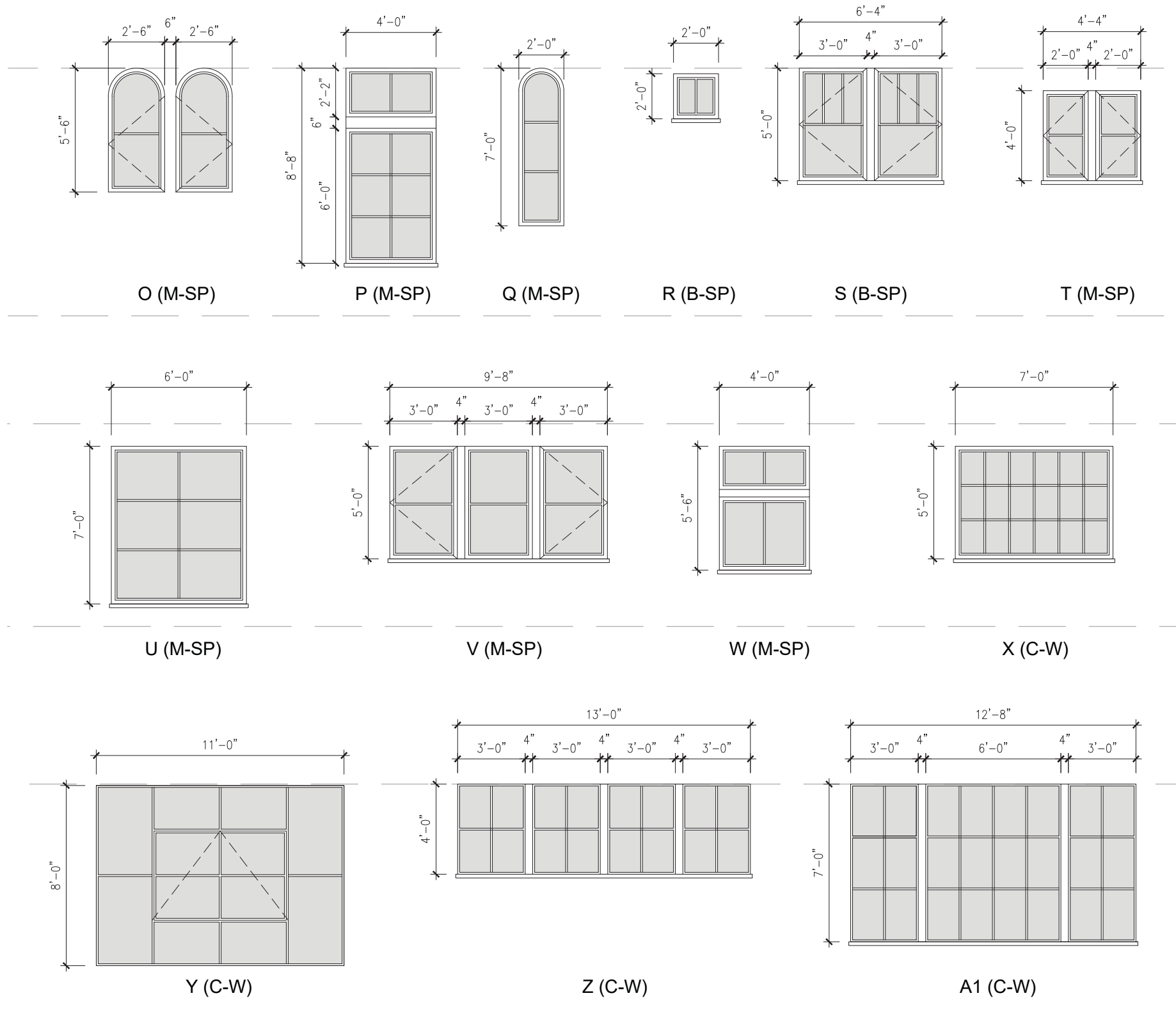
APPLICATION NO: Project No. 2171-CUP/DRX/TTM/TRP

PLANNER: Kanifabik

NOTES: Seven Patios Mixed-Use Residential & Commercial

MOULE & POLYZOIDES

A7.07



C - COMMERCIAL
M - MEDITERRANEAN
B - BUNGALOW

S - SIERRA PACIFIC
W - WAUSAU

Seven Patios
899 El Centro St. South Pasadena, CA
04/15/2019

Window Types

APPROVED

☐ BY THE PLANNING DIRECTOR
☐ BY THE CULTURAL HERITAGE COMMISSION
☐ BY THE DESIGN REVIEW BOARD
☒ BY THE PLANNING COMMISSION
☐ BY THE CITY COUNCIL

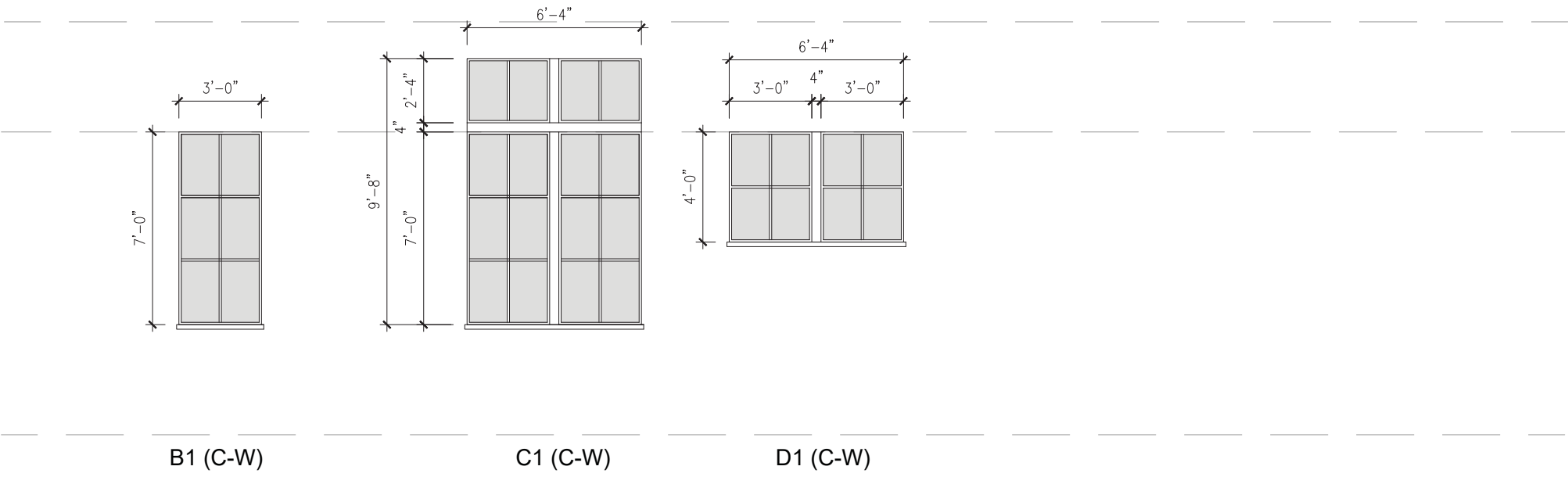
FOR THE CITY OF SOUTH PASADENA ON Nov. 17, 2020

APPLICATION NO: Project No. 2171-CUP/DRX/TTM/TRP

PLANNER: Kamifabik

NOTES: MOULE & POLYZOIDES
Seven Patios Mixed-Use Residential & Commercial

A7.08



C - COMMERCIAL
M - MEDITERRANEAN
B - BUNGALOW

S - SIERRA PACIFIC
W - WAUSAU

Seven Patios
899 El Centro St. South Pasadena, CA
04/15/2019

Window Schedule

APPROVED

☐ BY THE PLANNING DIRECTOR

☐ BY THE CULTURAL HERITAGE COMMISSION

☐ BY THE DESIGN REVIEW BOARD

☒ BY THE PLANNING COMMISSION

☐ BY THE CITY COUNCIL

FOR THE CITY OF SOUTH PASADENA ON Nov. 17, 2020

APPLICATION NO: Project No. 2171-CUP/DRX/TTM/TRP

PLANNER: Kamifabik

NOTES: MOULE & POLYZOIDES
Seven Patios Mixed-Use Residential & Commercial

A7.09

PROJECT 1 WINDOW SCHEDULE																	
WINDOW #	WINDOW					FRAME							TRIM		WALL TYPE		REMARKS
	TYPE	RT'G LABEL	CONSTR.	FINISH	GLASS	HEAD HEIGHT	WINDOW HEIGHT	SILL WIDTH	FRAME MAT'L	FINISH	HRDW SET #	ACCESSIBLE	MAT'L	FINISH			
19-02	U	—	WD CLAD	P	GL-X	8'-0"	7-0"	6'-0"	WOOD	P	—		—	—	—		CASEMENT
19-03	G	—	WD CLAD	P	GL-X	6'-0"	4-0"	6'-4"	WOOD	P	—		—	—	—		CASEMENT
C1.08-01	K	—	WD CLAD	P	GL-X	7'-0"	5-0"	9-4"	WOOD	P	—		—	—	—		
C1.08-02	E	—	WD CLAD	P	GL-X	7'-0"	5-0"	6'-4"	WOOD	P	—		—	—	—		CASEMENT
20-01	G	—	WD CLAD	P	GL-X	6'-0"	4-0"	6'-4"	WOOD	P	—		—	—	—		CASEMENT
20-02	E	—	WD CLAD	P	GL-X	7'-0"	5-0"	6'-4"	WOOD	P	—		—	—	—		CASEMENT
21-01	E	—	WD CLAD	P	GL-X	7'-0"	5-0"	6'-4"	WOOD	P	—		—	—	—		CASEMENT
21-02	E	—	WD CLAD	P	GL-X	7'-0"	5-0"	6'-4"	WOOD	P	—		—	—	—		CASEMENT
21-03	E	—	WD CLAD	P	GL-X	7'-0"	5-0"	6'-4"	WOOD	P	—		—	—	—		CASEMENT
22-01	A	—	WD CLAD	P	GL-X	13'-0"	13'-0"	10'-0"	WOOD	P	—		—	—	—		FIXED
23-01	A	—	WD CLAD	P	GL-X	13'-0"	13'-0"	10'-0"	WOOD	P	—		—	—	—		FIXED
23-02	A	—	WD CLAD	P	GL-X	13'-0"	13'-0"	10'-0"	WOOD	P	—		—	—	—		FIXED
24-01	P	—	WD CLAD	P	GL-X	10'-0"	8'-8"	4'-0"	WOOD	P	—		—	—	—		FIXED
R1.01-01	B	—	IRON	P	GL-X	10'-8"	10-8"	12'-0"	IRON	P	—		—	—	—		FIXED
R1.01-02	B	—	IRON	P	GL-X	10'-8"	10-8"	12'-0"	IRON	P	—		—	—	—		FIXED
R1.01-03	B	—	IRON	P	GL-X	10'-8"	10-8"	12'-0"	IRON	P	—		—	—	—		FIXED
25-01	G	—	WD CLAD	P	GL-X	6'-0"	4-0"	6'-4"	WOOD	P	—		—	—	—		CASEMENT
25-02	F	—	WD CLAD	P	GL-X	6'-0"	4-0"	3'-0"	WOOD	P	—		—	—	—		CASEMENT
25-03	L	—	WD CLAD	P	GL-X	6'-9"	2-0"	2'-0"	WOOD	P	—		—	—	—		FIXED
25-04	H	—	WD CLAD	P	GL-X	6'-0"	3-0"	2'-0"	WOOD	P	—		—	—	—		CASEMENT
26-01	G	—	WD CLAD	P	GL-X	6'-0"	4-0"	6'-4"	WOOD	P	—		—	—	—		CASEMENT
26-02	G	—	WD CLAD	P	GL-X	6'-0"	4-0"	6'-4"	WOOD	P	—		—	—	—		CASEMENT
26-03	H	—	WD CLAD	P	GL-X	6'-0"	3-0"	2'-0"	WOOD	P	—		—	—	—		CASEMENT
26-04	L	—	VINYL	P	GL-X	6'-9"	2-0"	2'-0"	VINYL	P	—		—	—	—		FIXED
26-05	L	—	WD CLAD	P	GL-X	6'-9"	2-0"	2'-0"	WOOD	P	—		—	—	—		FIXED
26-06	L	—	WD CLAD	P	GL-X	6'-9"	2-0"	2'-0"	WOOD	P	—		—	—	—		FIXED
26-07	L	—	WD CLAD	P	GL-X	6'-9"	2-0"	2'-0"	WOOD	P	—		—	—	—		FIXED
27-01	G	—	WD CLAD	P	GL-X	6'-0"	4-0"	6'-4"	WOOD	P	—		—	—	—		CASEMENT
27-02	E	—	WD CLAD	P	GL-X	7'-0"	5-0"	6'-4"	WOOD	P	—		—	—	—		CASEMENT
27-03	E	—	WD CLAD	P	GL-X	7'-0"	5-0"	6'-4"	WOOD	P	—		—	—	—		CASEMENT
27-04	F	—	WD CLAD	P	GL-X	6'-0"	4-0"	3'-0"	WOOD	P	—		—	—	—		CASEMENT
28-01	P	—	WD CLAD	P	GL-X	9'-0"	4-0"	0'-4"	WOOD	P	—		—	—	—		FIXED
28-02	P	—	WD CLAD	P	GL-X	9'-0"	4-0"	0'-4"	WOOD	P	—		—	—	—		FIXED
28-03	G	—	WD CLAD	P	GL-X	6'-0"	4-0"	6'-4"	WOOD	P	—		—	—	—		CASEMENT
29-01	G	—	WD CLAD	P	GL-X	6'-0"	4-0"	6'-4"	WOOD	P	—		—	—	—		CASEMENT
29-02	F	—	WD CLAD	P	GL-X	6'-0"	4-0"	3'-0"	WOOD	P	—		—	—	—		CASEMENT
29-03	L	—	VINYL	P	GL-X	6'-9"	2-0"	2'-0"	VINYL	P	—		—	—	—		FIXED
29-04	L	—	WD CLAD	P	GL-X	6'-9"	2-0"	2'-0"	WOOD	P	—		—	—	—		FIXED
29-05	L	—	WD CLAD	P	GL-X	6'-9"	2-0"	2'-0"	WOOD	P	—		—	—	—		FIXED
29-06	G	—	WD CLAD	P	GL-X	6'-0"	4-0"	6'-4"	WOOD	P	—		—	—	—		CASEMENT
29-07	E	—	WD CLAD	P	GL-X	7'-0"	5-0"	6'-4"	WOOD	P	—		—	—	—		CASEMENT
29-08	L	—	WD CLAD	P	GL-X	6'-9"	2-0"	2'-0"	WOOD	P	—		—	—	—		FIXED
31-01	L	—	VINYL	P	GL-X	6'-9"	2-0"	2'-0"	VINYL	P	—		—	—	—		FIXED
31-02	F	—	WD CLAD	P	GL-X	6'-0"	4-0"	3'-0"	WOOD	P	—		—	—	—		CASEMENT
31-03	P	—	WD CLAD	P	GL-X	9'-0"	4-0"	4'-0"	WOOD	P	—		—	—	—		FIXED
31-04	P	—	WD CLAD	P	GL-X	9'-0"	4-0"	4'-0"	WOOD	P	—		—	—	—		FIXED
32-01	G	—	WD CLAD	P	GL-X	6'-0"	4-0"	6'-4"	WOOD	P	—		—	—	—		CASEMENT
32-02	L	—	WD CLAD	P	GL-X	6'-9"	2-0"	2'-0"	WOOD	P	—		—	—	—		FIXED
32-03	H	—	WD CLAD	P	GL-X	6'-0"	3-0"	2'-0"	WOOD	P	—		—	—	—		CASEMENT
32-04	E	—	WD CLAD	P	GL-X	7'-0"	5-0"	6'-4"	WOOD	P	—		—	—	—		CASEMENT
32-05	E	—	WD CLAD	P	GL-X	7'-0"	5-0"	6'-4"	WOOD	P	—		—	—	—		CASEMENT
33-01	G	—	WD CLAD	P	GL-X	6'-0"	4-0"	6'-4"	WOOD	P	—		—	—	—		CASEMENT
33-02	G	—	WD CLAD	P	GL-X	6'-0"	4-0"	6'-4"	WOOD	P	—		—	—	—		CASEMENT
33-03	E	—	WD CLAD	P	GL-X	7'-0"	5-0"	6'-4"	WOOD	P	—		—	—	—		CASEMENT
33-04	G	—	WD CLAD	P	GL-X	6'-0"	4-0"	6'-4"	WOOD	P	—		—	—	—		CASEMENT
34-01	G	—	WD CLAD	P	GL-X	6'-0"	4-0"	6'-4"	WOOD	P	—		—	—	—		CASEMENT
34-02	G	—	WD CLAD	P	GL-X	6'-0"	4-0"	6'-4"	WOOD	P	—		—	—	—		CASEMENT
34-03	E	—	WD CLAD	P	GL-X	7'-0"	5-0"	6'-4"	WOOD	P	—		—	—	—		CASEMENT
35-01	X	—	IRON	P	GL-X	7'-0"	5-0"	7-4"	IRON	P	—		—	—	—		FIXED
35-02	G	—	WD CLAD	P	GL-X	6'-0"	4-0"	6'-4"	WOOD	P	—		—	—	—		CASEMENT

PROJECT 1 WINDOW SCHEDULE																	
WINDOW #	WINDOW					FRAME							TRIM				REMARKS
	TYPE	RT'C LABEL	CONSTR.	FINISH	GLASS	HEAD HEIGHT	WINDOW HEIGHT	SILL WIDTH	FRAME MAT'L	FINISH	HRDW SET #	ACCESSIBLE	MAT'L	FINISH	WALL TYPE		
36-01	X	—	IRON	P	GL-X	7'-0"	5-0"	7-4"	IRON	P	—		—	—	—		FIXED
36-02	X	—	IRON	P	GL-X	7'-0"	5-0"	7-4"	IRON	P	—		—	—	—		FIXED
37-01	L	—	WD CLAD	P	GL-X	6'-9"	2-0"	2'-0"	WOOD	P	—		—	—	—		FIXED
37-02	K	—	WD CLAD	P	GL-X	7'-0"	5-0"	9-4"	WOOD	P	—		—	—	—		
37-03	G	—	WD CLAD	P	GL-X	6'-0"	4-0"	6'-4"	WOOD	P	—		—	—	—		CASEMENT
37-04	L	—	WD CLAD	P	GL-X	6'-9"	2-0"	2'-0"	WOOD	P	—		—	—	—		FIXED
38-01	G	—	WD CLAD	P	GL-X	6'-0"	4-0"	6'-4"	WOOD	P	—		—	—	—		CASEMENT
38-02	G	—	WD CLAD	P	GL-X	6'-0"	4-0"	6'-4"	WOOD	P	—		—	—	—		CASEMENT
38-03	L	—	WD CLAD	P	GL-X	6'-9"	2-0"	2'-0"	WOOD	P	—		—	—	—		FIXED
39-01	G	—	WD CLAD	P	GL-X	6'-0"	4-0"	6'-4"	WOOD	P	—		—	—	—		CASEMENT
39-02	P	—	WD CLAD	P	GL-X	9'-0"	4-0"	4'-0"	WOOD	P	—		—	—	—		FIXED
40-01	B1	—	WD CLAD	P	GL-X	9'-0"	3-0"	2'-0"	WOOD	P	—		—	—	—		FIXED
40-02	B1	—	WD CLAD	P	GL-X	9'-0"	3-0"	2'-0"	WOOD	P	—		—	—	—		FIXED
40-03	B1	—	WD CLAD	P	GL-X	9'-0"	3-0"	2'-0"	WOOD	P	—		—	—	—		FIXED
40-04	B1	—	WD CLAD	P	GL-X	9'-0"	3-0"	2'-0"	WOOD	P	—		—	—	—		FIXED
41-01	C	—	IRON	P	GL-X	8'-0"	8-0"	12'-8"	IRON	P	—		—	—	—		FIXED
42-01	C	—	IRON	P	GL-X	8'-0"	8-0"	12'-8"	IRON	P	—		—	—	—		FIXED
43-01	C	—	IRON	P	GL-X	8'-0"	8-0"	12'-8"	IRON	P	—		—	—	—		FIXED
44-01	C	—	IRON	P	GL-X	8'-0"	8-0"	12'-8"	IRON	P	—		—	—	—		FIXED
45-01	G	—	WD CLAD	P	GL-X	6'-0"	4-0"	6'-4"	WOOD	P	—		—	—	—		CASEMENT
45-02	F	—	WD CLAD	P	GL-X	6'-0"	4-0"	3'-0"	WOOD	P	—		—	—	—		CASEMENT
45-03	F	—	WD CLAD	P	GL-X	6'-0"	4-0"	3'-0"	WOOD	P	—		—	—	—		CASEMENT
45-04	H	—	WD CLAD	P	GL-X	6'-0"	3-0"	2'-0"	WOOD	P	—		—	—	—		CASEMENT
46-01	G	—	WD CLAD	P	GL-X	6'-0"	4-0"	6'-4"	WOOD	P	—		—	—	—		CASEMENT
46-02	G	—	WD CLAD	P	GL-X	6'-0"	4-0"	6'-4"	WOOD	P	—		—	—	—		CASEMENT
46-03	H	—	WD CLAD	P	GL-X	—	—	—	WOOD	P	—		—	—	—		CASEMENT
46-04	G	—	WD CLAD	P	GL-X	6'-0"	4-0"	6'-4"	WOOD	P	—		—	—	—		CASEMENT
47-01	E	—	WD CLAD	P	GL-X	7'-0"	5-0"	6'-4"	WOOD	P	—		—	—	—		CASEMENT
48-01	E	—	WD CLAD	P	GL-X	7'-0"	5-0"	6'-4"	WOOD	P	—		—	—	—		CASEMENT
49-01	G	—	WD CLAD	P	GL-X	6'-0"	4-0"	6'-4"	WOOD	P	—		—	—	—		CASEMENT
49-02	F	—	WD CLAD	P	GL-X	6'-0"	4-0"	3'-0"	WOOD	P	—		—	—	—		CASEMENT
51-01	L	—	VINYL	P	GL-X	6'-9"	2-0"	2'-0"	VINYL	P	—		—	—	—		FIXED
51-02	F	—	WD CLAD	P	GL-X	6'-0"	4-0"	3'-0"	WOOD	P	—		—	—	—		CASEMENT
51-03	F	—	WD CLAD	P	GL-X	6'-0"	4-0"	3'-0"	WOOD	P	—		—	—	—		CASEMENT
51-04	G	—	WD CLAD	P	GL-X	6'-0"	4-0"	6'-4"	WOOD	P	—		—	—	—		CASEMENT
52-01	G	—	WD CLAD	P	GL-X	6'-0"	4-0"	6'-4"	WOOD	P	—		—	—	—		CASEMENT
52-02	L	—	VINYL	P	GL-X	6'-9"	2-0"	2'-0"	VINYL	P	—		—	—	—		FIXED
52-03	F	—	WD CLAD	P	GL-X	6'-0"	4-0"	3'-0"	WOOD	P	—		—	—	—		CASEMENT
52-04	I	—	WD CLAD	P	GL-X	6'-0"	4-4"	3'-0"	WOOD	P	—		—	—	—		CASEMENT
52-05	E	—	WD CLAD	P	GL-X	7'-0"	5-0"	6'-4"	WOOD	P	—		—	—	—		CASEMENT
52-06	E	—	WD CLAD	P	GL-X	7'-0"	5-0"	6'-4"	WOOD	P	—		—	—	—		CASEMENT
52-07	G	—	WD CLAD	P	GL-X	6'-0"	4-0"	6'-4"	WOOD	P	—		—	—	—		CASEMENT
53-01	G	—	WD CLAD	P	GL-X	6'-0"	4-0"	6'-4"	WOOD	P	—		—	—	—		CASEMENT
53-02	G	—	WD CLAD	P	GL-X	6'-0"	4-0"	6'-4"	WOOD	P	—		—	—	—		CASEMENT
54-01	G	—	WD CLAD	P	GL-X	6'-0"	4-0"	6'-4"	WOOD	P	—		—	—	—		CASEMENT
54-02	G	—	WD CLAD	P	GL-X	6'-0"	4-0"	6'-4"	WOOD	P	—		—	—	—		CASEMENT
54-03	G	—	WD CLAD	P	GL-X	6'-0"	4-0"	6'-4"	WOOD	P	—		—	—	—		CASEMENT
55-01	Y	—	IRON	P	GL-X	7'-0"	8-0"	11-0"	IRON	P	—		—	—	—		FIXED
55-02	X	—	IRON	P	GL-X	7'-0"	5-0"	7-4"	IRON	P	—		—	—	—		FIXED
55-03	G	—	WD CLAD	P	GL-X	6'-0"	4-0"	6'-4"	WOOD	P	—		—	—	—		CASEMENT
56-01	X	—	IRON	P	GL-X	7'-0"	5-0"	7-4"	IRON	P	—		—	—	—		FIXED
56-02	X	—	IRON	P	GL-X	7'-0"	5-0"	7-4"	IRON	P	—		—	—	—		FIXED
56-03	Y	—	IRON	P	GL-X	7'-0"	8-0"	11-0"	IRON	P	—		—	—	—		FIXED

PROJECT 1 WINDOW SCHEDULE																
WINDOW #	WINDOW					FRAME							TRIM			REMARKS
	TYPE	RT'G LABEL	CONSTR.	FINISH	GLASS	HEAD HEIGHT	WINDOW HEIGHT	SILL WIDTH	FRAME MAT'L	FINISH	HRDW SET #	ACCESSIBLE	MAT'L	FINISH	WALL TYPE	
57-01	L	—	WD CLAD	P	GL-X	6'-9"	2'-0"	2'-0"	VINYL	P	—		—	—	—	FIXED
57-02	E	—	WD CLAD	P	GL-X	7'-0"	5'-0"	6'-4"	WOOD	P	—		—	—	—	CASEMENT
57-03	E	—	WD CLAD	P	GL-X	7'-0"	5'-0"	6'-4"	WOOD	P	—		—	—	—	CASEMENT
57-04	K	—	WD CLAD	P	GL-X	7'-0"	5'-0"	9'-4"	WOOD	P	—		—	—	—	CASEMENT
57-05	G	—	WD CLAD	P	GL-X	6'-0"	4'-0"	6'-4"	WOOD	P	—		—	—	—	CASEMENT
57-06	G	—	WD CLAD	P	GL-X	6'-0"	4'-0"	6'-4"	WOOD	P	—		—	—	—	CASEMENT
58-01	F	—	WD CLAD	P	GL-X	6'-0"	4'-0"	3'-0"	WOOD	P	—		—	—	—	CASEMENT
58-02	C1	—	IRON	P	GL-X	8'-0"	9'-8"	6'-4"	IRON	P	—		—	—	—	FIXED
58-03	G	—	WD CLAD	P	GL-X	6'-0"	4'-0"	6'-4"	WOOD	P	—		—	—	—	CASEMENT
59-01	D	—	WD CLAD	P	GL-X	7'-0"	5'-0"	3'-0"	WOOD	P	—		—	—	—	CASEMENT
59-02	E	—	WD CLAD	P	GL-X	7'-0"	5'-0"	6'-4"	WOOD	P	—		—	—	—	CASEMENT
60-01	D	—	WD CLAD	P	GL-X	7'-0"	5'-0"	3'-0"	WOOD	P	—		—	—	—	CASEMENT
60-02	D	—	WD CLAD	P	GL-X	7'-0"	5'-0"	3'-0"	WOOD	P	—		—	—	—	CASEMENT
60-03	D	—	WD CLAD	P	GL-X	7'-0"	5'-0"	3'-0"	WOOD	P	—		—	—	—	CASEMENT
60-04	D	—	WD CLAD	P	GL-X	7'-0"	5'-0"	3'-0"	WOOD	P	—		—	—	—	CASEMENT

PROJECT 2 WINDOW SCHEDULE																
WINDOW #	WINDOW					FRAME							TRIM			REMARKS
	TYPE	RT'G LABEL	CONSTR.	FINISH	GLASS	HEAD HEIGHT	WINDOW HEIGHT	SILL WIDTH	FRAME MAT'L	FINISH	HRDW SET #	ACCESSIBLE	MAT'L	FINISH	WALL TYPE	
01-01	S	—	WD CLAD	P	GL-X	8'-0"	5'-0"	8'-0"	WOOD	P	—		—	—	—	DOUBLE HUNG
01-02	S	—	WD CLAD	P	GL-X	8'-0"	5'-0"	8'-0"	WOOD	P	—		—	—	—	DOUBLE HUNG
01-03	M	—	WD CLAD	P	GL-X	8'-0"	5'-0"	3'-0"	WOOD	P	—		—	—	—	CASEMENT
01-04	M	—	WD CLAD	P	GL-X	8'-0"	5'-0"	3'-0"	WOOD	P	—		—	—	—	CASEMENT
01-05	L	—	WD CLAD	P	GL-X	8'-0"	2'-0"	2'-0"	WOOD	P	—		—	—	—	CASEMENT
01-06	S	—	WD CLAD	P	GL-X	8'-0"	5'-0"	6'-6"	WOOD	P	—		—	—	—	DOUBLE HUNG
01-07	L	—	WD CLAD	P	GL-X	8'-0"	2'-0"	2'-0"	WOOD	P	—		—	—	—	CASEMENT
01-08	J	—	WD CLAD	P	GL-X	6'-8"	5'-0"	8'-0"	WOOD	P	—		—	—	—	CASEMENT
01-09	J	—	WD CLAD	P	GL-X	6'-8"	5'-0"	8'-0"	WOOD	P	—		—	—	—	CASEMENT
01-10	M	—	WD CLAD	P	GL-X	6'-8"	5'-0"	2'-6"	WOOD	P	—		—	—	—	CASEMENT
01-11	M	—	WD CLAD	P	GL-X	6'-8"	5'-0"	2'-6"	WOOD	P	—		—	—	—	CASEMENT
01-12	L	—	WD CLAD	P	GL-X	6'-8"	2'-0"	2'-0"	WOOD	P	—		—	—	—	CASEMENT
01-13	L	—	WD CLAD	P	GL-X	6'-8"	2'-0"	2'-0"	WOOD	P	—		—	—	—	CASEMENT
01-14	J	—	WD CLAD	P	GL-X	6'-8"	5'-0"	9'-11"	WOOD	P	—		—	—	—	CASEMENT
01-15	L	—	WD CLAD	P	GL-X	6'-8"	2'-0"	2'-0"	WOOD	P	—		—	—	—	CASEMENT
01-16	L	—	WD CLAD	P	GL-X	6'-8"	2'-0"	2'-0"	WOOD	P	—		—	—	—	CASEMENT
02-01	S	—	WD CLAD	P	GL-X	8'-0"	5'-0"	4'-6"	WOOD	P	—		—	—	—	DOUBLE HUNG
02-02	S	—	WD CLAD	P	GL-X	8'-0"	5'-0"	4'-6"	WOOD	P	—		—	—	—	DOUBLE HUNG
02-03	S	—	WD CLAD	P	GL-X	8'-0"	5'-0"	4'-6"	WOOD	P	—		—	—	—	DOUBLE HUNG
02-04	S	—	WD CLAD	P	GL-X	8'-0"	5'-0"	4'-6"	WOOD	P	—		—	—	—	DOUBLE HUNG
02-05	M	—	WD CLAD	P	GL-X	8'-0"	5'-0"	3'-0"	WOOD	P	—		—	—	—	CASEMENT
02-06	M	—	WD CLAD	P	GL-X	8'-0"	5'-0"	3'-0"	WOOD	P	—		—	—	—	CASEMENT
02-07	S	—	WD CLAD	P	GL-X	8'-0"	5'-0"	4'-6"	WOOD	P	—		—	—	—	DOUBLE HUNG
02-08	L	—	WD CLAD	P	GL-X	8'-0"	2'-0"	2'-0"	WOOD	P	—		—	—	—	CASEMENT
02-09	M	—	WD CLAD	P	GL-X	8'-0"	5'-0"	2'-0"	WOOD	P	—		—	—	—	CASEMENT
02-10	M	—	WD CLAD	P	GL-X	8'-0"	5'-0"	2'-0"	WOOD	P	—		—	—	—	CASEMENT
02-11	S	—	WD CLAD	P	GL-X	6'-8"	5'-0"	4'-6"	WOOD	P	—		—	—	—	DOUBLE HUNG
02-12	S	—	WD CLAD	P	GL-X	6'-8"	5'-0"	4'-6"	WOOD	P	—		—	—	—	DOUBLE HUNG
02-13	J	—	WD CLAD	P	GL-X	6'-8"	5'-0"	4'-6"	WOOD	P	—		—	—	—	CASEMENT
02-14	M	—	WD CLAD	P	GL-X	6'-8"	5'-0"	2'-6"	WOOD	P	—		—	—	—	CASEMENT
02-15	M	—	WD CLAD	P	GL-X	6'-8"	5'-0"	2'-6"	WOOD	P	—		—	—	—	CASEMENT
02-16	L	—	WD CLAD	P	GL-X	6'-8"	2'-0"	2'-0"	WOOD	P	—		—	—	—	CASEMENT
02-17	L	—	WD CLAD	P	GL-X	6'-8"	2'-0"	2'-0"	WOOD	P	—		—	—	—	CASEMENT
02-18	J	—	WD CLAD	P	GL-X	6'-8"	5'-0"	9'-11"	WOOD	P	—		—	—	—	CASEMENT
02-19	L	—	WD CLAD	P	GL-X	6'-8"	2'-0"	2'-0"	WOOD	P	—		—	—	—	CASEMENT
02-20	L	—	WD CLAD	P	GL-X	6'-8"	2'-0"	2'-0"	WOOD	P	—		—	—	—	CASEMENT
03-01	S	—	WD CLAD	P	GL-X	8'-0"	5'-0"	6'-6"	WOOD	P	—		—	—	—	DOUBLE HUNG
03-02	S	—	WD CLAD	P	GL-X	8'-0"	5'-0"	6'-6"	WOOD	P	—		—	—	—	DOUBLE HUNG
03-03	M	—	WD CLAD	P	GL-X	8'-0"	5'-0"	2'-6"	WOOD	P	—		—	—	—	CASEMENT
03-04	M	—	WD CLAD	P	GL-X	8'-0"	5'-0"	2'-6"	WOOD	P	—		—	—	—	CASEMENT
03-05	S	—	WD CLAD	P	GL-X	8'-0"	5'-0"	4'-0"	WOOD	P	—		—	—	—	DOUBLE HUNG
03-06	L	—	WD CLAD	P	GL-X	8'-0"	2'-0"	2'-0"	WOOD	P	—		—	—	—	CASEMENT
03-07	M	—	WD CLAD	P	GL-X	6'-8"	5'-0"	2'-6"	WOOD	P	—		—	—	—	CASEMENT
03-08	M	—	WD CLAD	P	GL-X	6'-8"	5'-0"	2'-6"	WOOD	P	—		—	—	—	CASEMENT
03-09	M	—	WD CLAD	P	GL-X	6'-8"	5'-0"	2'-6"	WOOD	P	—		—	—	—	CASEMENT
03-10	M	—	WD CLAD	P	GL-X	6'-8"	5'-0"	2'-6"	WOOD	P	—		—	—	—	CASEMENT
03-11	S	—	WD CLAD	P	GL-X	6'-8"	5'-0"	4'-4"	WOOD	P	—		—	—	—	DOUBLE HUNG
03-12	L	—	WD CLAD	P	GL-X	6'-8"	2'-0"	2'-0"	WOOD	P	—		—	—	—	CASEMENT
03-13	L	—	WD CLAD	P	GL-X	6'-8"	2'-0"	2'-0"	WOOD	P	—		—	—	—	CASEMENT
03-14	L	—	WD CLAD	P	GL-X	6'-8"	2'-0"	2'-0"	WOOD	P	—		—	—	—	CASEMENT
03-15	J	—	WD CLAD	P	GL-X	6'-8"	5'-0"	9'-11"	WOOD	P	—		—	—	—	CASEMENT
03-16	L	—	WD CLAD	P	GL-X	6'-8"	2'-0"	2'-0"	WOOD	P	—		—	—	—	CASEMENT
03-17	M	—	WD CLAD	P	GL-X	6'-8"	5'-0"	2'-6"	WOOD	P	—		—	—	—	CASEMENT
03-18	M	—	WD CLAD	P	GL-X	6'-8"	5'-0"	2'-6"	WOOD	P	—		—	—	—	CASEMENT

APPROVED

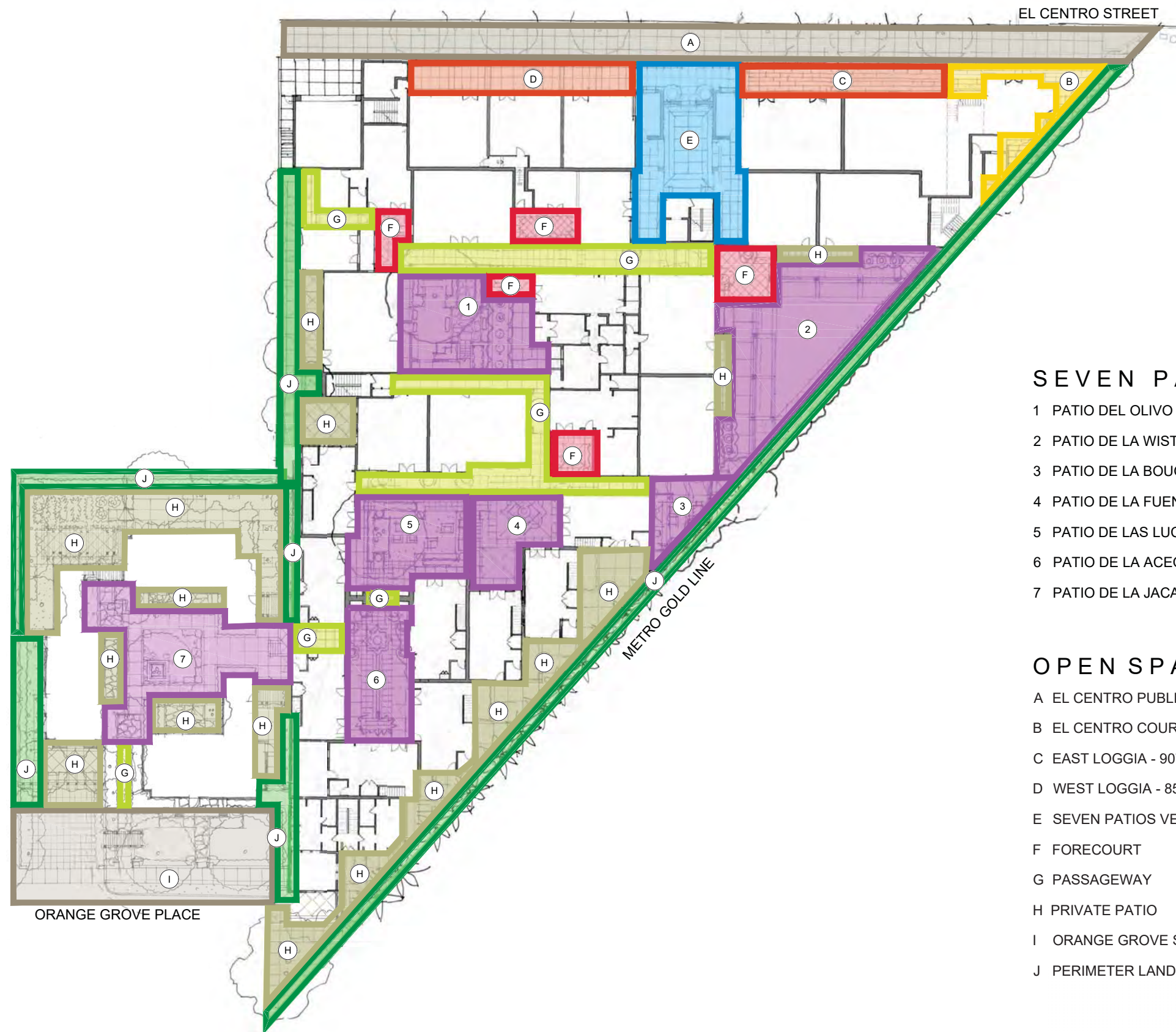
- ☐ BY THE PLANNING DIRECTOR
- ☐ BY THE CULTURAL HERITAGE COMMISSION
- ☐ BY THE DESIGN REVIEW BOARD
- ☒ BY THE PLANNING COMMISSION
- ☐ BY THE CITY COUNCIL

FOR THE CITY OF SOUTH PASADENA ON Nov. 17, 2020

APPLICATION NO: Project No. 2171-CUP/DRX/TTM/TRP

PLANNER: Kamifabik

MOULE & POLYZOIDES
NOTES: Seven Patios Mixed-Use Residential & Commercial



SEVEN PATIOS

- 1 PATIO DEL OLIVO - 2,447 SF
- 2 PATIO DE LA WISTERIA - 4,960 SF
- 3 PATIO DE LA BOUGAINVILLEA - 458 SF
- 4 PATIO DE LA FUENTE - 948 SF
- 5 PATIO DE LAS LUCES - 1,727 SF
- 6 PATIO DE LA ACEQUIA - 1,147 SF
- 7 PATIO DE LA JACARANDA - 2,905 SF

OPEN SPACE

- A EL CENTRO PUBLIC RIGHT-OF-WAY
- B EL CENTRO COURT - 630 SF
- C EAST LOGGIA - 907 SF
- D WEST LOGGIA - 854 SF
- E SEVEN PATIOS VESTIBULE - 1785 SF
- F FORECOURT
- G PASSAGEWAY
- H PRIVATE PATIO
- I ORANGE GROVE STREETSCAPE
- J PERIMETER LANDSCAPE

L - 1

Seven Patios
899 El Centro St., South Pasadena, CA
12/14/2018

SEVEN PATIOS | OPEN SPACE DIAGRAM CONCEPTUAL LANDSCAPE PLAN

APPROVED

- ☐ BY THE PLANNING DIRECTOR
- ☐ BY THE CULTURAL HERITAGE COMMISSION
- ☐ BY THE DESIGN REVIEW BOARD
- ☒ BY THE PLANNING COMMISSION
- ☐ BY THE CITY COUNCIL

FOR THE CITY OF SOUTH PASADENA ON Nov. 17, 2020

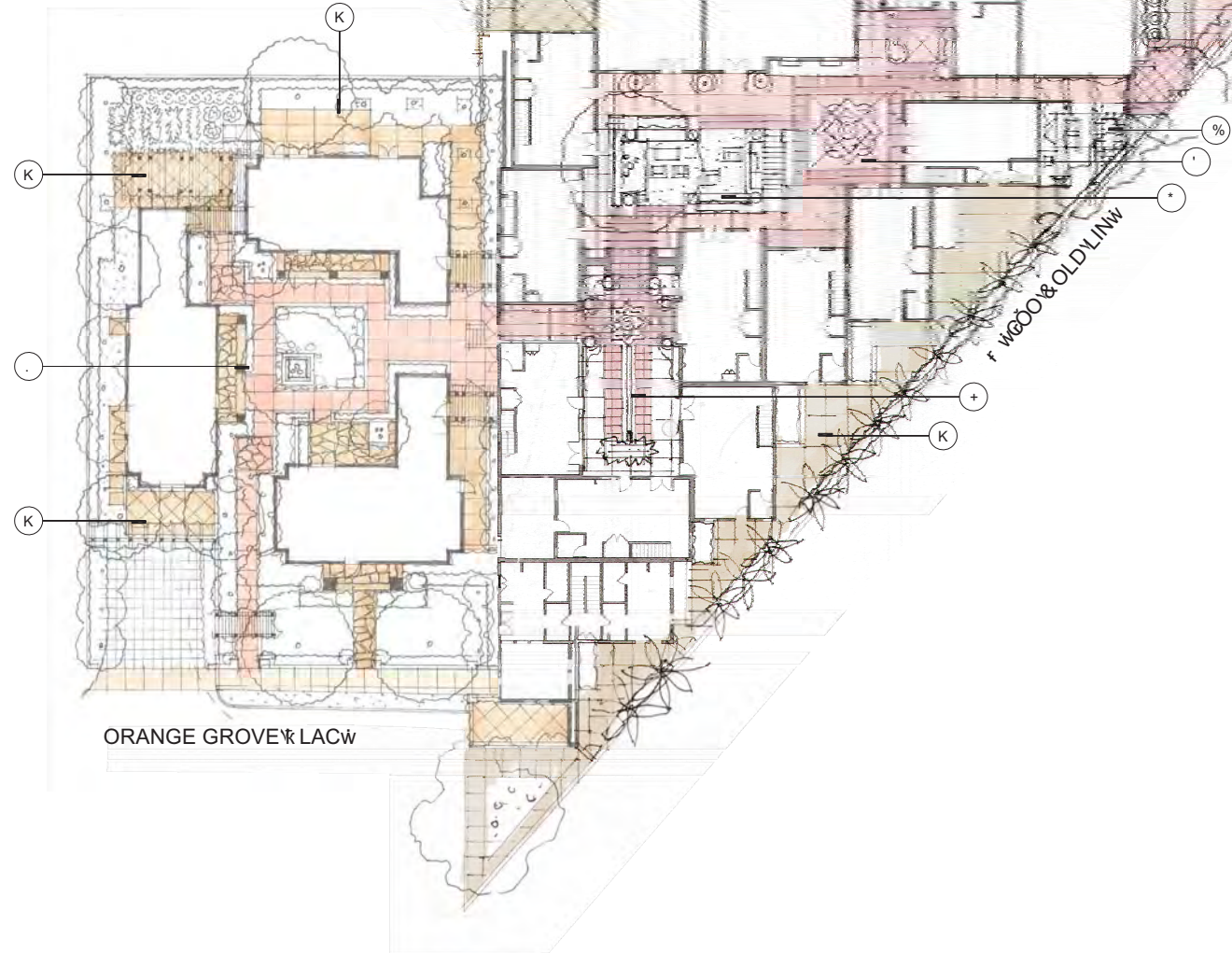
APPLICATION NO: Project No. 2019-CUP/DRX/TTM/TRP

PLANNER: *Kanifabik* MOULE & POLYZOIDES

NOTES: Seven Patios Mixed-Use Residential & Commercial

SEVEN PATIOS

- 1 K AGIO DWL OLIVO
See k atio wnlargement k lan
- # PATIO DWLA\$ IŦ QWRIA
See k atio wnlargement k lan
- % PATIO'DwLA'BOC&AINVILLEA
See k atio wnlargement k lan
- ' PATIO DE LA FUENGW
See k atio wnlargement k lan
- * PATIO DWLAŦ LUCEŦ
See k atio wnlargement k lan
- +WPATIO DWLA ACEQUIA
See k atio wnlargement k lan
- .YYPATIO DE LAJACARANDA
See k atio wnlargement k lan



LEGEND

- A WL'CWNGOOŦ QOEETSCAPE
CHARACWOO
Go be har456ape dominate with urban tree wells or grates: To promote commercial'acti; ity:
MAGWRIALO
Go be city standardYconcrete with 4ecomposed granite.
- B WL CENTRO COURT
CHARACWOO
Petite urban diningYourt:Yold Line a4a6ent. Arri; al court for 6ommer6ial vi5itor5Yrom the subterranean parking ! arage and for those ; i5iting the 7roposed Cafe atYŦe; enYkaios:
MAGWRIALO
Dark grayIntegral'6olor 6on6rete with 2ri6? a66ents drawn from ar63itect9ralYvoca29lary.
- C EASTYLOGGIA
CHARACWOO
Erban mi@4Y95e building wit3Y2i6? ar6ade.
MAGWRIALO
Bri6? and integral'6olor 6on6rete.
- D \$ WŦ QLOGGIA
CHARACWOO
F editerraneanYlonnade alongYWY Centro wit3Y4re6t access to mixed use condomini9"Y9 nits:
MAGWRIALO
Gile and integral color concrete.

- W SEVENPATIOS VEŦ QIBULE
CHARACWOO
InteriorYore6ourt for the Seven Patios Condominiums:
MAGWRIALO
Ac6ent kavingYCentral Fountain | Tile WallY8 ith Benc3:
- F YOOWCOCOG
CHARACWOO
SmallY7atiosYfun6tioning asYforeco9rts to either 6ommunity rooms or larger thematicY7atios:
MAGWRIALO
Ac6ent paving, concrete and tile. OccasionalY57ecialYeat9resY596h asY ni63e benches, wall fountains and 7ottery accents:
- & PASSAGEWAY
CHARACWOO
Ac6e55Yto theYŦe; enYkatio5 and private 9nits. Mini"9 m of 5', ma@9 m 8' wide.
MAGWRIALO
Color concrete with tile or bric?Yaccents:
- KYK OIVAQWPATIO
CHARACWOO
Dire6t access from units:
MAGWRIALO
Enhanced concrete with planters for 7ri; ateY95e.

APPROVED

- ☐ BY THE PLANNING DIRECTOR
- ☐ BY THE CULTURAL HERITAGE COMMISSION
- ☐ BY THE DESIGN REVIEW BOARD
- ☒ BY THE PLANNING COMMISSION
- ☐ BY THE CITY COUNCIL

FOR THE CITY OF SOUTH PASADENA ON Nov. 17, 2020

APPLICATION NO: Project No. 2171-CUP/DRX/TTM/TRP

PLANNER: *Kamille*
MOULE & POLYZOIDES
ARCHITECTS AND URBANISTS

NOTES: Seven Patios Mixed-Use Residential & Commercial
KOPIN RANDOLPH
LANDSCAPE ARCHITECTURE
Planning

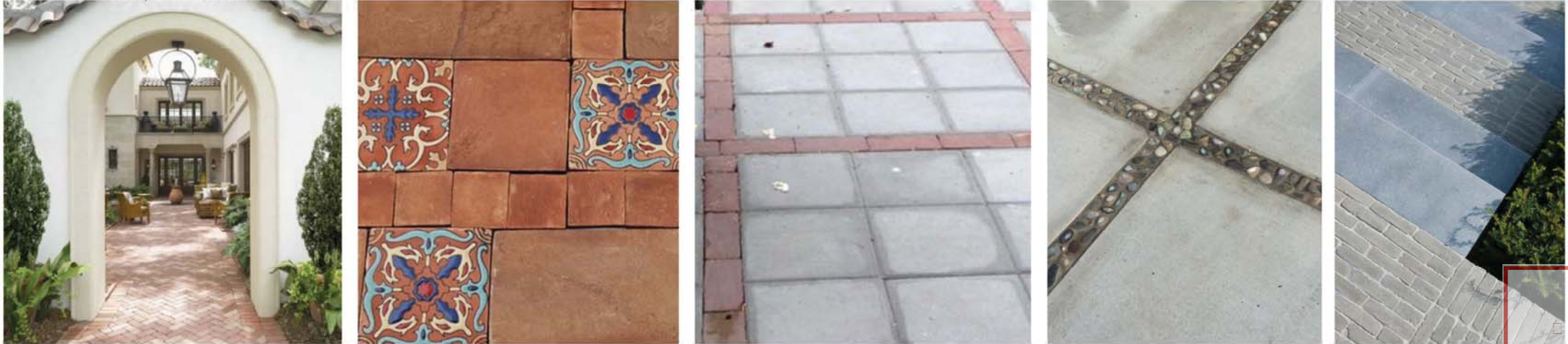
EL CENTRO COURT | EAST LOGGIA | WEST LOGGIA | SEVEN PATIOS FORECOURT



FORCOURTS | PASSAGEWAYS



FLATWORK | HARDSCAPE



APPROVED

☐ BY THE PLANNING DIRECTOR

☐ BY THE CULTURAL HERITAGE COMMISSION

☐ BY THE DESIGN REVIEW BOARD

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☐ BY THE CITY COUNCIL

FOR THE CITY OF SOUTH PASADENA ON Nov. 17, 2020

APPLICATION NO: Project No. 2171-CUP/DRX/TTM/TRP

PLANNER: Korn Randolph

NOTES: Seven Patios Mixed-Use Residential & Commercial

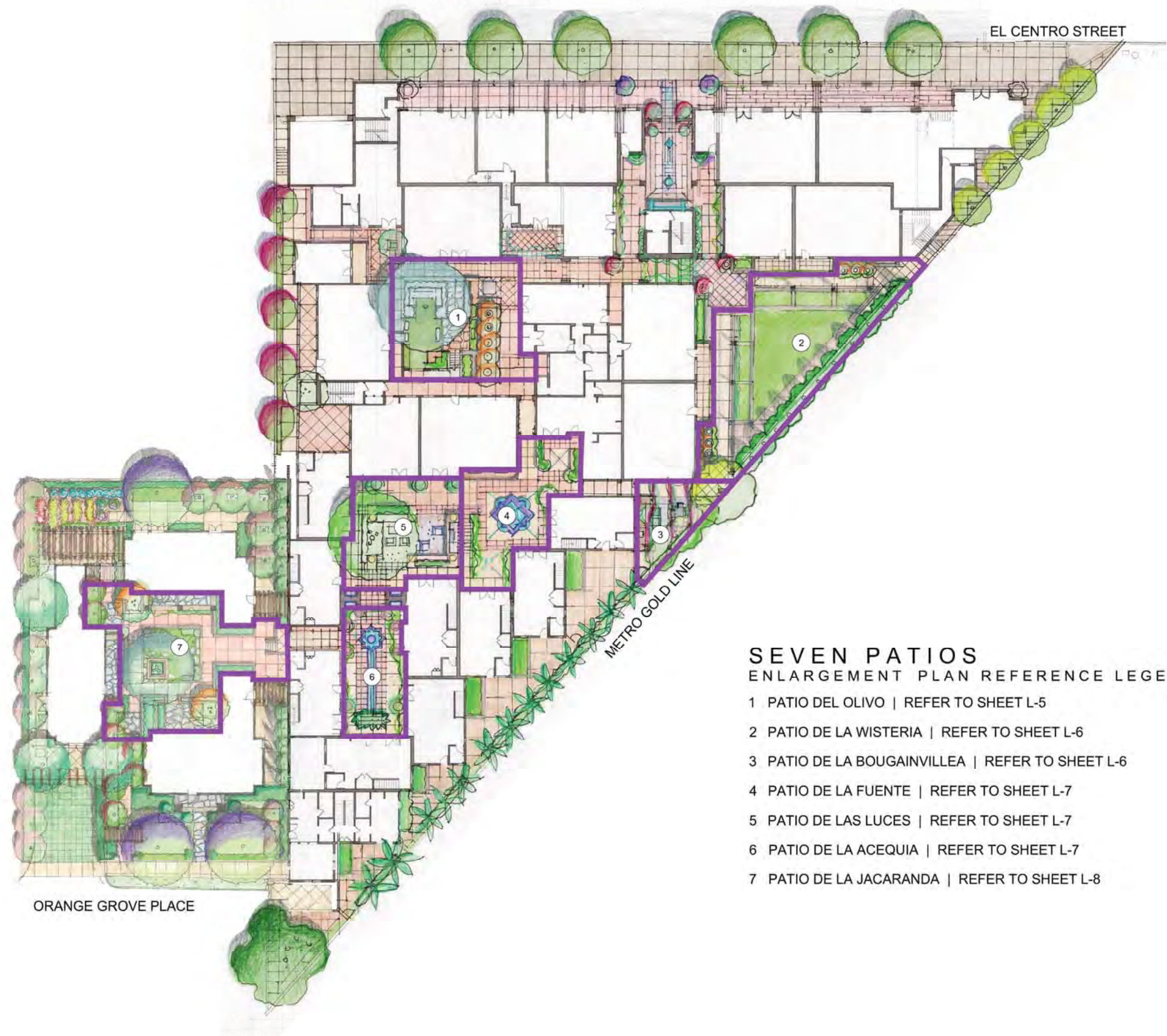
MOULE & POLYZOIDES

ARCHITECTS AND URBANISTS

KORN RANDOLPH

LANDSCAPE Architecture

Planning



L - 4

Seven Patios
 899 El Centro St., South Pasadena, CA
 12/14/2018

SEVEN PATIOS | KEY PLAN | ILLUSTRATIVE SITE PLAN
CONCEPTUAL LANDSCAPE PLAN

APPROVED

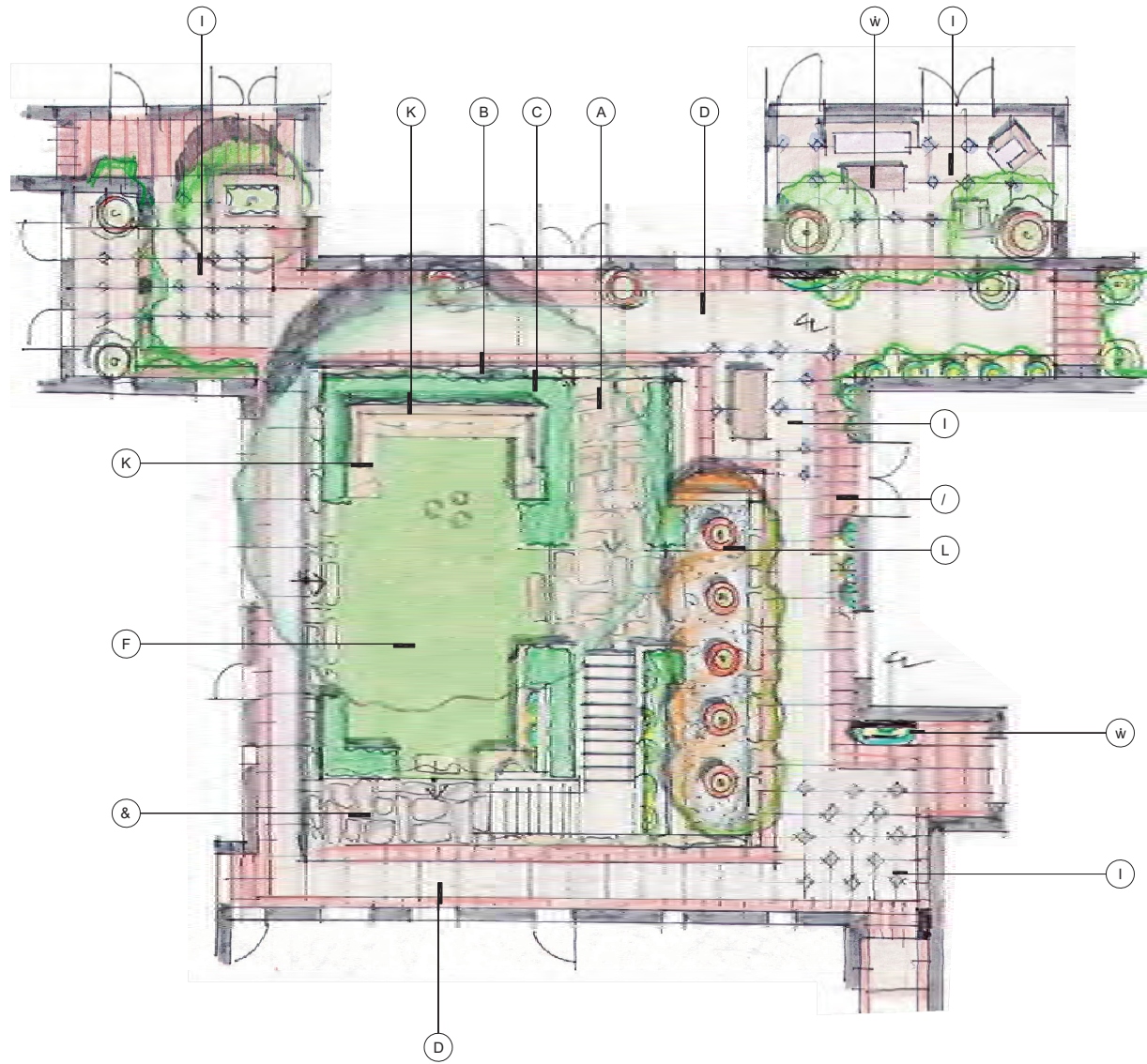
- ☐ BY THE PLANNING DIRECTOR
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- ☐ BY THE CITY COUNCIL

FOR THE CITY OF SOUTH PASADENA ON Nov. 17, 2020

APPLICATION NO: Project No. 2171-CUP/DRX/TTM/TRP

PLANNER: Korn Randolph
 MOULE & POLYZOIDES

NOTES: Seven Patios Mixed-Use Residential & Commercial
 KORN RANDOLPH
 LANDSCAPE Architecture
 Planning



LEGEND

- A RAISED GARDEN BED
- B STONE & KICKSTONE BORDER / CURB
- C CLIMBED PLANT
- D PASSAGEWAY
- W WALL FOUNTAIN
- F PATIO LAWN

- & STONE PAVING
- K STONE WALL
- I PERGOLA
- / STONE BORDER
- L TERRAZZO FLOOR

APPROVED

- ☐ BY THE PLANNING DIRECTOR
- ☐ BY THE CULTURAL HERITAGE COMMISSION
- ☐ BY THE DESIGN REVIEW BOARD
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- ☐ BY THE CITY COUNCIL

FOR THE CITY OF SOUTH PASADENA ON Nov. 17, 2020

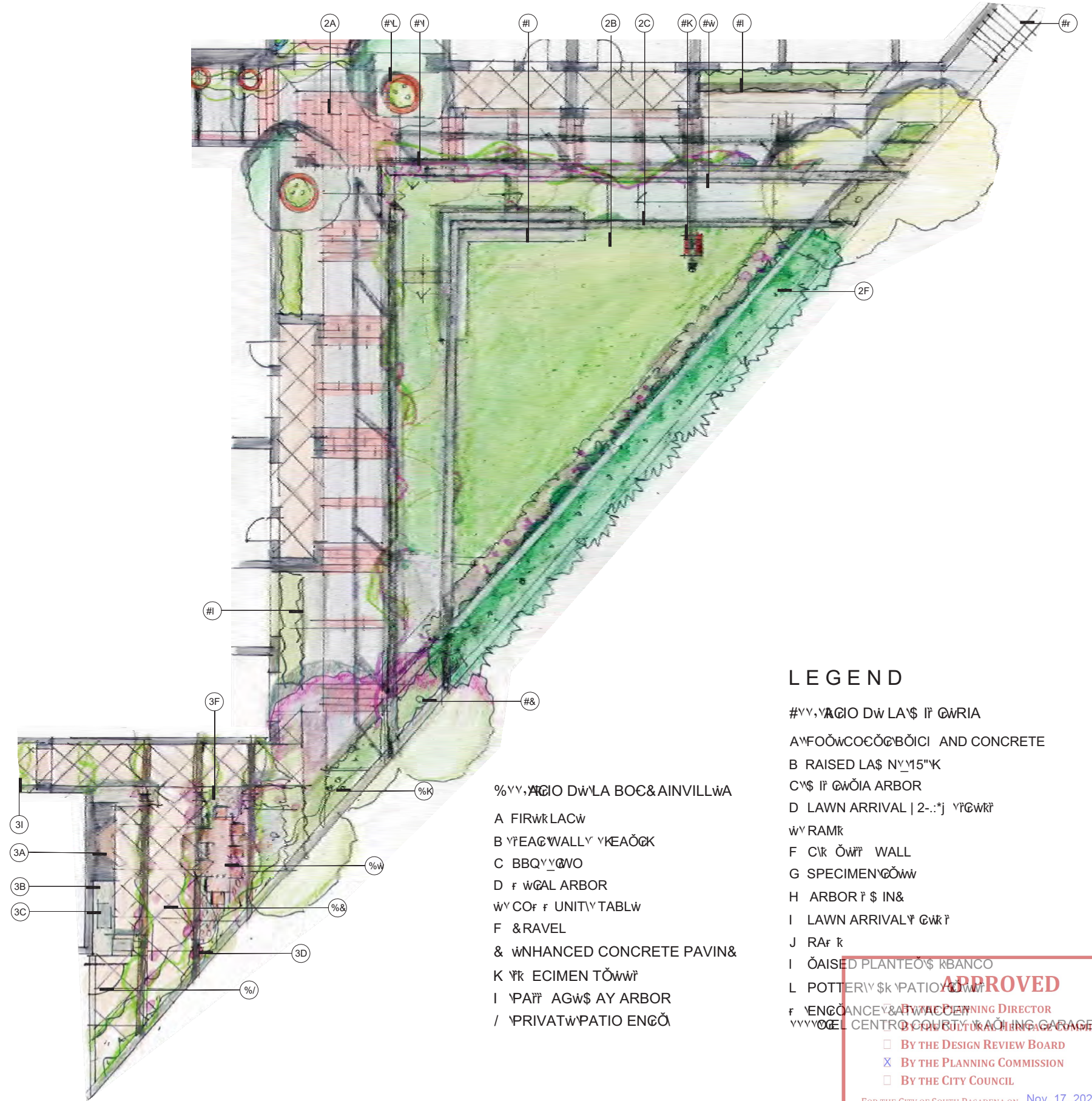
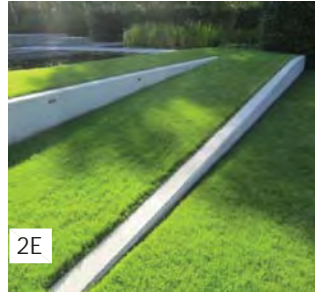
APPLICATION NO: Project No. 2171-CUP/DRX/TTM/TRP

PLANNER: Karin Randolph

NOTES: Seven Patios Mixed-Use Residential & Commercial

KARIN RANDOLPH
LANDSCAPE ARCHITECTURE
PLANNING

A photograph of a well-maintained lawn with a concrete retaining wall in the foreground and a garden bed with shrubs in the background. The lawn is bright green and appears to be a mix of grasses. The retaining wall is made of light-colored concrete blocks. In the background, there are various shrubs and a small tree. The overall scene is a typical suburban garden.



#YY, AGO DŁ LA\$ IŦ ĆWRİA
A"FOŦwCOCŦĆBŦİCI AND CONCRETE
B RAİSED LA\$ NŦ_15"K
C"Ŧ IŦ ĆWŦİA ARBOR
D LAWN ARRİVAL | 2-.:*j YŦĆWŦİŦ
wY RAMŦ
F ĆŦ ĆWŦİ WALL
G SPECİMENĆŦw
H ARBOR İŦ \$ İN&
I LAWN ARRİVAL İŦ ĆWŦİŦ
J RAŦ Ŧ
I ŦAİSED PLANTEŦŦ\$ KBANCO
L POTTERİY \$Ŧ "PATİŦŦĆWŦİŦ

☐ BY THE DESIGN REVIEW BOARD
☒ BY THE PLANNING COMMISSION
☐ BY THE CITY COUNCIL

SCALE: 3/16" = 1'-0"

NOTES: Seven Patios Mixed-Use Residential & Commercial

- Planning

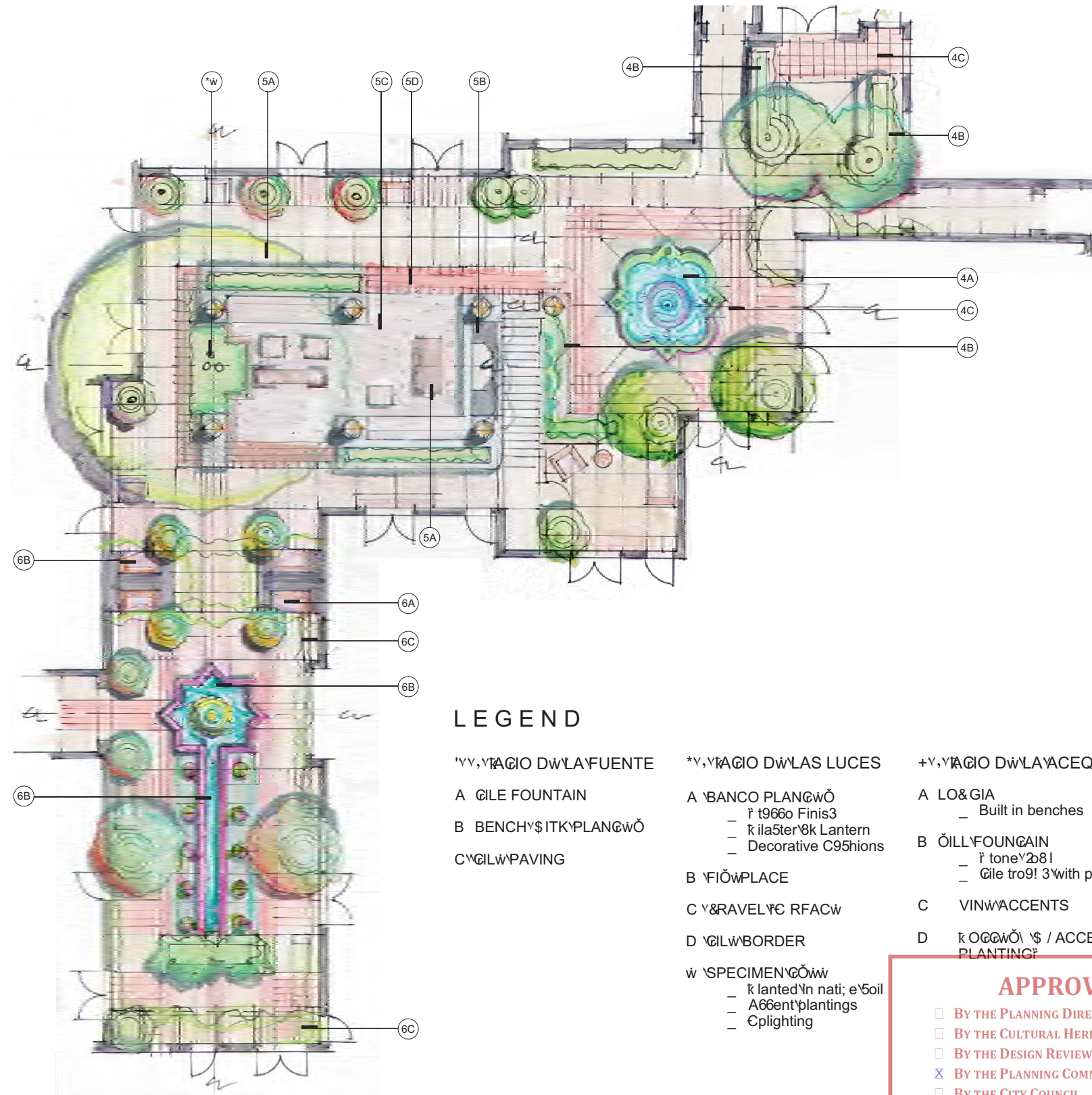
PATIO DE LA FUENTE



PATIO DE LAS LUCES



PATIO DE LA ACEQUIA



LEGEND

PATIO DE LA FUENTE

A GILE FOUNTAIN

B BENCH

C GILWPAVING

PATIO DE LAS LUCES

A BANCO PLANTING

B FLOWPLACE

C GRAVEL

D GILWBORDER

E SPECIMEN

F PLANTING

G PLANTING

H PLANTING

I PLANTING

J PLANTING

K PLANTING

L PLANTING

M PLANTING

N PLANTING

O PLANTING

P PLANTING

Q PLANTING

PATIO DE LA ACEQUIA

A LOGIA

B OIL FOUNTAIN

C VINACCENTS

D LOGIA

E LOGIA

F LOGIA

G LOGIA

H LOGIA

I LOGIA

J LOGIA

K LOGIA

L LOGIA

M LOGIA

N LOGIA

O LOGIA

P LOGIA

Q LOGIA

APPROVED

- ☐ BY THE PLANNING DIRECTOR
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- ☐ BY THE DESIGN REVIEW BOARD
- ☒ BY THE PLANNING COMMISSION
- ☐ BY THE CITY COUNCIL

FOR THE CITY OF SOUTH PASADENA ON Nov. 17, 2020

APPLICATION NO: Project No. 2171-CUP/DRX/TTM/TRP

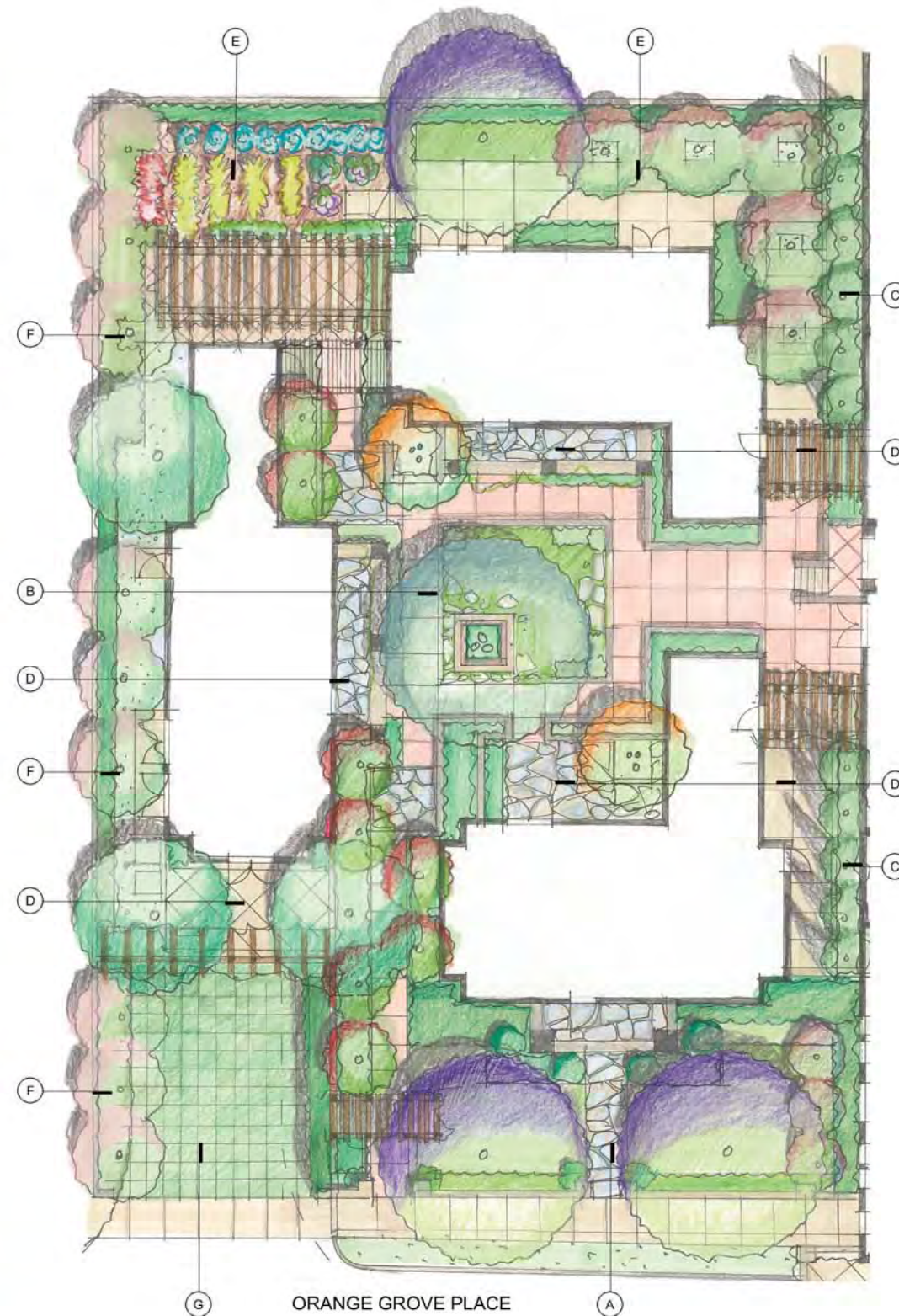
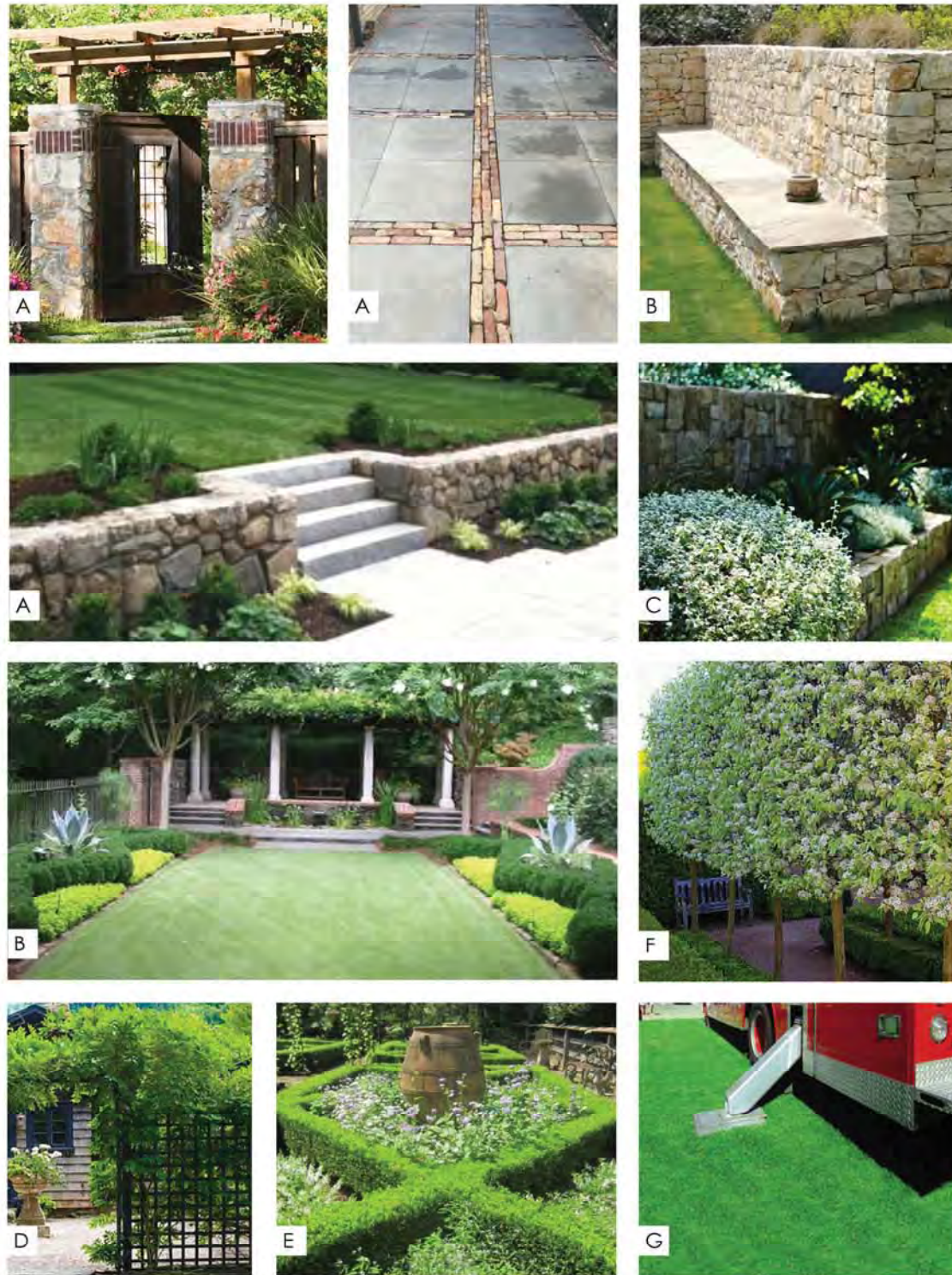
PLANNER: MOULE & POLYZOIDES

NOTES: Seven Patios Mixed-Use Residential & Commercial

JOHN RANDOLPH

LANDSCAPE ARCHITECTURE

Planning



LEGEND

- A ORANGE GROVE PLACE GARDEN**
 - Bungalow ArborJacaranda Trees
 - Lawn with Specimen Jacaranda Trees
 - Low Stone Cheek-walls w/ concrete steps
 - Integral Color Concrete Paving
- B COMMUNITY PATIO GARDEN**
 - Courtyard Lawn
 - Stone Banco with Specimen Tree
 - Integral Color Concrete Paving
 - Flagstone Paving
 - Steat-Wall Planters
 - Clipped Hedges
 - Maple and Citrus Trees
 - Flowering Perennials
- C TERRACE PLANTERS**
 - Cypress Trees
 - Trailing Lantana & Rosemary
 - Lavender Rows
- D PRIVATE PATIOS**
 - Vine Trellis
 - Patio Garden | Gate Access
 - Flagstone & Integral Color Concrete Paving
- E BACK YARD PATIO & GARDEN**
 - Lawn
 - Flowering Trees
 - Potager Garden
 - Integral Color Concrete Paving
- F WEST PROPERTY-LINE LANDSCAPE**
 - Neighbor Friendly Landscape Screen Plantings
 - Tall Hedges
 - Flowering Evergreen Pear Trees
- G VEHICULAR GRASS PAVING**
 - Grass Pave 2 | Fire Requirement
 - From Invisible Structures Inc.

APPROVED

- ☐ BY THE PLANNING DIRECTOR
- ☐ BY THE CULTURAL HERITAGE COMMISSION
- ☐ BY THE DESIGN REVIEW BOARD
- ☒ BY THE PLANNING COMMISSION
- ☐ BY THE CITY COUNCIL

FOR THE CITY OF SOUTH PASADENA ON Nov. 17, 2020

APPLICATION NO: Project No. 2171-CUP/DRX/TTM/TRP

PLANNER: *Korn Randolph*

NOTES: Seven Patios Mixed-Use Residential & Commercial

MOULE & POLYZOIDES
KORN RANDOLPH
LANDSCAPE ARCHITECTURE

Planning

L - 8

Seven Patios
899 El Centro St., South Pasadena, CA
12/14/2018

7 | PATIO DE LA JACARANDA CONCEPTUAL LANDSCAPE PLAN & IMAGERY

PROPOSED TREE & LANDSCAPE LEGEND

SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE FORM	TOTAL QUANTITY	TOTAL IN ZONE - 1	TOTAL IN ZONE - 2	
A	ACER PALMATUM	SANGO KAKU JAPANESE MAPLE	15 GAL	8	—	8	ZONE 2 16 6A POCUM PLANTERS ZONE 2 12 1A IN NATIVE SOIL
B	AGONIS FLEXUOSA	BURGUNDY PEPPERMINT WILLOW	15 GAL	10	5	5	ZONE 1 PLANTED IN NATIVE SOIL ZONE 2 PLANTED IN NATIVE SOIL
C	ARBUTUS UNEDO	STRAWBERRY TREE	15 GAL	3	—	3	ZONE 2 PLANTED IN NATIVE SOIL
D	CHIONANTHUS RETUSUS	CHINESE FRINGE FLOWER	24" BOX	6	3	3	ZONE 1 PLANTED IN NATIVE SOIL ZONE 2 PLANTED IN NATIVE SOIL
E	CINNAMOMUM CAMPHORA	CAMPHOR TREE	60" BOX + IN NATIVE SOIL	1	1	—	ZONE 1 PLANTED IN NATIVE SOIL
F	CITRUS SPECIES	DWARF CITRUS	24" BOX	7	5	2	ZONE 1 POCUM PLANTER ZONE 2 POCUM PLANTER
G	CLIPROFESSUS SPMPFRVIRENS	ITALIAN CYPRESS 14	24" BOX 15 GAL	11 11	11	—	ZONE 1 PLANTED IN NATIVE SOIL
H	FEUJA SELLOWIANA	PINEAPPLE GUAVA TREE	15 GAL	2	2	—	ZONE 1 POCUM PLANTER
I	GLEDTISIA TRICANTHOS	'SUNBURST' - HONEY LOCUST	24" BOX	5	5	—	ZONE 1 PLANTED IN NATIVE SOIL
J	JACARANDA MIMOSIFOLIA	JACARANDA TREE	60" BOX + IN NATIVE SOIL	3	—	3	ZONE 2 PLANTED IN NATIVE SOIL
K	MAGNOLIA SOULANGIANA	SAUCER MAGNOLIA	15 GAL	2	2	—	ZONE 1 POCUM PLANTER
L	OLEA EUROPAEA - FIELD DUG	FIELD DUG OLIVE	60" BOX + IN NATIVE SOIL	2	1	1	ZONE 1 PLANTED IN NATIVE SOIL ZONE 2 POCUM PLANTER
M	PHOENIX DACTYLIFERA	'ZAHIDI' - DATE PALM	8" B.T. OR 36" BOX	13	13	—	ZONE 1 PLANTED IN NATIVE SOIL
N	PYRUS KAWAKAMII	EVERGREEN PEAR	36" BOX	10	1	9	ZONE 1 POCUM PLANTER ZONE 2 PLANTED IN NATIVE SOIL
O	SCHINUS MOLLE	CALIFORNIA PEPPER TREE	60" BOX + IN NATIVE SOIL	1	1	—	ZONE 1 PLANTED IN NATIVE SOIL
P	AGONIS FLEXUOSA	PEPPERMINT WILLOW PROPOSED NEW STREET TREE	24" BOX	1	1	—	NOT A PART OF PROPOSED TREE SUMMARY TO MEET CITY RATIO REQUIREMENT
Q	POTTED TREES	MOVABLE POTTERY PATIO TREES	15 GAL	15	15	—	NOT A PART OF PROPOSED TREE SUMMARY TO MEET CITY RATIO REQUIREMENT
R	SHRUB MASSING						
S	GROUNDCOVER + VINES						
T	TURF						
U	POTAGER KITCHEN GARDEN						
V	VEHICULAR GRASS PAVING GRASSPAVE2 FIRE ACCESS						

EXISTING STREET TREES

SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE	NOTES
# 33	CUPANOPSIS ANACARDIODES	CARROTWOOD	6.7" DBH	PROTECT IN PLACE
# 32	AGONIS FLEXUOSA	PEPPERMINT WILLOW	5.8" DBH	PROTECT IN PLACE
# 31	AGONIS FLEXUOSA	PEPPERMINT WILLOW	2" DBH	PROTECT IN PLACE
# 30	AGONIS FLEXUOSA	PEPPERMINT WILLOW	2" DBH	PROTECT IN PLACE
# 29	AGONIS FLEXUOSA	PEPPERMINT WILLOW	7.2" DBH 5.3" DBH (SAULT TRUNK)	PROTECT IN PLACE
# 7	LIQUIDAMBER STYRACIFLUA	AMERICAN SWEET GUM	13.2" DBH	TO BE REMOVED PER REQUIRED FIRE ACCESS. ADDITIONAL STREET TREE ADDED IN ZONE 1.
# 6	CINNAMOMUM CAMPHORA	CAMPHOR TREE	12.3" DBH 11.6" DBH (SAULT TRUNK)	PROTECT IN PLACE
# 5	CINNAMOMUM CAMPHORA	CAMPHOR TREE	15.3" DBH	PROTECT IN PLACE
# 4	FRAXINUS UDHAI	SHAMAL ASH	13.2" DBH	PROTECT IN PLACE

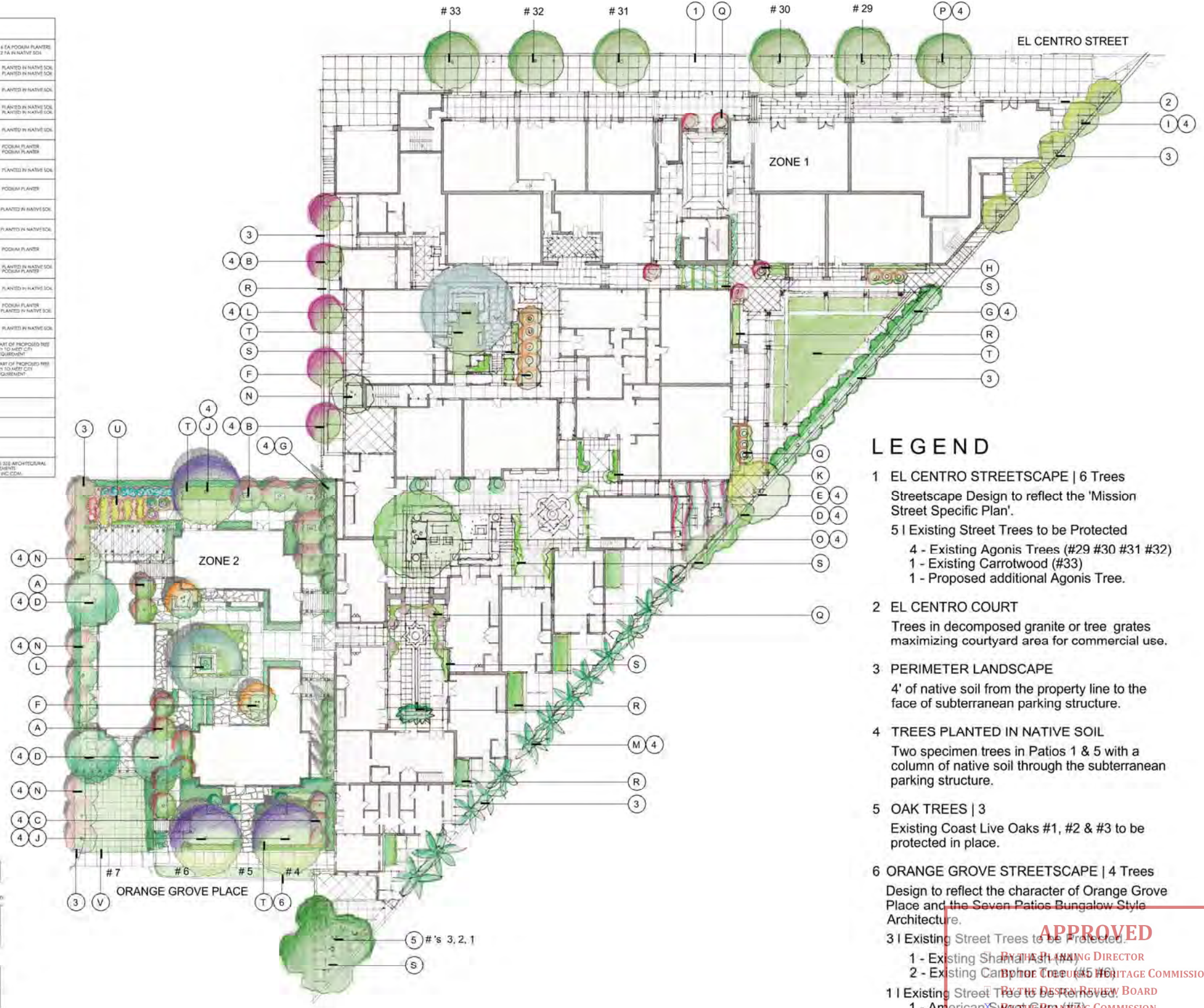
EXISTING PROTECTED TREES

SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE	ACTION
# 25	PINUS THUNBERGII	JAPANESE BLACK PINE	12.5" DBH	TO BE REMOVED
# 1	QUERCUS AGRIFOLIA	CALIFORNIA LIVE OAK	12.6" DBH	PROTECT IN PLACE
# 2	QUERCUS AGRIFOLIA	CALIFORNIA LIVE OAK	7.4" DBH	PROTECT IN PLACE
# 3	QUERCUS AGRIFOLIA	CALIFORNIA LIVE OAK	6.9" DBH	PROTECT IN PLACE

ADDITIONAL TREE REMOVAL NOTES

UNITS	REQUIRED # OF REPLACEMENT TREES 1:1 RATIO TREES PER UNIT	TOTAL TREE REPLACEMENT	MIN. 30 TREES @ 24" BOX + (50%) MAX. 27 TREES @ 15 GAL (50%)	
57	57	61 TREES	41	20

UNITS	REQUIRED # OF TREES TO BE PLANTED 1:1 RATIO (TREES PER UNIT)	TOTAL TREES PROPOSED	MIN. 2 TREES @ 24" BOX + (50%) MAX. 2 TREES @ 15 GAL (50%)	
3	3	34 TREES	5 TREES	29 TREES



LEGEND

- EL CENTRO STREETSCAPE | 6 Trees
Streetscape Design to reflect the 'Mission Street Specific Plan'.
- Existing Street Trees to be Protected
4 - Existing Agonis Trees (#29 #30 #31 #32)
1 - Existing Carrotwood (#33)
1 - Proposed additional Agonis Tree.
- EL CENTRO COURT
Trees in decomposed granite or tree grates maximizing courtyard area for commercial use.
- PERIMETER LANDSCAPE
4' of native soil from the property line to the face of subterranean parking structure.
- TREES PLANTED IN NATIVE SOIL
Two specimen trees in Patios 1 & 5 with a column of native soil through the subterranean parking structure.
- OAK TREES | 3
Existing Coast Live Oaks #1, #2 & #3 to be protected in place.
- ORANGE GROVE STREETSCAPE | 4 Trees
Design to reflect the character of Orange Grove Place and the Seven Patios Bungalow Style Architecture.

APPROVED

By the Planning Director

By the Design Review Board

By the City Council

FOR THE CITY OF SOUTH PASADENA ON Nov. 17, 2020

APPLICATION NO: Project No. 2017-04-CUP/DRX/TTM/TRP

PLANNER: *Korn Randolph*

MOULE & POLYZOIDES

NOTES: Seven Patios Mixed-Use Residential & Commercial

KORN RANDOLPH

LANDSCAPE Architecture

Planning

L - 9

Seven Patios
899 El Centro St., South Pasadena, CA
12/14/2018

SOFTSCAPE LANDSCAPE CONCEPT PLAN



TREES

- A ACER PALMATUM - SANGO KAKU JAPANESE MAPLE
- B AGONIS FLEXUOSA - BURGUNDY WILLOW MYRTLE
- C ARBUTUS UNEDO - STRAWBERRY TREE
- D CHIONANTHUS RETUSUS - FRINGE TREE

- E CINNAMOMUM CAMPHORA - CAMPHOR TREE
- F CITRUS SPECIES - POTTED CITRUS
- G CUPRESSUS SEMPERVIRENS - ITALIAN CYPRESS
- H FEIJOA SELLOWIANA - PINEAPPLE GUAVA TREE

- I GLEDITSIA TRICANTHOS 'SUNBURST' - HONEY LOCUST
- J JACARANDA MIMOSIFOLIA - JACARANDA TREE
- K MAGNOLIA SOULANGIANA - SAUCER MAGNOLIA
- L OLEA EUROPAEA - FIELD DUG OLIVE

- M PHOENIX DACTYLIFERA 'ZAHIDI'- DATE PALM
- N PYRUS KAWAKAMII - EVERGREEN PEAR
- O SCHINUS MOLLE - CALIFORNIA PEPPER TREE

APPROVED

☐ By the Planning Director
☐ By the Cultural Heritage Commission
☐ By the Design Review Board
☒ By the Planning Commission
☐ By the City Council

FOR THE CITY OF SOUTH PASADENA ON Nov. 17, 2020

APPLICATION NO: Project No. 2171-CUP/DRX/TTM/TRP

PLANNER: Kanifahill

NOTES: Seven Patios Mixed-Use Residential & Commercial

MOULE & POLYZOIDES
KORN RANDOLPH
LANDSCAPE ARCHITECTURE
Planning



SHRUBS

- A ACANTHUS MOLLIS - BEAR'S BREECH
B AGAVE ATTENUATA - FOX TAIL AGAVE
C AGAVE ATTENUATA 'NOVA' - FOX TAIL AGAVE
D BUXUS JAPONICA - JAPANESE BOXWOOD

- E DIANELLA CAERULEA 'CASSA BLUE' - BLUE FLAX LILY
F ERAGROSTIS ELLIOTTII - ELLIOT'S LOVE GRASS
G LAURUS NOBILIS - BAY LAUREL
H LAVANDULA ANGUSTIFOLIA - ENGLISH LAVENDER

- I LOROPETALUM CHINENSE 'SIZZLING PINK' - NCN
J MUHLENBERGIA 'PINK CLOUD' - PINK MUHLYGRASS
K OLEA 'LITTLE OLLIE' - LITTLE OLLIE OLIVE
L PITTOSPORUM 'MARJORIE CHANNON' - KOHUHU

- M POLYGALA FRUTICOSA PETITE BUTTERFLIES' - NCN
N ROSA 'ICEBERG' - ICEBERG ROSE
O VITEX TRIFOLIA 'PURPUREA' - ARABIAN LILAC

- ☐ BY THE PLANNING DIRECTOR
☐ BY THE CULTURAL HERITAGE COMMISSION
☐ BY THE DESIGN REVIEW BOARD
☒ BY THE PLANNING COMMISSION
☐ BY THE CITY COUNCIL

FOR THE CITY OF SOUTH PASADENA ON Nov. 17, 2020

APPLICATION NO: Project No. 2171-CUP/DRX/TTM/TRP

PLANNER: Korn Randolph

NOTES: Seven Patios Mixed-Use Residential & Commercial

KORN RANDOLPH

LANDSCAPE ARCHITECTURE

Planning

L - 11

Seven Patios
899 El Centro St., South Pasadena, CA
12/14/2018

SHRUB SELECTION CONCEPTUAL LANDSCAPE PLAN & IMAGERY



VINES



GROUNDCOVERS

- | | | | | | |
|---|---|---|--|---|---|
| A | AJUGA 'CHOCOLATE CHIP' - CARPET BUGLE | F | DYMONDIA MARGARETAE - SILVER CARPET | J | SEDUM TELEPHIUM 'XENOX' - STONECROP |
| B | CAREX FLACCA - BLUE ZINGER | G | GERANIUM SANGUINEUM - CRANESBILL GERANIUM | K | TEUCRIUM ACKERMANNII - SILVER GERMANDER |
| C | CEANOTHUS HORIZONTALIS 'CARMEL CREEPER' | H | LAWN - MARATHON II - SOD | L | THYMUS SERPYLLUM - WOOLY THYME |
| D | CHAMAEMELUM NOBILE - ROMAN CHAMOMILE | I | ROSMARINUS 'PROSTRATUS' - PROSTRATE ROSEMARY | M | VINCA MAJOR 'VARIEGATA' - PERIWINKLE |
| E | DICHONDRA ARGENTEA 'SILVER FALLS' | | | | |

VINES

- | | |
|---|--|
| A | BOUGAINVILLEA - PAPERFLOWER |
| B | FICUS PUMILA - CREEPING FIG |
| C | JASMINUM POLYANTHUM - PINK JASMINE |
| D | LONICERA JAPONICA - JAPANESE HONEYSUCKLE |
| E | PARTHENOCISSUS TRICUSPIDATA - BOSTON IVY |
| F | WISTERIA SINENSIS - WISTERIA |

L - 12

Seven Patios
899 El Centro St., South Pasadena, CA
12/14/2018

GROUNDCOVERS & VINES SOFTSCAPE PALETTE & IMAGERY

APPROVED	
<input checked="" type="checkbox"/> BY THE PLANNING DIRECTOR <input checked="" type="checkbox"/> BY THE CULTURAL HERITAGE COMMISSION <input checked="" type="checkbox"/> BY THE DESIGN REVIEW BOARD <input checked="" type="checkbox"/> BY THE PLANNING COMMISSION <input checked="" type="checkbox"/> BY THE CITY COUNCIL	
FOR THE CITY OF SOUTH PASADENA ON <u>Nov. 17, 2020</u>	
APPLICATION NO: <u>Project No. 2171-CUP/DRX/TTM/TRP</u>	
PLANNER: <u>Korn Randolph</u>	
MOULE & POLYZOIDES NOTES: <u>Seven Patios Mixed-Use Residential & Commercial</u> KORN RANDOLPH LANDSCAPE ARCHITECTURE Planning	

ATTACHMENT 4

Vesting Tentative Tract Map No. 82394

TOPOGRAPHIC MAP

SCALE: 1"=20'



ABBREVIATIONS:

- CONC Concrete
D/A Driveway Apron
DWY Driveway
EX Existing
FL Flow Line Elevation
OHP Overhang Post
P/L Property Boundary Line
PP Power Pole
TG Top of Gurb Elevation
TC Top of Grate
WF Wood Fence
WM Water Meter
W/W Walkway

LEGEND:

- (100.25) Existing Elevation
- (10.1) Ex. Ground Contour Line
- X - Chain Link Fence
- - - Wrought Iron Fence
- - - Ex. Structure
- - - Street Light
- - - Ex. Tree, Diameter
- - - Palm Tree

LEGAL DESCRIPTION:

For APN/Parcel ID(s): 5315-019-048, 5315-019-045 and 5315-019-046 THE LAND REFERRED TO HEREIN BELOW IS SITUATED IN THE CITY OF SOUTH PASADENA, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA AND IS DESCRIBED AS FOLLOWS:
PARCEL 1:
THOSE PORTION OF LOTS 1, 2, 3, 4 AND 14 AND THAT PORTION OF THE VACATED ALLEY, ALL IN BLOCK 4 OF COLLIER AND GRAHAM'S ADDITION TO SOUTH PASADENA, IN THE CITY OF SOUTH PASADENA, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 12 PAGE 80 OF MISCELLANEOUS RECORDS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY, LYING NORTHWESTERLY OF THE NORTHWESTERLY LINE OF THE LAND, DESCRIBED IN THE DEED TO K. H. WADE, TRUSTEE FOR THE SOUTHERN CALIFORNIA RAILWAY COMPANY, RECORDED IN BOOK 1017 PAGE 53 OF DEEDS IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.
EXCEPT THAT PORTION OF SAID LAND LYING WITHIN THE LINES OF THE LAID DESCRIBED IN THE DEED TO THE CITY OF SOUTH PASADENA, RECORDED NOVEMBER 1, 1901 AS INSTRUMENT NO. 24 IN BOOK 1503, PAGE 101 OF DEEDS.
ALSO EXCEPT THAT PORTION OF SAID LAND LYING WITHIN THE LINE OF THE LAND DESCRIBED IN THE DEED TO PAUL O. BROOMQUIST, RECORDED MARCH 13, 1973 AS INSTRUMENT NO. 79-278584, OFFICIAL RECORDS.
PARCEL 2:
LOTS 19 AND 20 OF MCCAMMENT TRACT, IN THE CITY OF SOUTH PASADENA, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 10 PAGE 31 OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

EASEMENTS:

- (E) 10' OF 10-FOOT PUBLIC UTILITY EASEMENT TO CITY OF SOUTH PASADENA, BY DEED REC AS INST. NO. 3645, IN BOOK 33620, PAGE 185, O.R.
(E) 10' OF 10-FOOT PUBLIC UTILITY EASEMENT TO SOUTHERN CALIFORNIA Edison COMPANY, BY DEED REC AS INST. NO. 3522, IN BOOK 54429, PAGE 420, O.R.
(E) 10' OF 10 FOOT PUBLIC UTILITY EASEMENT TO SOUTHERN CALIFORNIA Edison COMPANY, BY DEED REC AS INST. NO. 2371, O.R.
(E) 6' OF 6 FOOT AND 8 FOOT PUBLIC UTILITY EASEMENT TO SOUTHERN CALIFORNIA Edison COMPANY, BY DEED REC AS INST. NO. 1979-1464019, O.R.

NOTE: LEGAL DESCRIPTION AND EASEMENTS PER PRELIMINARY REPORT ORDER NO. 11803940-EA ISSUED BY CHICAGO TITLE COMPANY DATED MARCH 8, 2018, TITLE OFFICE: EDWARD AMAYA, TEL: (818) 341-1234.

BASIS OF BEARINGS

THE BEARING N 89°36'46"E OF THE CENTERLINE OF EL CENTRO STREET, AS SHOWN IN RECORD OF SURVEY, IS BY:

- APPROVED**
- ☐ BY THE PLANNING DIRECTOR
☐ BY THE CULTURAL HERITAGE COMMISSION
☐ BY THE DESIGN REVIEW BOARD
☒ BY THE PLANNING COMMISSION
☐ BY THE CITY COUNCIL

FOR THE CITY OF SOUTH PASADENA ON Nov. 17, 2020

Project No. 2171-CUP/DRX/TM/TRP
DRAWN BY: CHN
REVIEWED BY: CHN
DATE: 6/1/2020
APPLICATION NO: 5315-019-048
845-899 EL CENTRO AND 830-832 ORANGE STREET GROVE PLACE, SOUTH PASADENA, CA 91030
PLANNER: SOUTH PASADENA
SHEET 1 OF 1
NOTES: Seven Patios Mixed-Use Residential & Commercial

EL CENTRO STREET

N 89°36'46" E

STREET

EX. BUILDING
APN: 5315-019-048
55,517 SF

MC CAMMENT TRACT

LOT 3

LOT 2

LOT 1

WAY

GLENDON

LOT 4

LOT 5

M.R. 12-80

LACMTA

COURT

GLENDON

18-27

M.B.

ORANGE GROVE PLACE

MC CAMMENT ALLEY

NOTE:
1. BOUNDARIES SHOWN PER RECORD DATA.
2. TRITECH IS NOT RESPONSIBLE FOR ANY ITEMS THAT MAY BE OMITTED FROM THIS MAP DUE TO DENSE BRUSH, PARKED AUTOMOBILES, OR OTHER OBSTRUCTIONS AT TIME OF SURVEY. HARDSCAPE W/O SURVEY DATA IS APPROX.



TEMPORARY BENCH MARK (T.B.M.)
ASSUMED ELEVATION 500.00 FEET
DESCRIPTION TOP OF FOUND SPRING AND WASHER STAMPED RCE 15990, ON INT. OF CENTRO ST. & GLENDON WAY.



SUBDIVISION
LAND SURVEY
CIVIL ENGINEERING
& DESIGN
135 N. SAN GABRIEL BLVD.
SAN GABRIEL, CA 91775
TEL: (626) 570-1918
EMAIL: info@tritechengineer.com

Nov. 17, 2020
Project No. 2171-CUP/DRX/TM/TRP
DRAWN BY: CHN
REVIEWED BY: CHN
DATE: 6/1/2020
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PLANNER: SOUTH PASADENA
SHEET 1 OF 1
NOTES: Seven Patios Mixed-Use Residential & Commercial

PRE-DEVELOPMENT

3 EXISTING PARCELS

EVERYTHING ON SITE TO BE REMOVED, EXCEPT AS NOTED.
DATE OF SURVEY: 9-20-2018
SOURCE OF EXISTING CONTOURS: FIELD SURVEY

OWNER/APPLICANT:

D: EL CENTRO HOLDINGS, LLC
150 E COLORADO BLVD. #302A
PASADENA, CA 91101
T: (626) 340-0488 CONTACT: JAMES LI
E: JLPILL@GMAIL.COM

PROJECT TEAM:

ARCHITECT
MOULE & POLYZOIDES ARCHITECTS AND URBANISTS
180 EAST CALIFORNIA BOULEVARD
PASADENA, CA 91101
T: (626) 844-2400 CONTACT: CHRISTIAN ARNDT
E: CARNDT@MARCHITECTS.COM

LANDSCAPE ARCHITECT
KORN RANDOLPH
609 EAST GREEN AVENUE
PASADENA, CA 91101
T: (626) 364-0259 CONTACT: AMY KORN
E: AMYKORN@RANDOLPH.COM

GRAPHICS
NEWSON GONZALEZ GRAPHIC DESIGN
7707 SOUTH MYRTLE AVENUE
MONTROSE, CA 91016
T: (323) 658-7995 CONTACT: CAROL NEWSON
E: CAROL@NEWSONDESIGN.COM

GEOTECHNICAL ENGINEER
CONVERSE CONSULTANTS
717 SOUTH MYRTLE AVENUE
MONTROSE, CA 91016
T: (626) 930-1200 CONTACT: MARK B. SCHLUTER

VESTING

TENTATIVE TRACT NO. 82394

IN THE CITY OF SOUTH PASADENA, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA

FOR MIXED-USE PURPOSE

PROPOSED LOT 1 SUMMARY

ZONE 1 - MSCP
ADDRESS: 899 EL CENTRO STREET, SOUTH PASADENA, CA 91030
ZONING: MISSION STREET SPECIFIC PLAN DISTRICT 8
GROSS SITE AREA: 55,517 SF (1.27 AC) PER SURVEY
EASEMENT 07: 256.5 SF
EASEMENT 08: 174.3 SF
EASEMENT 11: 42.2 SF
EASEMENT 12: 0 SF (TO BE VACATED)
TOTAL EASEMENT DEDICATIONS: 256.5 SF
NET SITE AREA: 55,260.5 SF
COVERABLE: 55,517 SF - 256.5 SF = 55,260.5 SF
ALLOWABLE: N/A
PROPOSED: 34,183 SF
FLOOR AREA RATIO
ALLOWABLE: 8 X 55,260.5 SF = 44,208 SF
WITH BONUS: 1.5 X 55,260.5 SF = 82,890 SF
PROPOSED: 79,860 SF (1.45)
LOWER LEVEL: 1,480 SF
GROUND FLOOR: 28,500 SF
FLOOR 2: 28,410 SF
FLOOR 3: 21,470 SF
TOTAL: 79,860 SF
BONUS AREA: 79,860 SF - 44,208 SF = 35,652 SF
PROGRAM SUMMARY
COMMUNITY: 6,200 SF (5 UNITS)
RESIDENTIAL: 62,885 SF (57 UNITS)
OTHER: 10,875 SF
COMMUNITY 1: 275 SF
COMMUNITY 2: 545 SF
GYM: 370 SF
1ST FLOOR CIRCULATION: 3,935 SF
2ND FLOOR CIRCULATION: 2,680 SF
3RD FLOOR CIRCULATION: 2,585 SF
2ND FLOOR LOBBY: 245 SF
3RD FLOOR LOBBY: 240 SF
TOTAL: 10,875 SF
RESIDENTIAL UNIT DENSITY
ALLOWABLE: N/A
PROPOSED: 57 UNITS
STUDIO: 3
1 BD RM LOFT: 4
1 BD RM FLAT: 12
2 BD RM FLAT: 25
3 BD RM FLAT: 25
2 BD RM TOWNHOME: 6
3 BD RM TOWNHOME: 4
TOTAL: 57 UNITS
UNITS FACING COURTYARDS
REQUIRED: 75 X 57 = 4,312 UNITS
PROVIDED: 43 UNITS
SETBACKS: REQUIRED: 0' TO 8' MAX
SIDE 0' ABOVE COMMERCIAL
5' MIN (+1 STORY ABOVE GRADE) 5'-0" TO 7'-0"
REAR 15'-0" MIN. 39'-8"
BUILDING HEIGHT: ALLOWABLE: 40' PROPOSED: 40'
MIXED - USE: 40' (3 STORIES) 40'
RESIDENTIAL: 45' UNOCCUPIED ROOF: 45'
35' (3 STORIES) 35'
OPEN SPACE: REQUIRED: 15,675 SF (57 X 275 = 15,675 SF)
PROPOSED: 21,791 SF
PATIO DE LA WESTERIA: 1,960 SF
PATIO DE OLIVIO: 2,447 SF
PATIO DE LA BOUGAINVILLEA: 458 SF
PATIO DE LE FUENTE: 148 SF
PATIO DE LAS LUCES: 727 SF
PATIO DE LA AGUILA: 1,147 SF
COURTYARD TOTAL: 1,687 SF (54%)
GROUND FLOOR PRIVATE OPEN SPACE: 5060 SF (23%)
ABOVE GROUND PRIVATE PATIOS: 2,482 SF (11%)
OTHER PUBLIC OPEN SPACE: 2,592 SF (12%)
PARKING REQUIRED: 162 SPACES
NON-RESIDENTIAL PARKING REQUIRED: 99 SPACES
RETAIL: 4 SPACES/1,000 SF X 1,000 SF = 24 SPACES
BONUS AREA: 1 SPACES/1,000 SF X 1,377 = 35 SPACES
RESIDENTIAL PARKING REQUIRED: 103 SPACES
2 & 3 BEDROOM UNITS: 2 SPACES/UNIT X 38 UNITS = 76 SPACES
1 BEDROOM & STUDIO: 1 SPACES/UNIT X 19 UNITS = 19 SPACES
ZONE 2 RM: 2 SPACES/UNIT X 3 = 6 SPACES
ZONE 2 RM: GUEST: 5 SPACES/UNIT X 3 UNITS = 15 SPACES
PARKING PROVIDED: 177 SPACES
NON-RESIDENTIAL PARKING PROVIDED: 65 SPACES
ADA: 5 SPACES (2 VAN)
RESIDENTIAL PARKING PROVIDED: 112 SPACES
TANDEN: 30 SPACES
SINGLE SPACES: 78 SPACES
ADA: 4 SPACES (2 VAN)
NON-RESIDENTIAL EV CHARGING STATIONS REQUIRED: 4 STATIONS
65 TOTAL NON-RESIDENTIAL PARKING SPACES: 4 STATIONS
*PER 2019 CALIFORNIA GREEN BUILDING STANDARDS CODE TABLE 5.106.5.3.3
NON-RESIDENTIAL EV CHARGING STATIONS PROVIDED: 4 STATIONS
NON-RESIDENTIAL EV CHARGING STATIONS PROVIDED: 4 STATIONS
RESIDENTIAL EV CHARGING STATIONS REQUIRED: 11 STATIONS
10 X 112 RESIDENTIAL PARKING = 11 STATIONS
RESIDENTIAL EV CHARGING STATIONS PROVIDED: 57 STATIONS
*LOCATIONS FOR FUTURE RESIDENTIAL ELECTRIC VEHICLE CHARGING STATIONS
PROVIDED PER 2019 CALIFORNIA GREEN BUILDING STANDARDS CODE SECTION 4.106.4.2
BICYCLE PARKING REQUIRED: 6 SPACES
1 BICYCLE SPACE/4 COMMERCIAL SPACES X 24 SPACES = 6 SPACES
BICYCLE PARKING PROVIDED: 9 SPACES
RESIDENTIAL BICYCLE PARKING = 1 SPACES

FAR SUMMARY BREAKDOWN

LOWER LEVEL (ALONG ORANGE GROVE PLACE)				
Unit	Unit Type	Gross SF	Private Open Space	
125	2 Bdrms Flr 1	1,480	418	
Lower Level Total		1,480	418	

Ground Floor				
Unit	Unit Type	Gross SF	Private Open Space	
Community 1	Public	275		
Community 2	Public	545		
60	Studio	370		
101	Restaurant	1,935		
102	Detail	1,185		
103	Detail	905		
104	Detail	690		
105	Detail	835		
106	2 Bdrms Flr 1	795	84	
107	2 Bdrms Flr 1	1,030		
108	2 Bdrms Flr 1	725	375	
109	2 Bdrms Flr 1	1,105		
110	2 Bdrms Flr 1	1,145		
111	2 Bdrms Flr 1	1,195		
112	2 Bdrms Flr 1	1,005	84	
113	2 Bdrms Flr 1	785		
114	2 Bdrms Flr 1	1,060	851	
115	2 Bdrms Flr 1	845	425	
116	2 Bdrms Flr 1	1,035		

Townhouses				
117	2 Bdrms Flr 1	835	266	
118	2 Bdrms Flr 1	645	425	
119	2 Bdrms Flr 1	1,440		
120	2 Bdrms Flr 1	635	641	
121	2 Bdrms Flr 1	655	432	
122	2 Bdrms Flr 1	725	207	
123	2 Bdrms Flr 1	725	240	
124	2 Bdrms Flr 1	640	81	
125	2 Bdrms Flr 1	645	81	
126	2 Bdrms Flr 1	1,065	521	
Ground Floor Total		28,500	4,642	

2nd Floor				
Unit	Unit Type	Gross SF	Private Open Space	
Lobby	Public	245		
Circulation	Public	1,680		
201	2 Bdrms Flr 2	490	3	
202	2 Bdrms Flr 2	555	50	
203	2 Bdrms Flr 2	560	50	
204	2 Bdrms Flr 2	560	50	
205	2 Bdrms Flr 2	555	50	
206	2 Bdrms Flr 2	1,255		
207	2 Bdrms Flr 2	1,490	208	
208	2 Bdrms Flr 2	835		
209	2 Bdrms Flr 2	845		
210	2 Bdrms Flr 2	1,035		
211	2 Bdrms Flr 2	1,065		
212	2 Bdrms Flr 2	1,030	79	
213	2 Bdrms Flr 2	1,075		
214	2 Bdrms Flr 2	1,130	185	
215	2 Bdrms Flr 2	1,030		
216	2 Bdrms Flr 2	1,030		
217	2 Bdrms Flr 2	715	77	
218	2 Bdrms Flr 2	1,065	78	
219	Studio	600		
220	2 Bdrms Flr 2	1,120		

Townhouses				
127	2 Bdrms Flr 2	625		
128	2 Bdrms Flr 2	560		
129	2 Bdrms Flr 2	585	63	
130	2 Bdrms Flr 2	580	77	
131	2 Bdrms Flr 2	605		
132	2 Bdrms Flr 2	645		
133	2 Bdrms Flr 2	645		
134	2 Bdrms Flr 2	595		
135	2 Bdrms Flr 2	600		
136	2 Bdrms Flr 2	645	148	
2nd Floor Total		28,410	1,257	

3rd Floor				
Unit	Unit Type	Gross SF	Private Open Space	
Lobby	Public	245		
Circulation	Public	1,680		
301	2 Bdrms Flr 3	330		
302	2 Bdrms Flr 3	330		
303	2 Bdrms Flr 3	330		
304	2 Bdrms Flr 3	330		
305	2 Bdrms Flr 3	330	91	
306	2 Bdrms Flr 3	1,250	198	
307	2 Bdrms Flr 3	1,490		
308	2 Bdrms Flr 3	835		
309	2 Bdrms Flr 3	1,220		
310	2 Bdrms Flr 3	1,065		
311	2 Bdrms Flr 3	1,035		
312	2 Bdrms Flr 3	1,075	77	
313	2 Bdrms Flr 3	1,020	108	
314	2 Bdrms Flr 3	715	77	
315	2 Bdrms Flr 3	1,065	77	
316	Studio	435		
317	2 Bdrms Flr 3	1,035	77	

Townhouses				
137	2 Bdrms Flr 3	395	200	
138	2 Bdrms Flr 3	325		
139	2 Bdrms Flr 3	325		
140	2 Bdrms Flr 3	395	202	
3rd Floor Total		21,470	1,395	

FAR Summary Breakdown				
Unit	Unit Type	Gross SF	Private Open Space	
61	2 Bdrms Townhouse Flr 1	1,440	678	
62	2 Bdrms Townhouse Flr 1	1,410		
63	2 Bdrms Townhouse Flr 1	1,390	720	
Ground Floor Total		4,205	1,400	

2nd Floor				
Unit	Unit Type	Gross SF	Private Open Space	
61	2 Bdrms Townhouse Flr 2	1,070		
62	2 Bdrms Townhouse Flr 2	1,070		
63	2 Bdrms Townhouse Flr 2	1,070		
2nd Floor Total		3,095		

APPROVED

BY THE PLANNING DIRECTOR

BY THE CULTURAL HERITAGE COMMISSION

BY THE DESIGN REVIEW BOARD

BY THE PLANNING COMMISSION

BY THE CITY COUNCIL

FOR THE CITY OF SOUTH PASADENA ON Nov. 17, 2020

Project No. 2171-CUP/DRX/TTM/TPR

NOTES: See all pages of this project for details.

SCALE: 1"=20'

DATE: 11/14/20

SHEET 1 OF 3 SHEETS

JOB NO. 180323

ABBREVIATIONS:

CONC Concrete
A/A Driveway Apron
JWY Driveway
EX Existing
FL Flow Line Elevation
GBW Concrete Block Wall
P Power Pole
TC Top of Curb Elevation
TG Top of Grade
WF Wood Fence
WM Water Meter
W/W Walkway
FF Finish Floor
TBR To Be Removed

LEGEND:

(100.25) Existing Elevation
(101) Ex. Ground Contour Line
Chain Link Fence
Street Light
Ex. Tree, Diameter
Palm Tree

EASEMENTS:

1. C/L OF 10-FOOT PUBLIC UTILITY EASEMENT TO CITY OF SOUTH PASADENA, BY DEED REC. AS INST. NO. 3645, IN BOOK 33620, PAGE 185, OR
2. C/L OF 10-FOOT PUBLIC UTILITY EASEMENT TO SOUTHERN CALIFORNIA EDISON COMPANY, BY DEED REC. AS INST. NO. 3592, IN BOOK 54429, PAGE 420, OR
3. C/L OF 10-FOOT PUBLIC UTILITY EASEMENT TO SOUTHERN CALIFORNIA EDISON COMPANY, BY DEED REC. AS INST. NO. 2371, OR
4. C/L OF 6 FOOT AND 8 FOOT PUBLIC UTILITY EASEMENT TO SOUTHERN CALIFORNIA EDISON COMPANY, BY DEED REC. AS INST. NO. 1079, 164019, OR
5. TO BE VACATED, WON'T BE DEDUCTED FROM GROSS AREA

LEGAL DESCRIPTION:

NOTE: LEGAL DESCRIPTION AND EASEMENTS PER PRELIMINARY REPORT ORDER NO. 111803940-EA ISSUED BY CHICAGO TITLE COMPANY DATED MARCH 8, 2018, TITLE OFFICER: EDWARD AMAYA TEL: (818) 548-0222
LOS ANGELES, STATE OF CALIFORNIA AND IS DESCRIBED AS FOLLOWS:
THAT PORTION OF LOTS 1, 2, 3, 4 AND 14 AND THAT PORTION OF THE VACATED ALLEY, AL, IN BLOCK 4 OF COLLIER AND GRAHAM'S ADDITION TO SOUTH PASADENA, IN THE CITY OF SOUTH PASADENA, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 12 PAGE 80 OF MISCELLANEOUS RECORDS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY LYING NORTHWESTERLY OF THE NORTHWESTERLY LINE OF THE LAND, DESCRIBED IN THE DEED TO K. R. WADE, TRUSTEE FOR THE SOUTHERN CALIFORNIA RAILWAY COMPANY, RECORDED IN BOOK 1017 PAGE 53 OF DEEDS IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY, EXCEPT THAT PORTION OF SAID LAND LYING WITHIN THE LINES OF THE LAND DESCRIBED IN THE DEED TO THE CITY OF SOUTH PASADENA, RECORDED NOVEMBER 1, 1901, ALSO EXCEPT THAT PORTION OF SAID LAND LYING WITHIN THE LINE OF THE LAND DESCRIBED IN THE DEED TO PAUL O. BROOMQUEST, RECORDED MARCH 13, 1979 AS INSTRUMENT NO. 79-27854, OFFICIAL RECORDS.
EXISTING PARCELS 2 AND 3
LOTS 11 AND 20 OF MCCAMMENT TRACT, IN THE CITY OF SOUTH PASADENA, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 10 PAGE 31 OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

BASIS OF BEARINGS:

THE BEARING N 87°36' 46" E OF THE CENTERLINE EL CENTRO STREET, AS SHOWN IN RECORD OF SURVEY, IS 133.48.
BENCH MARK:
CITY: SOUTH PASADENA
ELEVATION: 662.89 FEET
DESCRIPTION: SPK ON NORTH CURB, NE COR. OF FAIRVIEW AVE & EL CENTRO ST.
ACTUAL ELE. = PLAN ELE. + 166.59

MAP PREPARING:

TRITECH ENGINEERING ASSOCIATES INC.
135 N SAN GABRIEL BLVD.
SAN GABRIEL, CA 91775
ATTN: MAHAMUD KHALIL SAMANE
LS 8786 EXP. 12/30/20



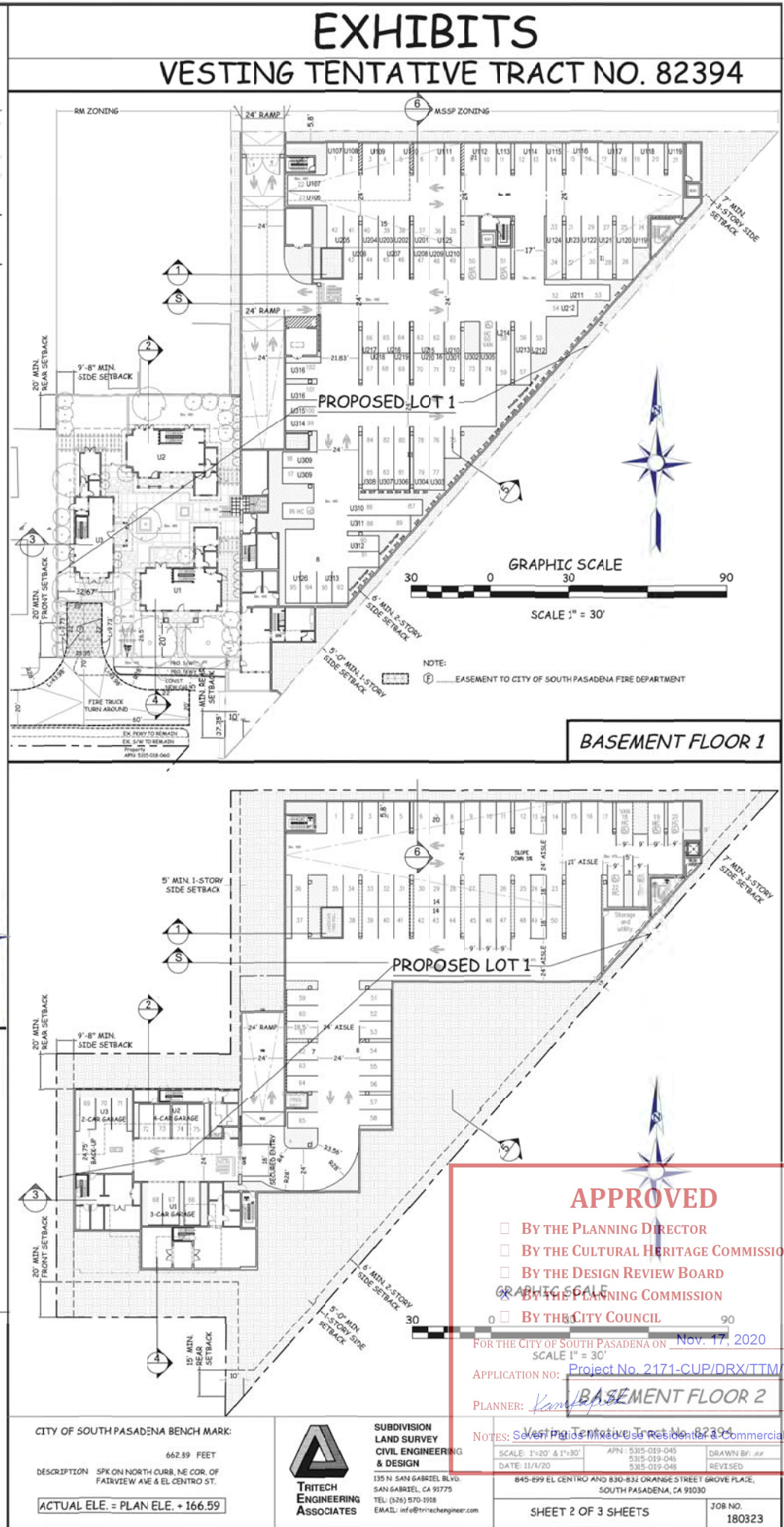
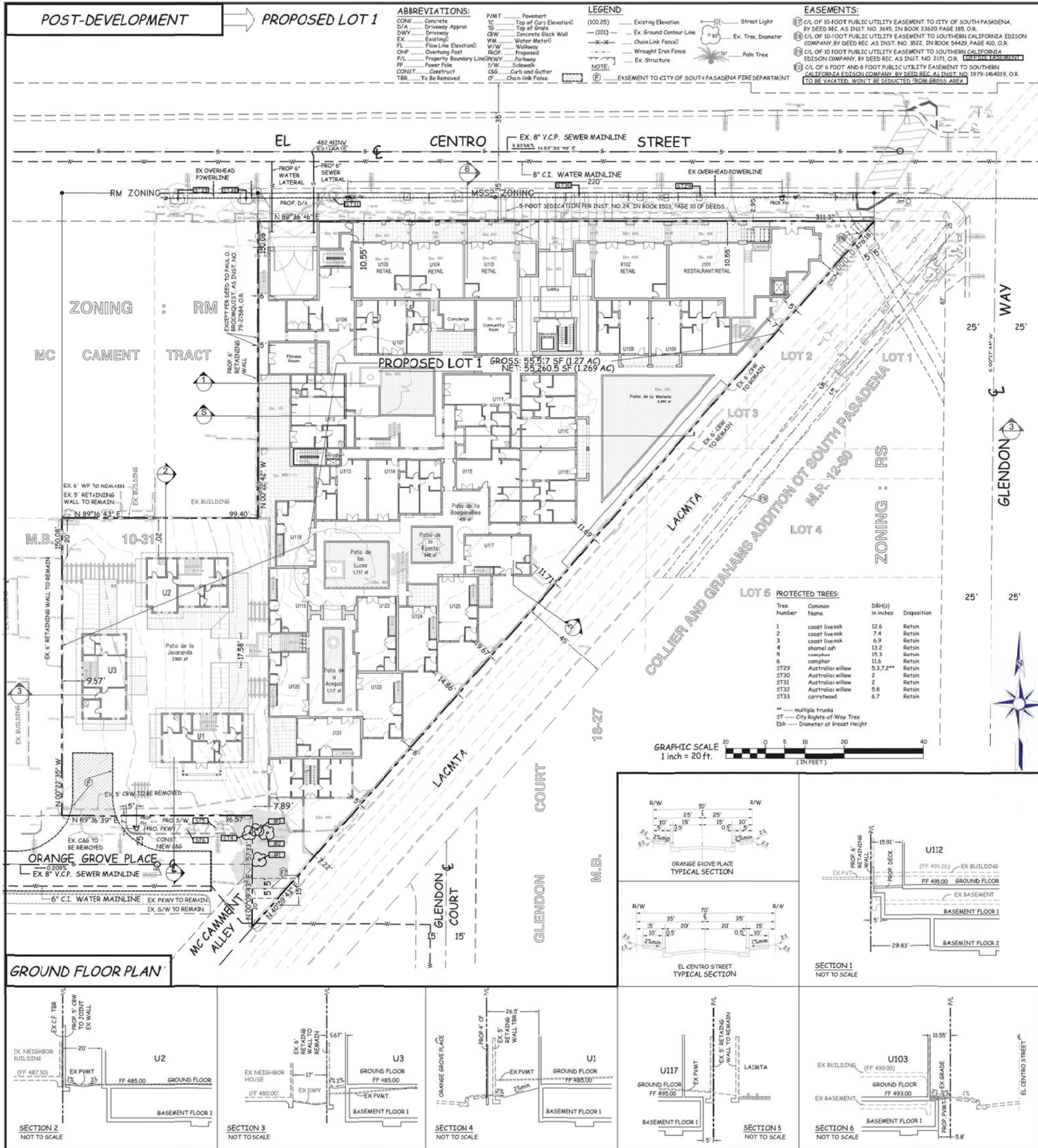
SUBDIVISION

LAND SURVEY
CIVIL ENGINEERING
& DESIGN
135 N SAN GABRIEL BLVD.
SAN GABRIEL, CA 91775
TEL: (626) 350-1918
EMAIL: info@tritechengineering.com



SHEET 1 OF 3 SHEETS

JOB NO. 180323



ATTACHMENT 5

Extension of Time Application for EXT-2593

**CITY OF SOUTH PASADENA**

Community Development Dept. • Planning Division
1414 Mission Street, South Pasadena, CA 91030
(626) 403 - 7220 •
AskPlanning@southpasadenaca.gov

MISCELLANEOUS PERMIT APPLICATION

File No.: _____
Office Use Only

PROJECT ADDRESS OR APN: 5315-019-045, 5315-019-046 and 5315-019-048

APPLICANT'S INFORMATION

Applicant: Odyssey Development Services - Burke Farrar

Mailing Address: 141 South Lake Avenue, Suite 105

Phone 1: (626) 683-8159 Phone 2: _____ Email: BFarrar@OdysseyPasadena.com

PROPERTY OWNER'S INFORMATION

Property Owner: DC El Centro Holdings, LLC

Mailing Address: 150 East Colorado Boulevard, Suite 302A

Phone 1: (626) 360-0688 Phone 2: _____ Email: jl.pillc@gmail.com

PROJECT DESCRIPTION (Check all that apply):

☐ Water Heater (Only) ☐ Solar Panels ☐ AC Unit (Only) ☐ Windows/Doors ☐ Re-Roof

☐ Swimming Pools & Spas ☒ Other (Describe): VTTM 82394 Extension

Other Improvements (Describe): Time extension for VTTM 82394

Describe in detail the proposed development:

Consolidate three existing parcels into one land parcel with 60 residential and five (5) commercial
condominium airspace parcels.

CERTIFICATE AND AFFIDAVIT OF APPLICANT: I/We certify that all statements made on this application are true and complete to the best of my knowledge. I/We understand that any false statements may result in denial of the requested permit or revocation of any issued permit. I/We further certify that I am, or have permission by, the property owner to conduct the proposed development applied for herein.



Signature of Applicant

March 1, 2023

Date

Further requirements may be requested depending on proposed project. For further information, please contact the Planning Division by calling (626) 403-7220, between 7:30 a.m. and 6:00 p.m., Monday through Thursday.



CITY OF SOUTH PASADENA

COMMUNITY DEVELOPMENT DEPARTMENT PLANNING DIVISION

1414 Mission Street • South Pasadena, CA • 91030 • (626) 403-7220

MISCELLANEOUS PERMIT APPLICATION GUIDELINES

Applications for a Miscellaneous Permit are processed by the Planning Division within the Community Development Department.

In order to approve a Miscellaneous Permit, a set of plans may be necessary. At minimum, a site plan is required describing in detail how the proposed project will be developed on a particular site. In addition, the site plan shall identify the location of existing and proposed improvements, landscaping, parking, building modifications, etc. Site developments or alterations are reviewed to determine conformity with local zoning regulations.

APPLICATION PROCEDURES

1. Submit a completed Miscellaneous Permit application (attached).
2. Submit a site plan and/or a set of plans for the proposed improvements.
3. All re-submittals shall contain the previously submitted plans with the corrections made by the Planning Division.

Further requirements may be requested depending on proposed project. For further information, please contact the Planning Division by calling (626) 403-7220, between 7:30 a.m. and 6:00 p.m., Monday through Thursday.

ATTACHMENT 6

Extension of Time Application for EXT-2602



City of South Pasadena

Filing Instructions for

APPLICATION to EXTEND PLANNING APPROVALS

I. Introduction

Planning approvals remain valid for one year from the “effective date¹”, unless construction plans are submitted to “plan check”, a building permit remains active, or a Certificate of Occupancy has been granted. Planning approvals include Hillside Development Permits, Conditional Use Permits, Variances, etc. According to SPMC Section 36.420.040(A), the Planning Commission may grant a time extension up to 12 months for a planning approval if: 1) the applicant files a written request and fee at least 10 days before the expiration date of that approval, and 2) the permittee, or applicant establishes substantial evidence that approvals ought to be extended. Please note that Tentative Tract/Parcel Maps are treated differently from other project approvals. Those approvals are valid for 24 months. A Final Map must be submitted to the City, or an extension must be requested within that time.

II. Projects Pending a Building Permit

Once a construction project has a planning approval, you have 12 months to submit structural drawings to the Building Division for “plan check”. Structural drawings that are reviewed during this process often require revisions, and those plans are resubmitted with corrections. If there has been no activity during the 12 months after the planning approvals, they will expire along with the plan check process.

III. Projects Pending a Certificate of Occupancy

Once a construction project has a building permit, you have 12 months to begin construction and call in for your first building inspection. Building inspections are requested during the construction phase, and are documented in your file in the Building Division. Once you pass each building inspection, your building permit remains valid for 12 months. The building permit will expire, along with the planning approvals within 12 months if there has been no activity since the last building inspection passed.

IV. Criteria for Extending Planning Approvals

Planning approvals must be exercised with the issuance of a building permit. As time goes by, an approved project may become inconsistent with any changes in the city's laws. Although you have a right to a public hearing for a time extension, you do not have an automatic right to the extension. The Planning Commission will evaluate your request for an extension to determine whether you have shown a diligent effort to complete the project.

Preparing construction plans, and submitting them for plan check is considered a strong commitment to commence with a project because those efforts require the investment of substantial time and money. A good record of ongoing building inspections shows a good faith effort to complete a project once a building permit is obtained. Other evidence might include letters to finance sources if the reason for the not building is lack of finance. If there is no record, the Planning Commission might not grant the extension and the planning approval process (including plan check) would need to be done over again.

V. Fee: \$ 2,683

¹ The “effective date” of your approval begins after the 15 day appeal period.



City of South Pasadena Filing Instructions for APPLICATION to EXTEND PLANNING APPROVALS

Please complete and return the following pages.

1. Property Address for this application: 845-899 El Centro Street South Pasadena, California 91030
2. Date of Planning Commission Approval: March 3, 2021 - City Council Resolution
3. Date Plans Were Submitted to Plan Check: February 3, 2022
4. Date of Last Plan Check Review: April 17, 2023
5. Date Building Permit was Issued: Not issued
6. Date of Last Building Inspection: Building Permit not issued
7. Description of Planning Approvals (i.e. Hillside Development Permit, Conditional Use Permit, Variance, etc):
Conditional Use Permit Mixed Use in MSSP, Design Review MSSP and RM, VTTM 82394

8. Applicant Information:

DC El Centro Holdings, LLC

Property Owner's Name:

150 East Colorado Boulevard, Suite 302A
Pasadena, California 91105

Address:

(626) 360-0688

Phone:

Mobile Phone:

jl.pillc@gmail.com

E-mail:

Odyssey Development Services

Applicant's Name (if different than Property Owner)

141 South Lake Avenue, Suite 105
Pasadena, California 91101

Address:

(626) 683-8159

Phone:

Mobile Phone:

BFarrar@OdysseyPasadena.com

E-mail:

9. On the following lines, please explain why the planning approvals should be extended. You must attach evidence to show that you have proceeded in good faith, and exercised due diligence in complying with the conditions in a timely manner. For example, if it has been difficult to find a civil engineer, or a contractor to do the work, you must submit evidence that these services were not available or cost prohibitive. Other evidence might be letters from banks if the reason for not building is lack of finance.

See Attachment A - Seven Patios Time Extension Request

3 of 3

ATTACHMENT 7

Extension Request Letter from Applicant

Attachment A
Seven Patios
Time Extension Request

In May 2018, DC El Centro Holdings, LLC purchased the property located at 845-899 El Centro Street in South Pasadena. The purchase also included the properties located at 830 and 832 Orange Grove Place. Combined, these constitute the “Property”.

Upon purchasing the Property, the development team immediately began preparing application materials and working with David Watkins, Director of Community Development, and Edwar Sissi, Associate Planner, on the entitlements required to develop a new mixed-use project. The name of the project is Seven Patios.

The required entitlements included:

- 1) a conditional use permit for the mixed-use development with bonus parking
- 2) design review for the area of the site in the Mission District Specific Plan area along El Centro
- 3) design review for the multifamily portion of the site in the RM district, and
- 4) a vesting tentative tract map to consolidate the three underlying existing parcels into one land lot with six nonresidential and 60 residential air parcels, which was needed for the individual sale of the units.

The application for these entitlements was filed with the City of South Pasadena on October 4, 2018.

Upon submittal of the application, the project review experienced significant turmoil. Edwar Sissi resigned and was replaced by Darby Whipple. David Watkins also resigned and was replaced by David Bergman. After waiting months for the replacement of Edwar Sissi, Darby Whipple also resigned. John Steinmeyer was hired to replace Darby Whipple and had to be brought up to speed. David Bergman then resigned and was replaced by Joanna Hankamer. Joanna Hankamer in turn hired Kanika Kith to replace John Steinmeyer. Kanika Kith completed the project’s environmental reviews and presented the Seven Patios project to the Planning Commission on November 17, 2020. The project was approved by the Planning Commission but appealed to the City Council. The City Council approved the project on March 3, 2021. Despite COVID-19 restrictions, and architecture and engineering companies restricted to working from home, the project team was able to prepare all of the necessary architectural and engineering plans for plan check and filed them on February 3, 2022. The development team then was informed that both Kanika Kith and Joanna Hankamer had resigned to be replaced by Braulio Madrid. The Community Development Director is currently Angelica Frausto-Lupo. The Deputy Director of the Community Development Department, Alison Becker, has also been involved with the Seven Patios project. As of February 2022, the Seven Patios project review had been through five Associate Planners, four Directors of Community Development and several City Managers.

The development team does not have any control over the delay caused by personnel changes at the City that impacted the processing of the project. Further, the COVID-19 pandemic caused unforeseen delays and the subsequent supply chain disruptions and inflation are now causing additional unforeseen delays. For example, the inflation in construction costs is seen in the International Code Council, Type III-A construction costs increases, which were \$129.52 in May of 2018 when the property was purchased but as of August 2023 are \$175.52, a 36% increase in the cost of construction.¹

To manage and reduce inflation, the Federal Reserve has increased the Federal Funds Rate which has caused the prime interest rate to rise to 8.5%. As a result, lending on construction projects that show a 36% increase in construction costs and will carry high interest rates has come to a halt. Despite the Seven Patios development team’s desire to complete the remaining few items in plan check and move the project forward into construction, construction cannot occur without a construction loan, which is not available. The development team does not have any control over the financial institutions or their decisions not to lend on construction projects at this time. However, the development team is cautiously optimistic that

¹ See attached ICC Building Valuation Data – February 2018 and August 2023.

construction financing will improve in the year ahead as the economy slows as a result of higher rates being in place longer to combat inflation.

In sum, in May 2018, DC El Centro Holdings, LLC purchased the property with the intent of beginning the entitlement process and to begin plan check the following year in 2019 with construction slated for 2020. Had there not been delays from the outset due to staffing shortages in the South Pasadena Community Development Department, the timeline was achievable. In fact, a larger but similar project with members of the development team recently completed in Pasadena, MW Lofts at the northeast corner El Molino Avenue and Walnut Street, under a construction loan issued in January 2021. Had early and understandable delays not occurred due to the staffing dilemma that the Community Development Department had to endure, the Seven Patios project could likewise be built and ready for occupancy. It is not the desire of the Seven Patios development team to delay construction of the project for any reason. Nevertheless, due to the current status of the project and economic circumstances that the Seven Patios must face in 2023, the Seven Patio development team is forced to request extensions of the time periods for plan check and entitlements to keep the project alive.

The need for the Seven Patios project to contribute to housing is crucial for the region. Since the 1970's, development of housing in the region has continuously fallen behind population growth at greater rates each decade to a point where the region is fifty years behind in satisfying housing demands for the population. The State of California has adopted multiple legislative amendments to housing statutes attempting to increase the development of all forms of housing.

Despite the turmoil the Seven Patios has faced, the development team believes that a time extension granted for the project will enable the project to become fully developed. While remaining outside the control of the development team, should interest rates come down and construction financing options improve, the Seven Patios project could then move forward. The demand for housing remains strong in the region. With this overwhelming need for regional housing, the time extension application requests City of South Pasadena agreement with the absolute necessity to grant extensions to the plan check and entitlements for the project for three years.